



# MacArthur Transit Village: Parcel B

Final Development Plan

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

# Project Directory

## OWNER

Boston Properties  
Four Embarcadero Center  
Lobby Level, Suite One  
San Francisco, CA 94111  
415.772.0550

## ARCHITECT

Solomon Cordwell Buenz  
255 California Street  
San Francisco, CA 94111  
415.216.2450

## STRUCTURAL ENGINEER

Magnusson Klemencic Associates  
1301 5th Avenue, Suite 3200  
Seattle, WA 98101  
206.292.1200

## MEP ENGINEER

Meyers+ Engineers  
150 Spear Street, Suite 700  
San Francisco, CA 94105  
415.432.8103

## CIVIL ENGINEER

Sandis  
636 9th Street  
Oakland, CA 94607  
510.873.8866

## LANDSCAPE ARCHITECT

Surface Design  
Pier 33 North, Suite 200  
San Francisco, CA 94111  
415.914.7447

# Table of Contents

## GENERAL

Cover Sheet	A0-00
Project Directory & Table of Contents	A0-01
Project Renderings - Northeast Corner	A0-20
Project Renderings - Northeast Corner	A0-21
Project Renderings - Northwest Corner	A0-22
Project Renderings - Northwest Corner	A0-23
Project Renderings - Southwest Corner	A0-24
Project Renderings - View from 37th & Telegraph	A0-25
Project Renderings - View from 40th & Clarke	A0-26
Project Renderings - View from 41st & Telegraph	A0-27

Site Plan	A1-00
Zoning Analysis	A1-10
Context Map	A1-11
Context Plan	A1-12
Assessor™s Map	A1-13
Anticipated LEED Credit Checklist	A1-14

Aerial View	A1-15
Site Photos	A1-16
Site Photos	A1-17
Neighboring Property Views - Key Map	A1-18
Neighboring Property Views - Walter Miles Way (Facing W)	A1-19
Neighboring Property Views - Walter Miles Way (Facing E)	A1-20
Neighboring Property Views - 40th St. (Facing N/S)	A1-21
Neighboring Property Views - Telegraph Ave. (Facing W)	A1-22
Neighboring Property Views - Telegraph Ave. (Facing E)	A1-23
Neighboring Property Views - W. MacArthur Blvd. (N/S)	A1-24
Neighboring Property Views - Turquoise St. (Facing W)	A1-25
Neighboring Property Views - Turquoise St. (Facing E)	A1-26
Neighboring Property Views - 39th St. (Facing N/S)	A1-27
Proposed PDP Amendment	A1-28
Open Space Analysis	A1-29

CIVIL	
Topographic Survey (For Reference Only)	C1-00
Site, Grading, & Utility Plan	C2-00
Stormwater Management Plan	C3-00

LANDSCAPE	
Tree Survey	L0-01
Level 1 Landscape Plan	L1-01
Level 5 Landscape Plan	L1-05
Level 11 Landscape Plan	L1-11
Level 14 Landscape Plan	L1-14
Planting Schedule	L2-00
Landscape Concept	L2-10
Landscape Renderings - Southwest Corner	L2-11
Landscape Renderings - Southwest Corner (Night)	L2-12
Landscape Renderings - View Along 39th Street	L2-13

## ARCHITECTURE

Level 1 Floor Plan	A2-01
Level 2 Floor Plan	A2-02
Level 3 Floor Plan	A2-03
Level 4 Floor Plan	A2-04
Level 5 Amenity Floor Plan	A2-05
Level 6 Floor Plan	A2-06
Levels 7-8 Floor Plan	A2-07
Levels 9-10 Floor Plan	A2-09
Levels 11-13 Floor Plan	A2-11
Levels 14-15 Floor Plan	A2-14
Levels 16-22 Typical Floor Plan	A2-16
Levels 23-24 Floor Plan	A2-25
Level 25 Roof Plan	A2-26
Level 26 Mechanical Penthouse Plan	

North Elevation	A3-01
East Elevation	A3-02
South Elevation	A3-03
West Elevation	A3-04
Building Section (N-S)	A3-05
Building Section (E-W)	A3-08

Unit Mix	A6-01
Building Materials	A6-02
Building Materials - Channel Glass Precedent Images	A6-03

## APPENDIX A - Massing Update















Project Renderings - View from 37th & Telegraph

**Final Development Package**

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

11 / 23 / 2016

2016010





Project Renderings - View from 41st & Telegraph

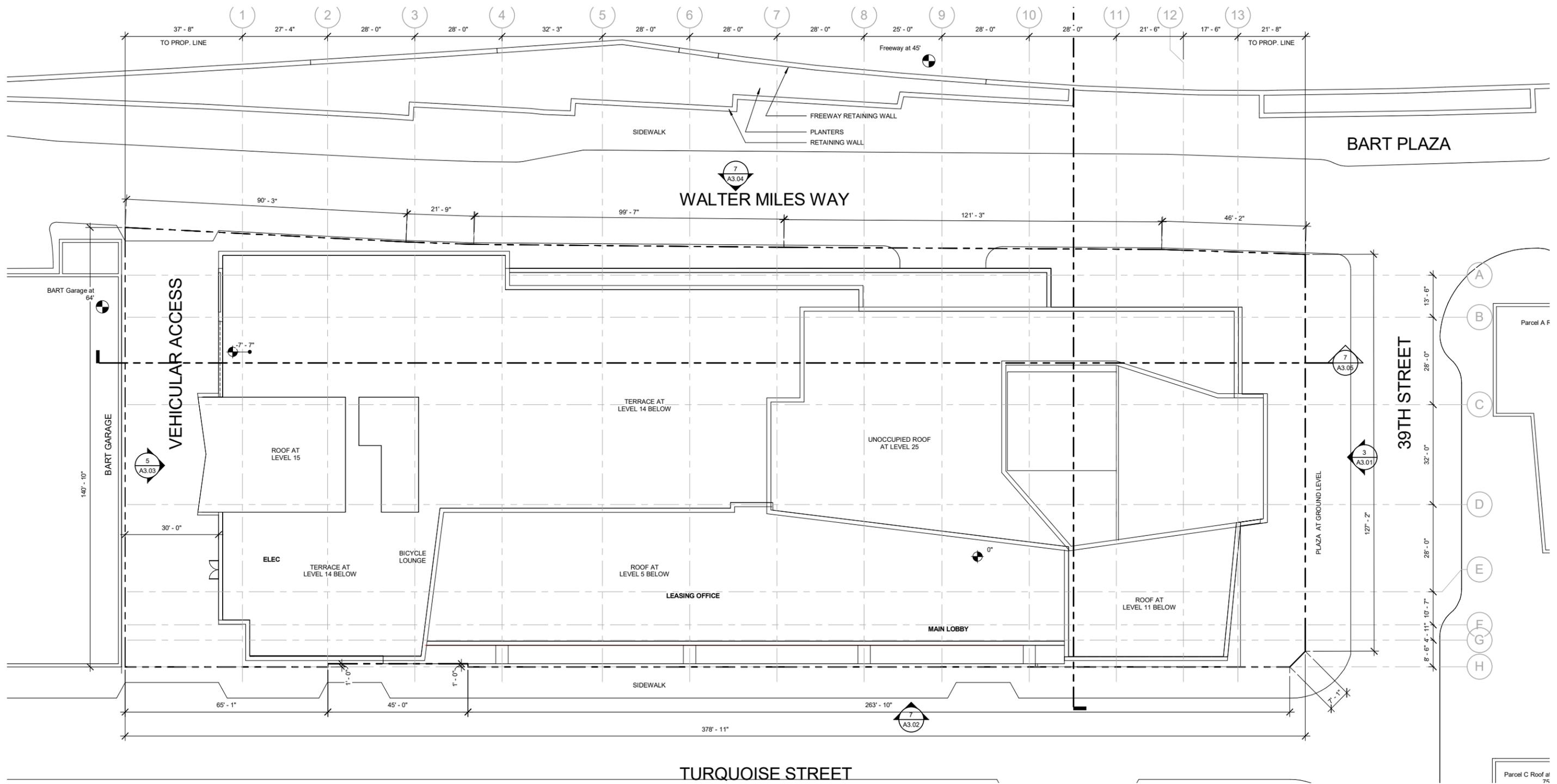
Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

11 / 23 / 2016

2016010



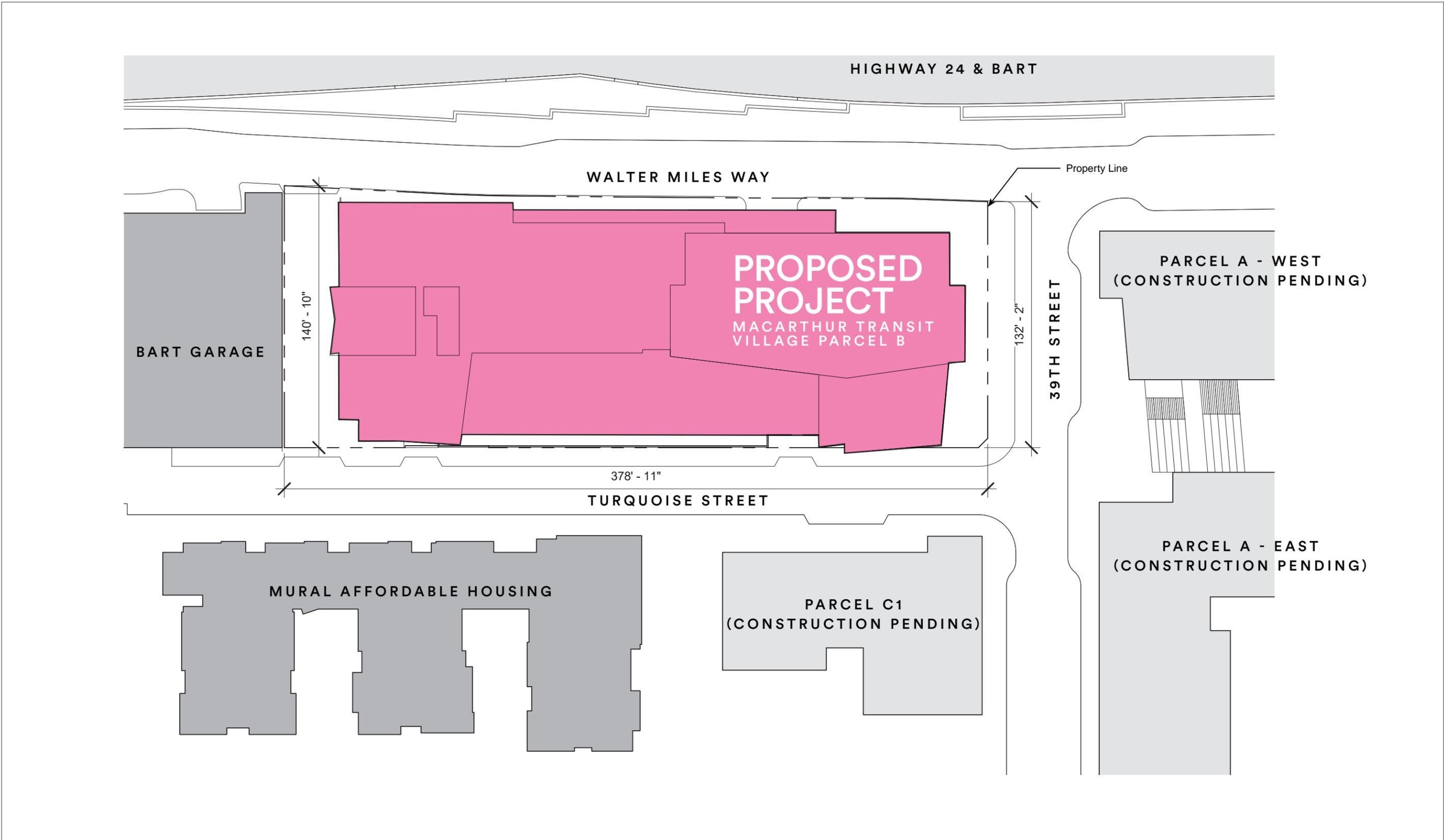
GENERAL ZONING INFORMATION	REFERENCE	NOTES
ASSESSORS BLOCK	Survey	TRACT 8047, Block 321 Maps pages 42-46 (new Tentative Parcel Map being submitted separately)
ZONING USE DISTRICT	OAK-GIS	S-15
PERMITTED AND/OR CONDITIONAL USES	17.97.040	Residential, Community Assembly, General Retail, Full + Limited Service Restaurant, Consumer Service, Parking, permitted in S-15 zones
HEIGHT & BULK DISTRICT	17.97	90' for S-15 zone (Height limit modification to allow 260' tall building pursuant to P.U.D. approval. Code Section 17.142.100.G)
GENERAL PLAN / ESTUARY POLICY PLAN	OAK-GIS	Neighborhood Center Mixed use
HISTORIC OR LANDMARK STATUS	OAK-GIS	None
LIQUEFACTION HAZARD ZONE	OAK-GIS	Severity 3
CONDO CONVERSTION IMPACT AREA	OAK-GIS	None
<b>HEIGHT AND BULK CONTROLS</b>		
SITE AREA	Survey	51,218 sqft
FLOOR AREA RATIO (FAR)	17.97.130	Residential FAR unlimited; Non-Residential FAR 4.5:1 maximum
HEIGHT LIMIT	17.97	90' for S-15 zone (Height limit modification to allow 260' tall building pursuant to P.U.D. approval. Code Section 17.142.100.G)
REQUIRED SETBACKS	17.97.01	10' setback along 39th street frontage at height of buildings on Parcel A (currently vacant with 75' building expected)
REAR YARDS / COURTS		None required - project not adjacent to residential lot
ADJACENCIES		BART parking garage adjacent to southern boundary
UNIT SEPARATION / EXPOSURE REQUIREMENTS	17.108.080	8' minimum at living room windows +2' for each floor above - maximum 10% of lot width
<b>DETAILED CONTROLS &amp; REQUIREMENTS</b>		
RESIDENTIAL DENSITY LIMITS	17.97.130	225 sqft of lot area per unit for overall MasterPlan- ( 125 sqft of lot area proposed at Parcel B; overall MasterPlan density within limits )
OPEN SPACE REQUIREMENTS	17.97.130	75 sqft per unit per unit per City Council Ordinance Nos 12883 C.M.S. and 814222 C.M.S.
SCREENING & SETBACK OF PARKING & LOADING	17.116.290	Unscreened parking not permitted within 20' of pedestrian walkways and plazas
OFF-STREET PARKING - RESIDENTIAL	17.116.060	0.5 parking space per dwelling unit required per S-15 zone with up to 1 parking space allowed per dwelling unit allowed per 2008 CU
OFF-STREET PARKING - RETAIL	17.116.080	None required for S-15 zone
OFF-STREET PARKING - COMMERCIAL	17.116.080	None required for S-15 zone
OFF-STREET PARKING DIMENSIONS	17.116.200	50-50 compact/standard, or 75% intermediate + 12.5% compact
OFF-STREET DRIVE AISLE DIMENSIONS	17.116.210	11' parallel parking one-way; 21' 90 degrees two-way
OFF-STREET LOADING - RESIDENTIAL	17.116.120	3 berths required; (2 berths required <300k sqft, plus 1 berth for each additional 300k)
OFF-STREET LOADING - RETAIL	17.116.150	1 berth required; (0-10,000 sf: 0 berths required; 10,001 - 25,000 sf: 1 berth required)
LOADING BERTH DIMENSIONS	17.116.220	12'x33', 14' high
BICYCLE REQUIREMENTS - RESIDENTIAL	17.117.090	LT: 0.25 spaces per dwelling unit (101); ST: 0.05 per dwelling units (20)
BICYCLE REQUIREMENTS - RETAIL	17.117.110	LT: 1 per 12k (2 min); ST: 1 per 2k (2 min)



LOCATION OF PROJECT SITE WITHIN CITY OF OAKLAND



PROJECT SITE & SURROUNDING NEIGHBORHOOD



ASSESSOR'S MAP 12

1025 SCALE: 1" = 60'

Code Area Nos. 17-042  
(A) TR. 8047 321/42-46  
(B) TR. 8232 333/30-32



FORMERLY: POR.BLK.967 pg.1, 968, 969

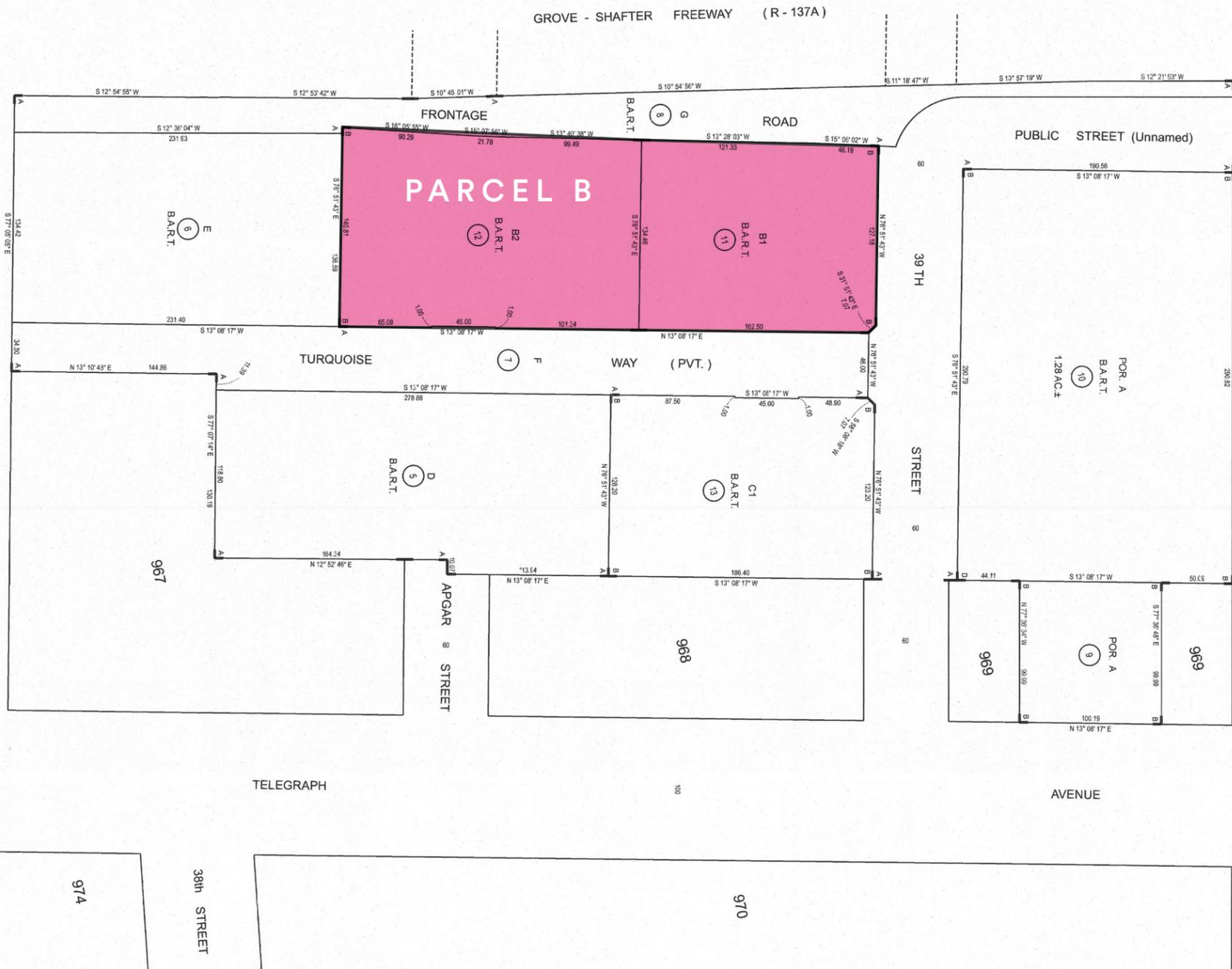
DRAWN: 09-06-12 LL

REVISED: 02-24-14 CC  
06-24-15 CC  
09-24-15 CC

TRA: 4C  
REF:

HPN: 13

IND PG: 1





# LEED 2009 for New Construction and Major Renovations

## Project Checklist

MacArthur Transit Village Parcel B - ANTICIPATED

6.30.2016

### 20 4 2 Sustainable Sites Possible Points: 26

Y	?	N			
Y			Prereq 1	Construction Activity Pollution Prevention	
1			Credit 1	Site Selection	1
5			Credit 2	Development Density and Community Connectivity	5
		1	Credit 3	Brownfield Redevelopment	1
6			Credit 4.1	Alternative Transportation—Public Transportation Access	6
1			Credit 4.2	Alternative Transportation—Bicycle Storage and Changing Rooms	1
3			Credit 4.3	Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles	3
	2		Credit 4.4	Alternative Transportation—Parking Capacity	2
	1		Credit 5.1	Site Development—Protect or Restore Habitat	1
	1		Credit 5.2	Site Development—Maximize Open Space	1
1			Credit 6.1	Stormwater Design—Quantity Control	1
1			Credit 6.2	Stormwater Design—Quality Control	1
1			Credit 7.1	Heat Island Effect—Non-roof	1
1			Credit 7.2	Heat Island Effect—Roof	1
		1	Credit 8	Light Pollution Reduction	1

### 10 Water Efficiency Possible Points: 10

Y	?	N			
Y			Prereq 1	Water Use Reduction—20% Reduction	
4			Credit 1	Water Efficient Landscaping	2 to 4
2			Credit 2	Innovative Wastewater Technologies	2
4			Credit 3	Water Use Reduction	2 to 4

### 14 8 13 Energy and Atmosphere Possible Points: 35

Y	?	N			
Y			Prereq 1	Fundamental Commissioning of Building Energy Systems	
Y			Prereq 2	Minimum Energy Performance	
Y			Prereq 3	Fundamental Refrigerant Management	
7	3	9	Credit 1	Optimize Energy Performance	1 to 19
3		4	Credit 2	On-Site Renewable Energy	1 to 7
2			Credit 3	Enhanced Commissioning	2
	2		Credit 4	Enhanced Refrigerant Management	2
	3		Credit 5	Measurement and Verification	3
2			Credit 6	Green Power	2

### 4 4 6 Materials and Resources Possible Points: 14

Y	?	N			
Y			Prereq 1	Storage and Collection of Recyclables	
		3	Credit 1.1	Building Reuse—Maintain Existing Walls, Floors, and Roof	1 to 3
		1	Credit 1.2	Building Reuse—Maintain 50% of Interior Non-Structural Elements	1
2			Credit 2	Construction Waste Management	1 to 2
		2	Credit 3	Materials Reuse	1 to 2

### Materials and Resources, Continued

Y	?	N			
1	1		Credit 4	Recycled Content	1 to 2
1	1		Credit 5	Regional Materials	1 to 2
	1		Credit 6	Rapidly Renewable Materials	1
	1		Credit 7	Certified Wood	1

### 8 1 6 Indoor Environmental Quality Possible Points: 15

Y	?	N			
Y			Prereq 1	Minimum Indoor Air Quality Performance	
Y			Prereq 2	Environmental Tobacco Smoke (ETS) Control	
	1		Credit 1	Outdoor Air Delivery Monitoring	1
		1	Credit 2	Increased Ventilation	1
1			Credit 3.1	Construction IAQ Management Plan—During Construction	1
		1	Credit 3.2	Construction IAQ Management Plan—Before Occupancy	1
1			Credit 4.1	Low-Emitting Materials—Adhesives and Sealants	1
1			Credit 4.2	Low-Emitting Materials—Paints and Coatings	1
1			Credit 4.3	Low-Emitting Materials—Flooring Systems	1
1			Credit 4.4	Low-Emitting Materials—Composite Wood and Agrifiber Products	1
		1	Credit 5	Indoor Chemical and Pollutant Source Control	1
		1	Credit 6.1	Controllability of Systems—Lighting	1
		1	Credit 6.2	Controllability of Systems—Thermal Comfort	1
1			Credit 7.1	Thermal Comfort—Design	1
		1	Credit 7.2	Thermal Comfort—Verification	1
1			Credit 8.1	Daylight and Views—Daylight	1
1			Credit 8.2	Daylight and Views—Views	1

### 1 5 Innovation and Design Process Possible Points: 6

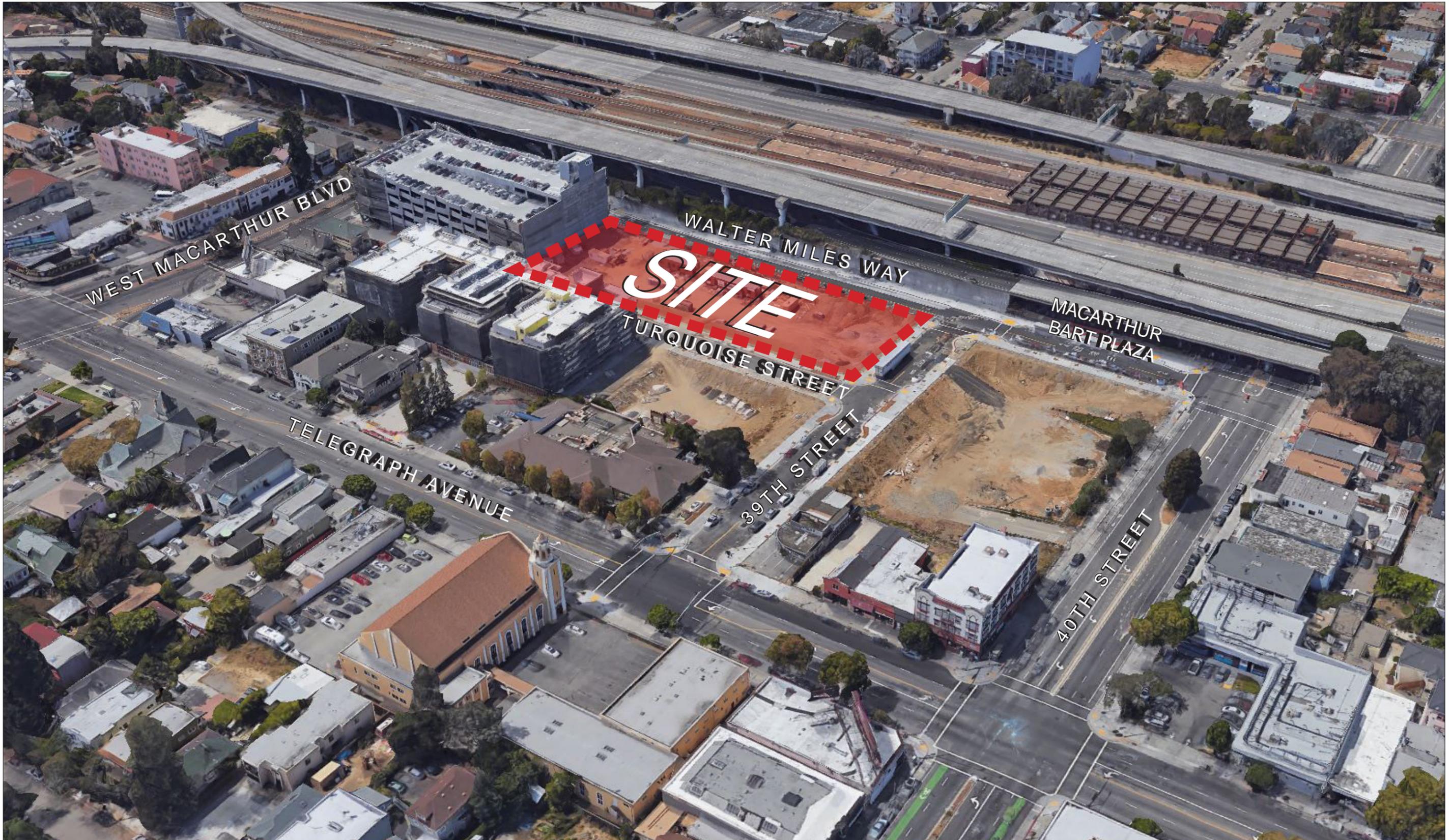
Y	?	N			
	1		Credit 1.1	Innovation in Design: Specific Title	1
	1		Credit 1.2	Innovation in Design: Specific Title	1
	1		Credit 1.3	Innovation in Design: Specific Title	1
	1		Credit 1.4	Innovation in Design: Specific Title	1
	1		Credit 1.5	Innovation in Design: Specific Title	1
1			Credit 2	LEED Accredited Professional	1

### 3 1 Regional Priority Credits Possible Points: 4

Y	?	N			
1			Credit 1.1	Regional Priority: Eq c8.1	1
1			Credit 1.2	Regional Priority: EA c2	1
1			Credit 1.3	Regional Priority: WE c2	1
		1	Credit 1.4	Regional Priority: WE c3	1

### 60 23 27 Total Possible Points: 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110





1: VIEW OF PARCEL B FROM MACARTHUR STATION



2: VIEW OF PARCEL B FROM WALTER MILES WAY



3: VIEW FROM PARCEL B LOOKING NORTH



4: VIEW FROM PARCEL B LOOKING SOUTH



1: VIEW OF PARCEL B FROM SE CORNER (TURQUOISE ST.)



2: VIEW OF PARCEL B FROM NE CORNER (TURQUOISE ST. & 39TH ST.)



3: VIEW OF MACARTHUR STATION PLAZA



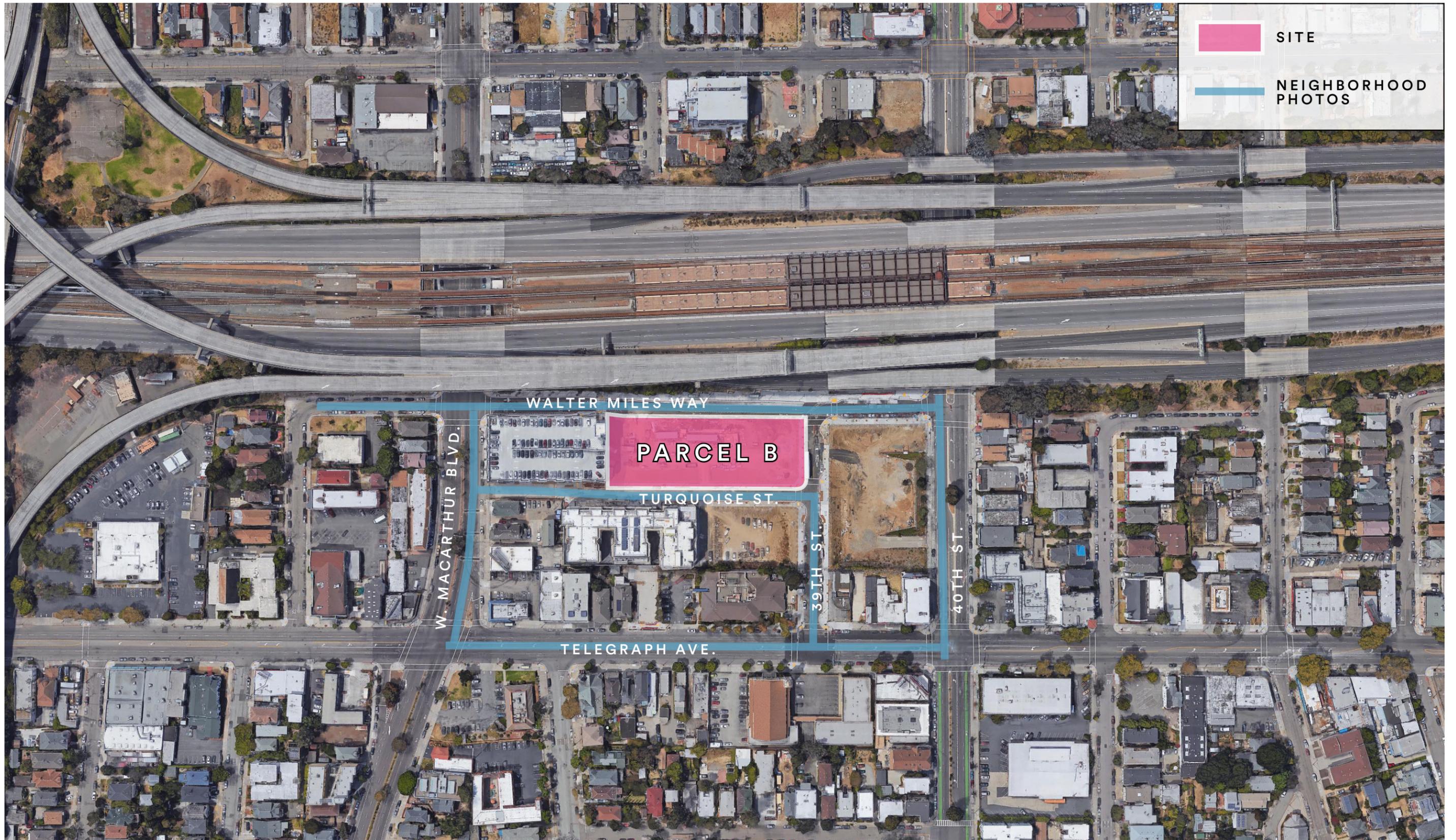
4: VIEW OF MURAL AFFORDABLE HOUSING



5: VIEW OF SHUTTLE STOPS



6: VIEW OF SITE FROM BART GARAGE



SITE  
 NEIGHBORHOOD PHOTOS

WALTER MILES WAY

**PARCEL B**

TURQUOISE ST.

W. MACARTHUR BLVD.

39TH ST.

40TH ST.

TELEGRAPH AVE.

# Walter Miles Way (Facing West)



W. MACARTHUR BLVD.



SHUTTLE STOPS



40TH ST.

# Walter Miles Way (Facing East)



40TH ST.

PARCEL A

39TH ST.



Project Site

PARCEL B



Project Site

PARCEL B



BART GARAGE

W. MACARTHUR BLVD.



W. MACARTHUR BLVD.

545 (W. MACARTHUR)

554 (37TH)

## 40th St. (Facing North)



554 (40TH)

548

542

530

526

522

518

500 (40TH)

TELEGRAPH AVE.

## 40th St. (Facing South)



3916, 3928, TELEGRAPH AVE. 505, 509, 515, 517 (40TH)  
3932, 3936  
(TELEGRAPH)

PARCEL A

WALTER MILES WAY

# Telegraph Ave. (Facing West)



W. MACARTHUR BLVD.

3801, 3807, 3815, 3817 (TELEGRAPH)

3833

3841

3845

3847

APGAR ST.

3875 (TELEGRAPH)



3875 (TELEGRAPH)

39TH ST. 3901 (TELEGRAPH)

3911, 3915, 3917, 3919, 3921

3927, 3929, 3931, 3933 (TELEGRAPH)

40TH ST.

# Telegraph Ave. (Facing East)



40TH ST.

3916, 3928, 3932, 3936 (TELEGRAPH)

3900

3844



3844

3838 3824, 3822, 3820 3816 3808, 3810 496 (38TH.)

38TH ST.

3770 (TELEGRAPH)



38TH ST.

3770 (TELEGRAPH)

W. MACARTHUR BLVD.

## W. MacArthur Blvd. (Facing North)



WALTER MILES WAY

BART GARAGE

TURQUOISE ST.

518

514

510 (W. MACARTHUR)

3801, 3807, 3815,  
3817 (TELEGRAPH)

TELEGRAPH AVE

## W. MacArthur Blvd. (Facing South)



TELEGRAPH AVE. 501 (W. MACARTHUR)

521

537

539

545 (W.  
MACARTHUR)

WALTER MILES  
WAY

# Turquoise St. (Facing West)



BART GARAGE

Project Site



PARCEL B

# Turquoise St. (Facing East)



PARCEL C1



MURAL AFFORDABLE HOUSING PROJECT - 3838 (TURQUOISE)



518 (W. MACARTHUR)

W. MACARTHUR BLVD.

## 39th St. (Facing North)



PARCEL C1

3901 TELEGRAPH

TELEGRAPH AVE.

## 39th St. (Facing South)

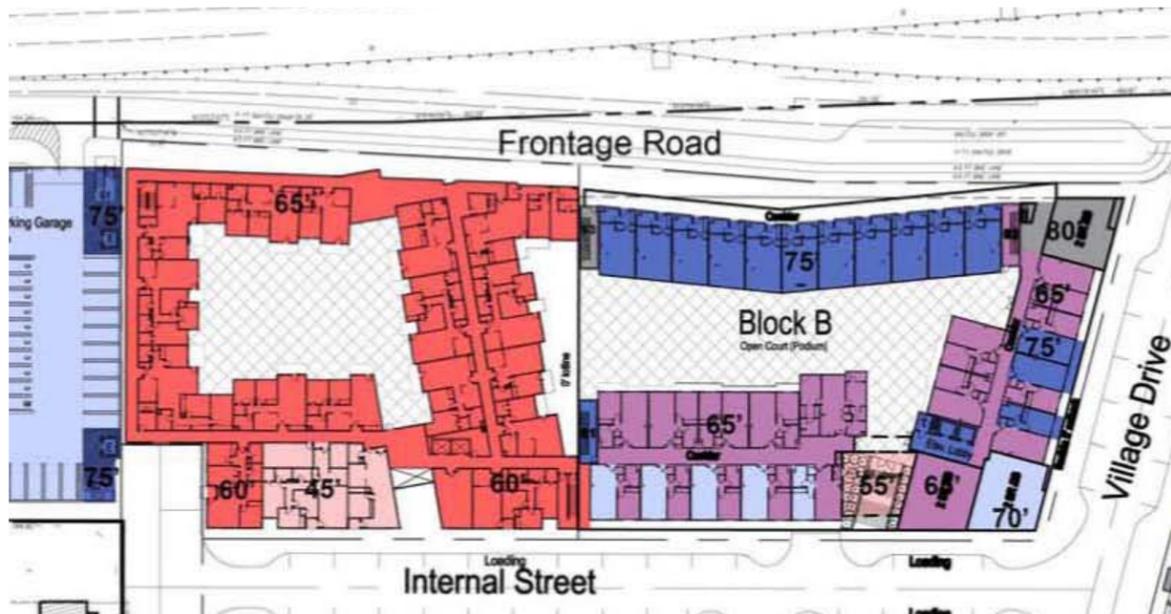


39TH ST.

3875 TELEGRAPH

PARCEL C1

TURQUOISE ST.



(NOTE: Plan shown is from June 2008 PDP Submittal by McLarand Vasquez Emsiek & Partners, Inc and is For Information Only)

## Approved PDP Site Plan

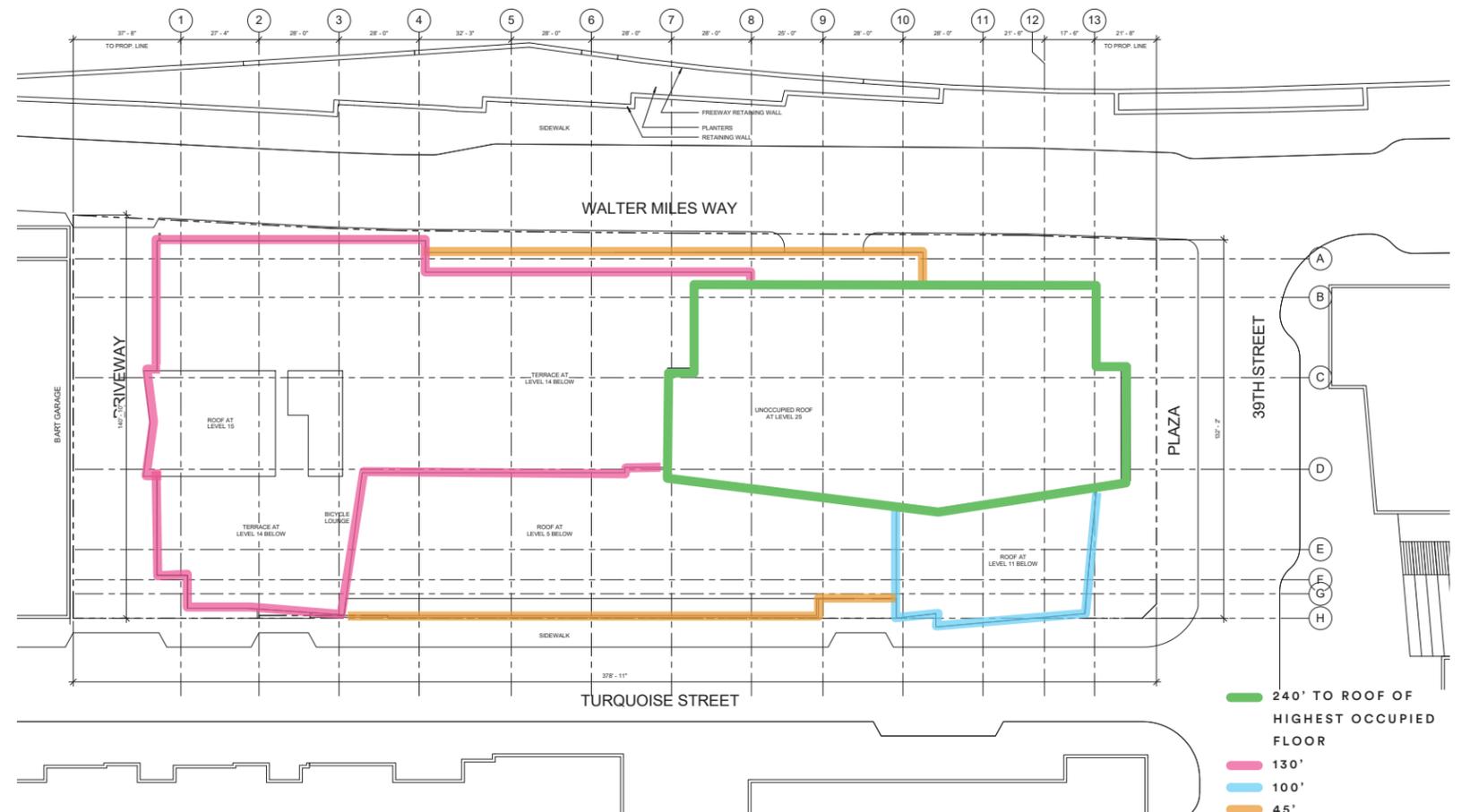
Previous height limit: 85'

Previous market rate unit count: 185

Previous onsite BMR unit count: 12

Previous retail area: 3,000 square feet

Previous parking quantity: 197



## Proposed Revised Site Plan

Proposed height: 236'-4"

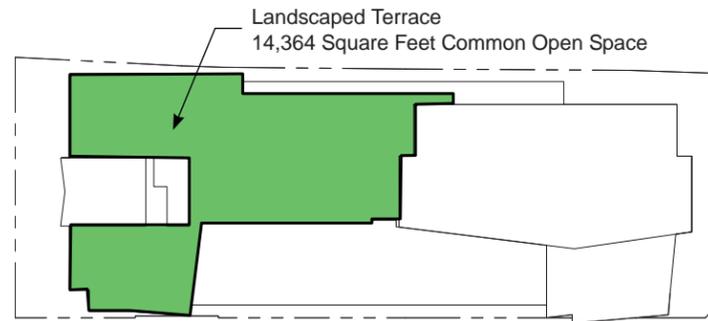
Proposed market rate unit count: 357

Proposed BMR unit count: 45

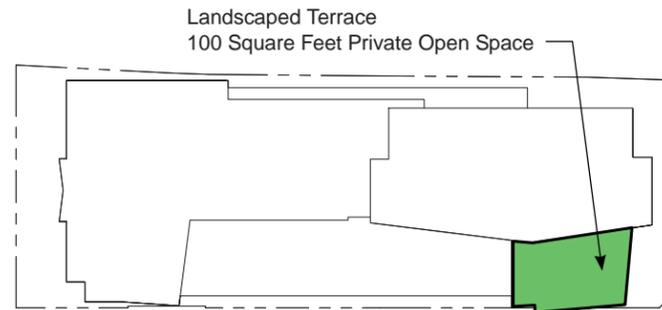
Proposed retail area: 12,660 square feet

Proposed parking quantity: 262

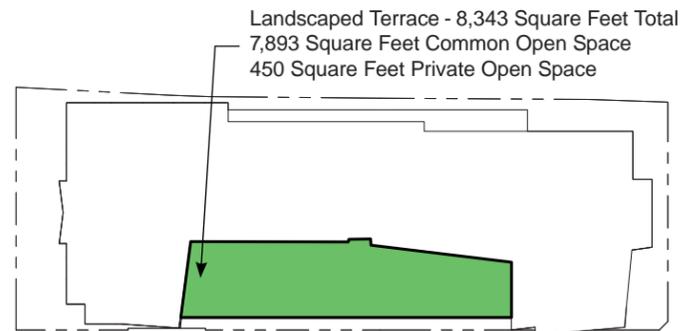
Z



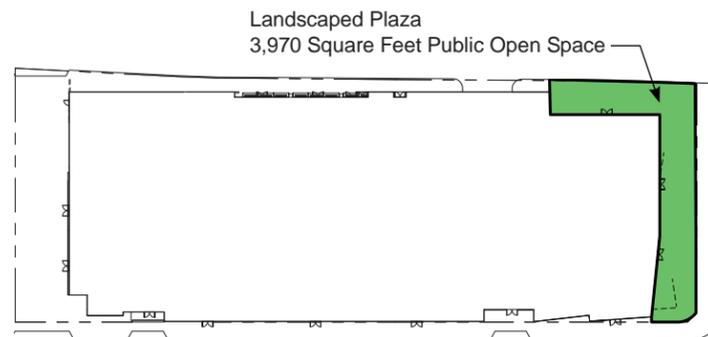
**LEVEL 14 OPEN SPACE - AMENITY**



**LEVEL 11 OPEN SPACE - GREEN ROOF**



**LEVEL 5 OPEN SPACE - AMENITY**



**LEVEL 1 OPEN SPACE - PLAZA & DRIVEWAY**

Level 14 - Common Use Roof Terrace: 14,364 Square Feet

Level 11 - Private Terraces: 100 Square Feet (2 Units, - 25 Square Feet Minimum Per Unit)

Level 5 - Common Use Terrace: 7,893 Square Feet

Level 5 - Private Terraces: 450 Square Feet (9 Units, - 25 Square Feet Minimum Per Unit)

Level 1 - Public Open Space: 3,970 Square Feet

Total Open Space: 29,580 Square Feet

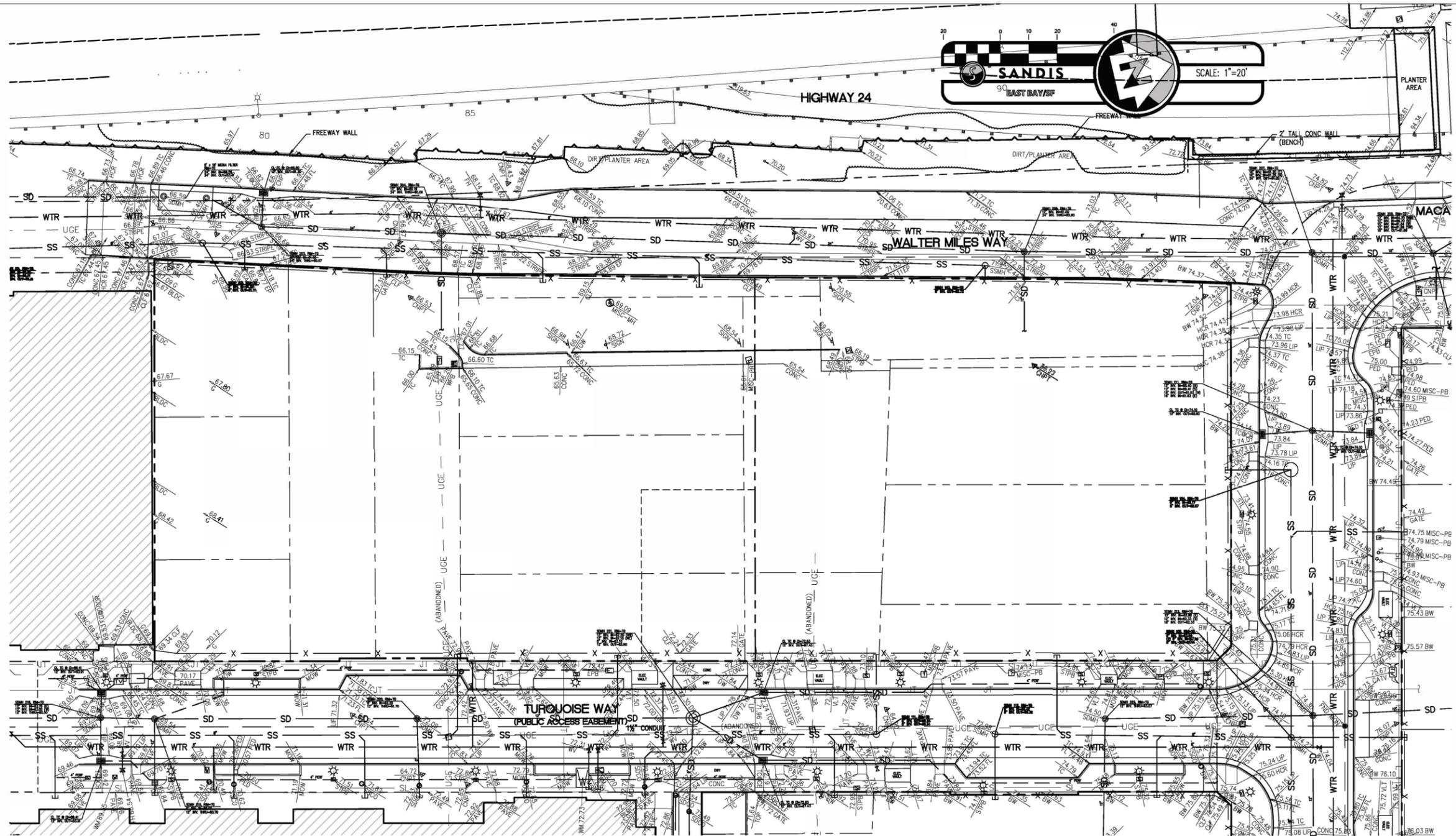
Total Open Space per Dwelling Unit: 75 Square Feet, 15 Square Feet for Units With Private Spaces

Units w/ Private Open Space: 30

Units Relying on Common Space: 372

	Required Per S-15 Zoning
Units w/ Private Open Space	15 SF/Unit
Units Relying on Common Space	75 SF/Unit

NOTE: Requirements for Open Space per current S-15 zoning varies by height limit. Open space requirements for height limit of 90 feet is 100 square feet of Group Usable Open Space per regular unit, or 20 square feet when Private Open Space substituted. Open space requirements for height limits above 90 feet are reduced to 75 square feet of Group Usable Open Space and 15 Square Feet for Group Usable Open Space When Private Open Space is Substituted per current S-15 zoning. Project is 256'-4" in height.



**BASIS OF BEARINGS**

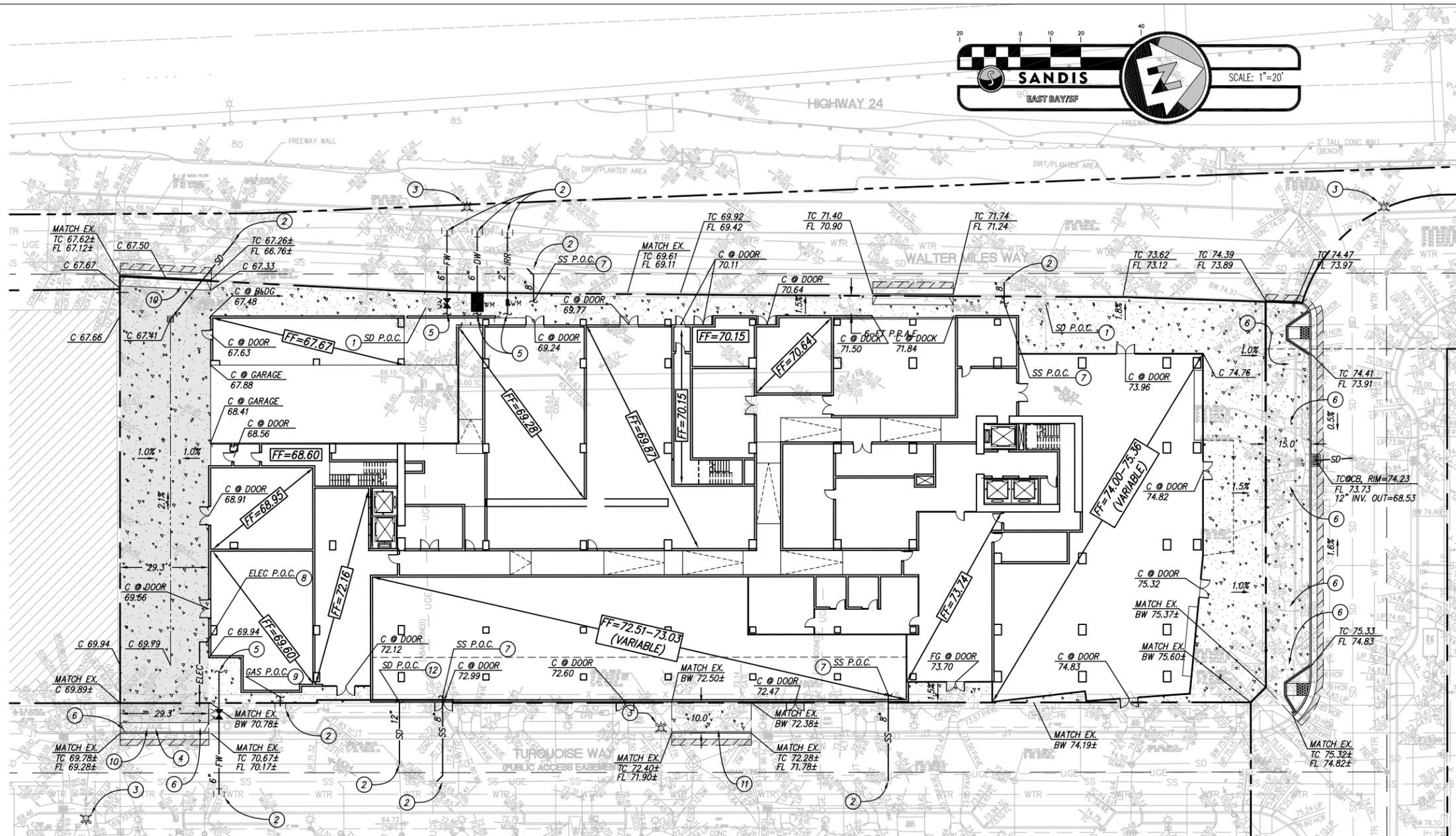
THE BEARING OF SOUTH 13°08'07" WEST, BETWEEN MONUMENTS FOUND AT THE INTERSECTION OF TELEGRAPH AVENUE AND 38TH STREET, AS SHOWN APRIL 2015, ON TRACT MAP NO. 8232, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**TOPOGRAPHIC SURVEY**

TOPOGRAPHIC SURVEY BY SANDIS DATED MAY 2016.

**BENCHMARK**

CITY OF OAKLAND MONUMENTS 9 NW 24 AND 9 NW 25, AT THE INTERSECTION OF TELEGRAPH AVENUE AND 38TH STREET, CITY OF OAKLAND DATUM, WAS USED AS THE BENCHMARKS TO ESTABLISH THE ELEVATIONS SHOWN ON THIS SURVEY.



**LEGEND**

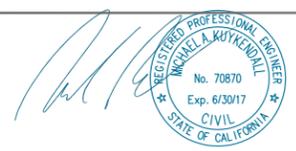
	PROPERTY LINE		CONCRETE SIDEWALK (PER CITY STANDARD DETAIL)
	SAWCUT LINE		PLANTING (S.L.D.)
	VEHICULAR CONCRETE		PERMEABLE PAVERS (MATCH EXISTING IN-KIND PAVERS)
	AC DEEPLIFT		

**GENERAL NOTES**

1. CONFORM TO EX. SIDEWALK / CURB ON WALTER MILES WAY AND TURQUOISE WAY.
2. EX. UTILITY STRUCTURES, VAULTS, VALVES, ETC TO REMAIN, UNLESS OTHERWISE NOTED.
3. SEE LANDSCAPE DRAWINGS FOR PROPOSED TREE LAYOUT AND PLANTING PLANS.

**SHEET NOTES**

1. CONNECT TO EX. UTILITY STUB. SEE PLUMBING DRAWINGS FOR CONTINUATION.
2. CONNECT TO EXISTING MAIN.
3. EXISTING FIRE HYDRANT TO REMAIN.
4. EXISTING UCD VAULT TO BE RELOCATED OR REMOVED. SEE ELECTRICAL DRAWINGS FOR DETAILS.
5. WATER SERVICE (FIRE, DOMESTIC, IRRIGATION), BACKFLOW DEVICES LOCATED WITHIN BUILDING. SEE PLUMBING DRAWINGS.
6. EXISTING TREE TO BE REMOVED.
7. REPLACE EX. 6" SS LATERAL WITH 8" LATERAL. SEE PLUMBING DRAWINGS FOR CONTINUATION.
8. CONNECT TO EX. JOINT TRENCH. SEE ELECTRICAL DRAWINGS FOR CONTINUATION.
9. GAS SERVICE. SEE PLUMBING DRAWINGS FOR CONTINUATION.
10. 30' DRIVEWAY APPROACH PER CITY OF OAKLAND STANDARD DETAIL.
11. EX. DRIVEWAY APPROACH TO BE REMOVED. REPAIR WITH IN-KIND PAVERS.
12. 12" SD LATERAL. SEE PLUMBING DRAWINGS FOR CONTINUATION.



**SANDIS** CIVIL ENGINEERS SURVEYORS PLANNERS  
 636 Ninth Street | Oakland, CA 94607 | P. 510.873.8866 | www.sandis.net  
**EAST BAY/SF**

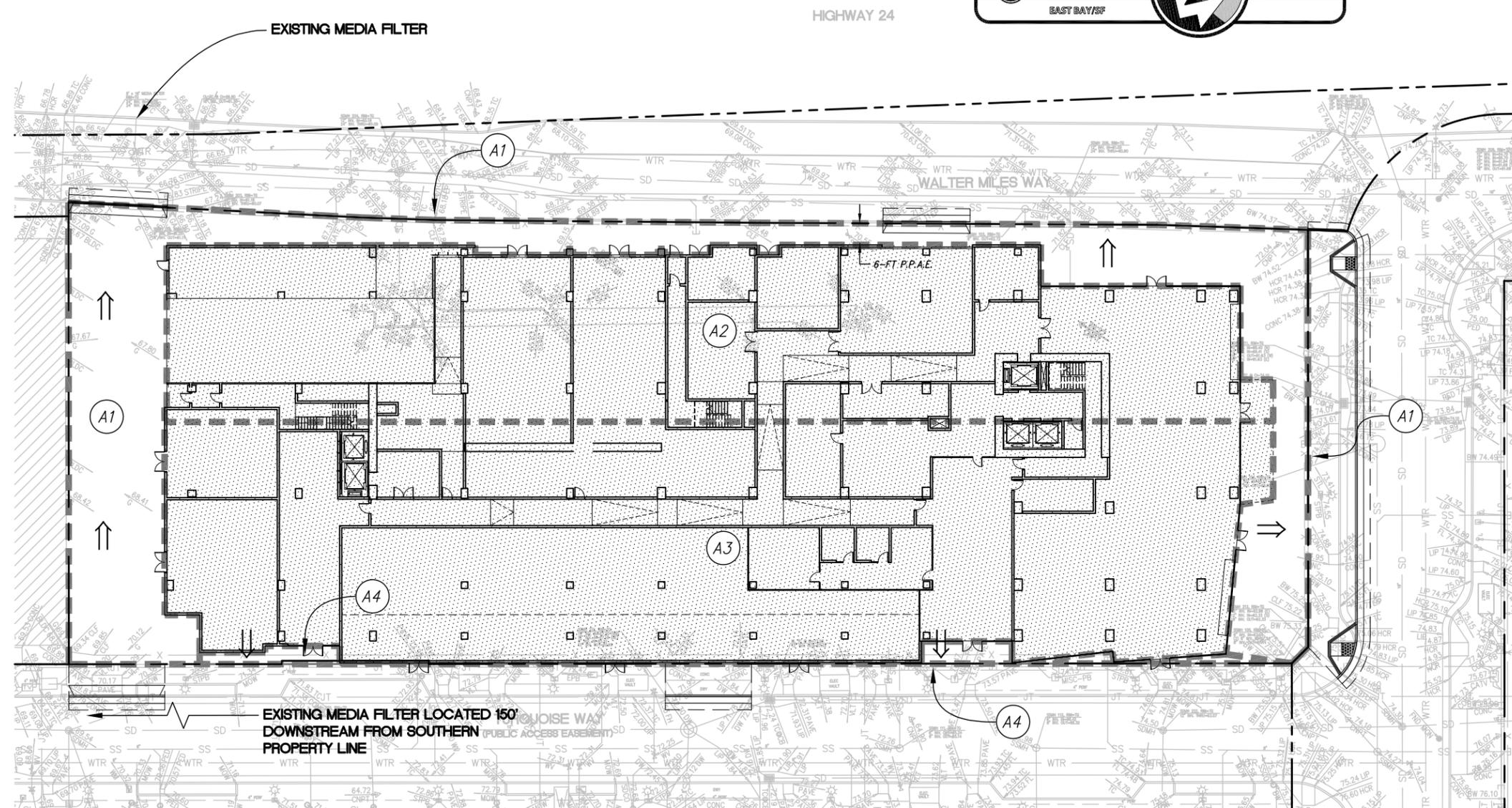
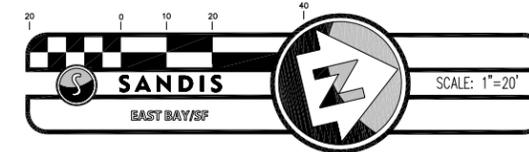


**SITE, GRADING, AND UTILITY PLAN**  
 Final Development Package  
 MacArthur Transit Village: Parcel B  
 Solomon Cordwell Buenz / Boston Properties / Oakland, CA

07 - 06 - 2016

2016010

C2-00



**LEGEND**

- DIRECTION OF FLOW
- DRAINAGE AREA
- DRAINAGE LABEL
- ROOF AREA

**SPECIAL PROJECT NOTE**

THIS PROJECT QUALIFIES AS A CATEGORY "B" SPECIAL PROJECT. BASED ON THE ALAMEDA COUNTY SPECIAL PROJECTS WORKSHEET, THIS PROJECT COULD BE ALLOWED TO USE NON-LID TREATMENT METHODS FOR UP TO 100% OF THE PROJECT'S REQUIRED STORMWATER TREATMENT.

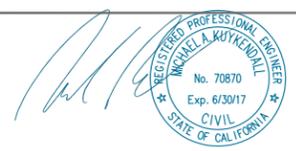
TOTAL PROJECT AREA: 51,218 S.F.  
 AREA ALLOWED TO BE TREATED BY NON-LID METHODS: 51,218 SF  
 AREA PROPOSED TO BE TREATED BY NON-LID METHODS: 51,218 SF  
 TRANSIT ORIENTED DEVELOPMENT: 100%

RUNOFF FROM THIS PROJECT WILL BE TREATED BY EXISTING MEDIA FILTERS IN BOTH TURQUOISE WAY AND WALTER MILES WAY. THESE MEDIA FILTERS WERE DESIGNED TO ACCOMMODATE THE DRAINAGE AREAS SHOWN.

AS THE PROJECT DESIGN IS FURTHER REFINED, THIS PROJECT WILL SEEK TO INCORPORATE THE USE OF LID TREATMENT METHODS WHERE FEASIBLE.

**STORMWATER MITIGATION MEASURES**

AREA ID	ROOF AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TOTAL (SF)
A1	0	10,248	0	10,248
A2	16,728	0	0	16,728
A3	23,765	0	0	23,765
A4	0	522	0	522
TOTALS	40,493	10,770	0	51,263



STORMWATER MANAGEMENT PLAN  
 Final Development Package  
 MacArthur Transit Village: Parcel B  
 Solomon Cordwell Buenz / Boston Properties / Oakland, CA

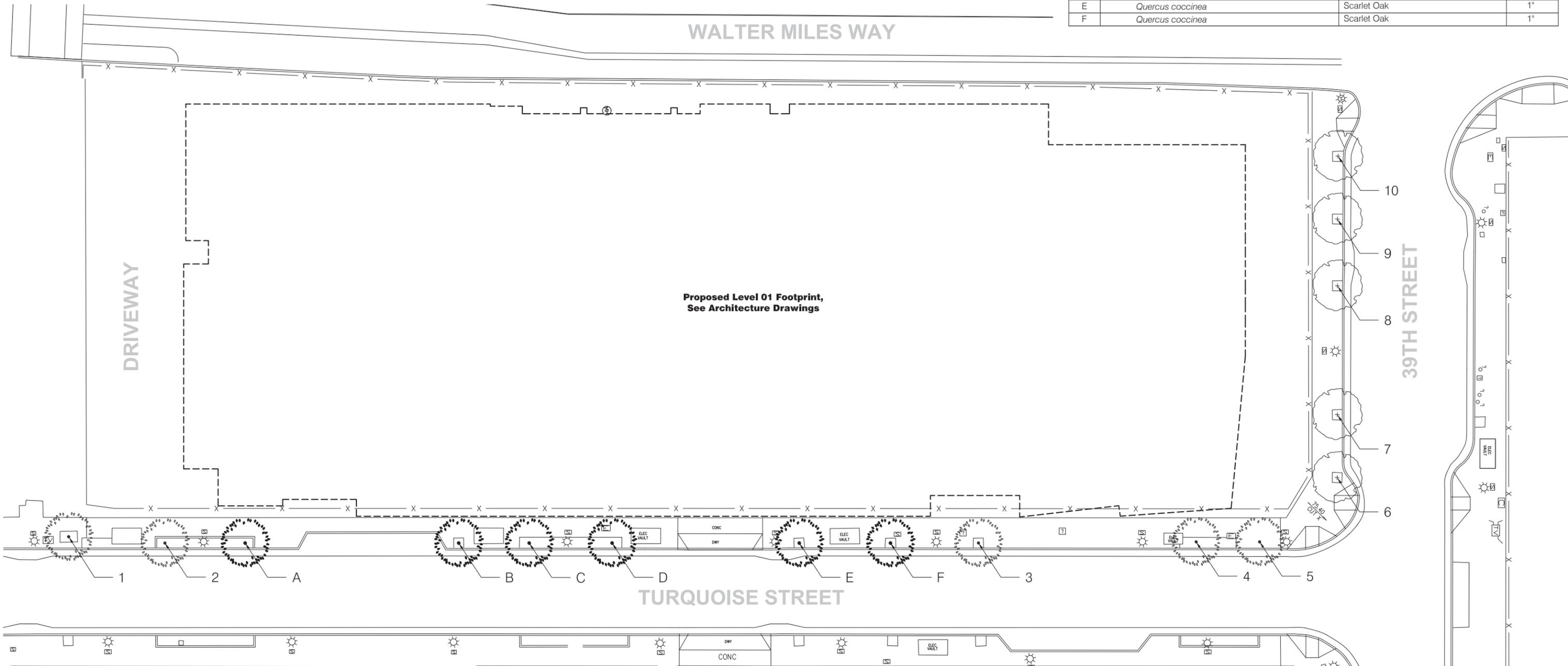
07 - 06 - 2016

2016010

C3-00

**Existing Tree Survey**

Key	Scientific Name	Common Name	DBH
<b>Trees Proposed for Removal</b>			
1	<i>Quercus coccinea</i>	Scarlet Oak	1"
2	<i>Quercus coccinea</i>	Scarlet Oak	1.25"
3	<i>Quercus coccinea</i>	Scarlet Oak	1"
4	<i>Quercus coccinea</i>	Scarlet Oak	1.25"
5	<i>Quercus coccinea</i>	Scarlet Oak	1.25"
6	<i>Platanus x acerifolia</i>	London Plane Tree	2"
7	<i>Platanus x acerifolia</i>	London Plane Tree	2"
8	<i>Platanus x acerifolia</i>	London Plane Tree	2"
9	<i>Platanus x acerifolia</i>	London Plane Tree	2"
10	<i>Platanus x acerifolia</i>	London Plane Tree	2"
<b>Trees Located Within 10 Feet of Construction Activity</b>			
A	<i>Quercus coccinea</i>	Scarlet Oak	1.25"
B	<i>Quercus coccinea</i>	Scarlet Oak	1"
C	<i>Quercus coccinea</i>	Scarlet Oak	1"
D	<i>Quercus coccinea</i>	Scarlet Oak	1.25"
E	<i>Quercus coccinea</i>	Scarlet Oak	1"
F	<i>Quercus coccinea</i>	Scarlet Oak	1"



**General Notes**

- The Contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the Landscape Architect and Owner before bidding. The Contractor shall assume responsibility for actual conditions.
- The Contractor shall familiarize himself/herself with all utilities above grade, at grade, and underground, including utility pipes and structures. Prior to the start of construction, the Contractor shall verify the locations of all utilities with the respective Utility Companies. The Contractor shall take sole responsibility for the cost incurred due to damage and replacement of all utilities damaged on the site.
- The Contractor shall familiarize himself/herself with all architecture within project limits prior to work.
- The term "Contractor" within these Notes shall mean the Site Contractor(s) performing the site work.

**Planting Notes**

- The Contractor shall locate and verify all existing and new utility line locations prior to planting, and shall report any utility conflicts to the Construction Manager.
- Contractor shall receive approval from Landscape Architect of plant layout prior to installation.
- The trunk flare (at the base of the tree) shall be properly exposed for all plantings.
- Keep root balls intact prior to and during planting operations. Plants with broken or damaged root balls shall be rejected and immediately removed from the site. Keep root balls damp and protected from damage due to sun and wind. Do not shave root balls.
- Temporary irrigation shall be provided for plant establishment and maintenance period.
- 1 year landscape maintenance and warranty period.
- See L-2.00 Planting Schedule for all plant sizing and species.

**Irrigation Notes**

- The irrigation system will be designed to distribute a minimum amount of water in order to promote active and healthy growth of all proposed plantings.
- The irrigation system shall be designed and installed in conformance with all applicable state and local codes and ordinances, By licensed contractors and experienced workmen.
- The irrigation controller shall have an automatic timer with battery backup and rain shutoff.
- All valves shall have separate pressure regulators filters and shut off as necessary.
- The system shall have a shut-off and reduced pressure backflow assembly.
- The irrigation system shall be comprised of all drip or bubblers.

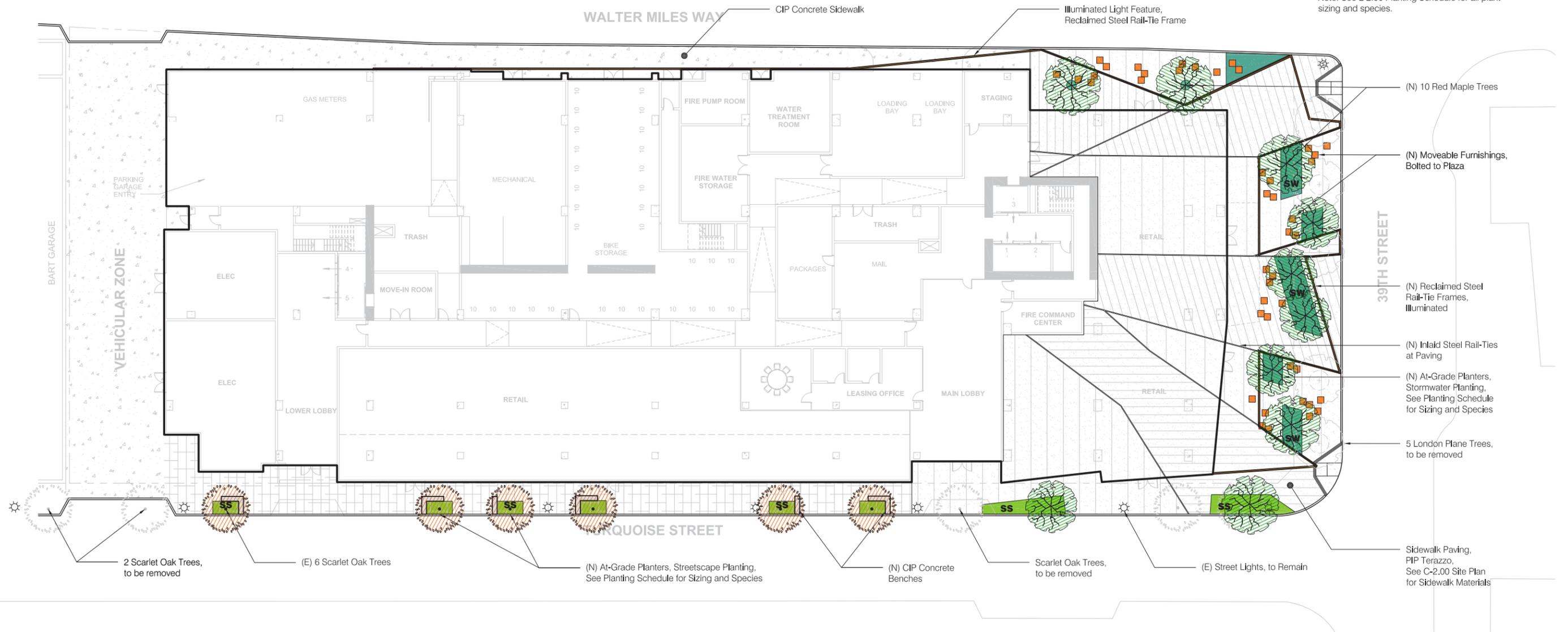
**Landscape Architectural Material Notes**

- The Contractor shall refer any questions on materials, finishes, labor and/or products not specified herein to the Landscape Architect prior to ordering materials or starting work.
- All lines and dimensions are parallel or perpendicular to the lines from which they are measure unless otherwise shown.
- Contractor shall take accurate field measurements before preparation of shop drawings and fabrication. Do not delay job progress.
- Expansion and control joints locations shall be verified in field by Landscape Architect.
- The Landscape Architect may make reasonable adjustments to the layout without incurring additional costs to the project. The Contractor shall stake out proposed tree locations to aid in the review of the final layout of site elements.
- Locations of all site furnishings and wayfinding signage shall be verified in the field by landscape architect prior to installation.

**Landscape Architecture Materials and Planting Legend**

	Stone Pavers on Pedestal Type A : 24"x24" Black Basalt, Honed Finish Type B : 24"x24" Black Basalt, Flamed Finish		Acer rubrum Red Maple
	Wood Decking, Reclaimed Teak, Smooth Finish, Sealed Alternate: Synthetic Wood Deck, Einwood or equivalent		Quercus coccinea Scarlet Oak
	Synthetic Lawn, Forever Lawn "K9Grass," or equivalent		Aesculus californica California Buckeye
	Bocce Court 1"-2" Crushed Oyster Shell Bocce Surface		Arbutus "Marina" Strawberry Tree
	Sidewalk Paving, PIP Terazzo at 39th Street Plaza Color TBD Match Existing Brick at Turquoise		Streetscape Planting Mix
	Decorative Gravel, 1-2", Color TBD		Planted Mounds
			Stormwater Planting Mix
			Intensive Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



**General Notes**

- The Contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the Landscape Architect and Owner before bidding. The Contractor shall assume responsibility for actual conditions.
- The Contractor shall familiarize himself/herself with all utilities above grade, at grade, and underground, including utility pipes and structures. Prior to the start of construction, the Contractor shall verify the locations of all utilities with the respective Utility Companies. The Contractor shall take sole responsibility for the cost incurred due to damage and replacement of all utilities damaged on the site.
- The Contractor shall familiarize himself/herself with all architecture within project limits prior to work.
- The term "Contractor" within these Notes shall mean the Site Contractor(s) performing the site work.

**Planting Notes**

- The Contractor shall locate and verify all existing and new utility line locations prior to planting, and shall report any utility conflicts to the Construction Manager.
- Contractor shall receive approval from Landscape Architect of plant layout prior to installation.
- The trunk flare (at the base of the tree) shall be properly exposed for all plantings.
- Keep root balls intact prior to and during planting operations. Plants with broken or damaged root balls shall be rejected and immediately removed from the site. Keep root balls damp and protected from damage due to sun and wind. Do not shave root balls.
- Temporary irrigation shall be provided for plant establishment and maintenance period.
- 1 year landscape maintenance and warranty period.
- See L-2.00 Planting Schedule for all plant sizing and species.

**Irrigation Notes**

- The irrigation system will be designed to distribute a minimum amount of water in order to promote active and healthy growth of all proposed plantings.
- The irrigation system shall be designed and installed in conformance with all applicable state and local codes and ordinances. By licensed contractors and experienced workmen.
- The irrigation controller shall have an automatic timer with battery backup and rain shutoff.
- All valves shall have separate pressure regulators filters and shut off as necessary.
- The system shall have a shut-off and reduced pressure backflow assembly.
- The irrigation system shall be comprised of all drip or bubblers.

**Landscape Architectural Material Notes**

- The Contractor shall refer any questions on materials, finishes, labor and/or products not specified herein to the Landscape Architect prior to ordering materials or starting work.
- All lines and dimensions are parallel or perpendicular to the lines from which they are measure unless otherwise shown.
- Contractor shall take accurate field measurements before preparation of shop drawings and fabrication. Do not delay job progress.
- Expansion and control joints locations shall be verified in field by Landscape Architect.
- The Landscape Architect may make reasonable adjustments to the layout without incurring additional costs to the project. The Contractor shall stake out proposed tree locations to aid in the review of the final layout of site elements.
- Locations of all site furnishings and wayfinding signage shall be verified in the field by landscape architect prior to installation.

**Landscape Architecture Materials and Planting Legend**

	Stone Pavers on Pedestal Type A : 24"x24" Black Basalt, Honed Finish Type B : 24"x24" Black Basalt, Flamed Finish		Acer rubrum Red Maple
	Wood Decking, Reclaimed Teak, Smooth Finish, Sealed Alternate: Synthetic Wood Deck, Einwood or equivalent		Quercus coccinea Scarlet Oak
	Synthetic Lawn, Forever Lawn "K9Grass," or equivalent		Aesculus californica California Buckeye
	Bocce Court 1"-2" Crushed Oyster Shell Bocce Surface		Arbutus "Marina" Strawberry Tree
	Sidewalk Paving, PIP Terazzo at 39th Street Plaza Color TBD Match Existing Brick at Turquoise		SS Streetscape Planting Mix
	Decorative Gravel, 1-2", Color TBD		PM Planted Mounds
			SW Stormwater Planting Mix
			GR Intensive Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



**General Notes**

- The Contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the Landscape Architect and Owner before bidding. The Contractor shall assume responsibility for actual conditions.
- The Contractor shall familiarize himself/herself with all utilities above grade, at grade, and underground, including utility pipes and structures. Prior to the start of construction, the Contractor shall verify the locations of all utilities with the respective Utility Companies. The Contractor shall take sole responsibility for the cost incurred due to damage and replacement of all utilities damaged on the site.
- The Contractor shall familiarize himself/herself with all architecture within project limits prior to work.
- The term "Contractor" within these Notes shall mean the Site Contractor(s) performing the site work.

**Planting Notes**

- The Contractor shall locate and verify all existing and new utility line locations prior to planting, and shall report any utility conflicts to the Construction Manager.
- Contractor shall receive approval from Landscape Architect of plant layout prior to installation.
- The trunk flare (at the base of the tree) shall be properly exposed for all plantings.
- Keep root balls intact prior to and during planting operations. Plants with broken or damaged root balls shall be rejected and immediately removed from the site. Keep root balls damp and protected from damage due to sun and wind. Do not shave root balls.
- Temporary irrigation shall be provided for plant establishment and maintenance period.
- 1 year landscape maintenance and warranty period.
- See L-2.00 Planting Schedule for all plant sizing and species.

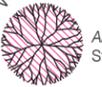
**Irrigation Notes**

- The irrigation system will be designed to distribute a minimum amount of water in order to promote active and healthy growth of all proposed plantings.
- The irrigation system shall be designed and installed in conformance with all applicable state and local codes and ordinances, by licensed contractors and experienced workmen.
- The irrigation controller shall have an automatic timer with battery backup and rain shutoff.
- All valves shall have separate pressure regulators filters and shut off as necessary.
- The system shall have a shut-off and reduced pressure backflow assembly.
- The irrigation system shall be comprised of all drip or bubblers.

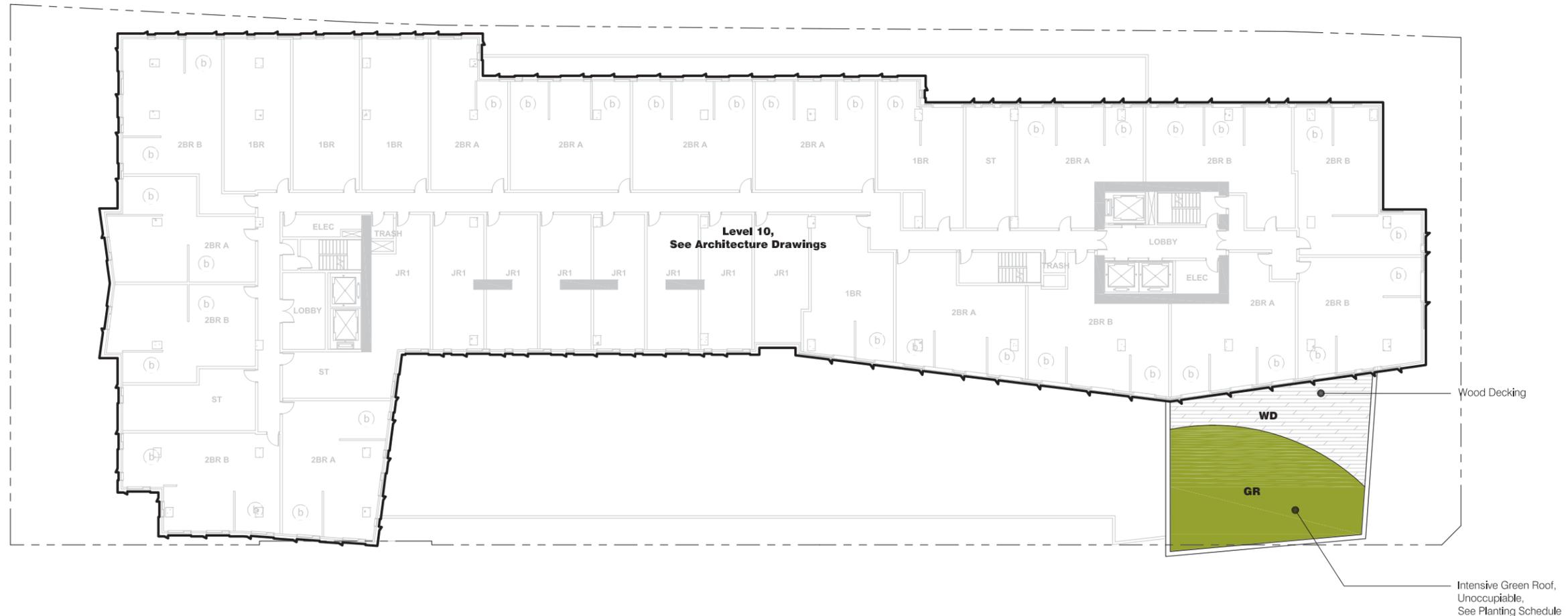
**Landscape Architectural Material Notes**

- The Contractor shall refer any questions on materials, finishes, labor and/or products not specified herein to the Landscape Architect prior to ordering materials or starting work.
- All lines and dimensions are parallel or perpendicular to the lines from which they are measured unless otherwise shown.
- Contractor shall take accurate field measurements before preparation of shop drawings and fabrication. Do not delay job progress.
- Expansion and control joints locations shall be verified in field by Landscape Architect.
- The Landscape Architect may make reasonable adjustments to the layout without incurring additional costs to the project. The Contractor shall stake out proposed tree locations to aid in the review of the final layout of site elements.
- Locations of all site furnishings and wayfinding signage shall be verified in the field by landscape architect prior to installation.

**Landscape Architecture Materials and Planting Legend**

	Stone Pavers on Pedestal Type A : 24"x24" Black Basalt, Honed Finish Type B : 24"x24" Black Basalt, Flamed Finish		Acer rubrum Red Maple
	Wood Decking, Reclaimed Teak, Smooth Finish, Sealed Alternate: Synthetic Wood Deck, Einwood or equivalent		Quercus coccinea Scarlet Oak
	Synthetic Lawn, Forever Lawn "K9Grass," or equivalent		Aesculus californica California Buckeye
	Bocce Court 1"-2" Crushed Oyster Shell Bocce Surface		Arbutus "Marina" Strawberry Tree
	Sidewalk Paving, PIP Terazzo at 39th Street Plaza Color TBD Match Existing Brick at Turquoise		SS Streetscape Planting Mix
	Decorative Gravel, 1-2", Color TBD		PM Planted Mounds
			SW Stormwater Planting Mix
			GR Intensive Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



**General Notes**

- The Contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the Landscape Architect and Owner before bidding. The Contractor shall assume responsibility for actual conditions.
- The Contractor shall familiarize himself/herself with all utilities above grade, at grade, and underground, including utility pipes and structures. Prior to the start of construction, the Contractor shall verify the locations of all utilities with the respective Utility Companies. The Contractor shall take sole responsibility for the cost incurred due to damage and replacement of all utilities damaged on the site.
- The Contractor shall familiarize himself/herself with all architecture within project limits prior to work.
- The term "Contractor" within these Notes shall mean the Site Contractor(s) performing the site work.

**Planting Notes**

- The Contractor shall locate and verify all existing and new utility line locations prior to planting, and shall report any utility conflicts to the Construction Manager.
- Contractor shall receive approval from Landscape Architect of plant layout prior to installation.
- The trunk flare (at the base of the tree) shall be properly exposed for all plantings.
- Keep root balls intact prior to and during planting operations. Plants with broken or damaged root balls shall be rejected and immediately removed from the site. Keep root balls damp and protected from damage due to sun and wind. Do not shave root balls.
- Temporary irrigation shall be provided for plant establishment and maintenance period.
- 1 year landscape maintenance and warranty period.
- See L-2.00 Planting Schedule for all plant sizing and species.

**Irrigation Notes**

- The irrigation system will be designed to distribute a minimum amount of water in order to promote active and healthy growth of all proposed plantings.
- The irrigation system shall be designed and installed in conformance with all applicable state and local codes and ordinances, by licensed contractors and experienced workmen.
- The irrigation controller shall have an automatic timer with battery backup and rain shutoff.
- All valves shall have separate pressure regulators filters and shut off as necessary.
- The system shall have a shut-off and reduced pressure backflow assembly.
- The irrigation system shall be comprised of all drip or bubblers.

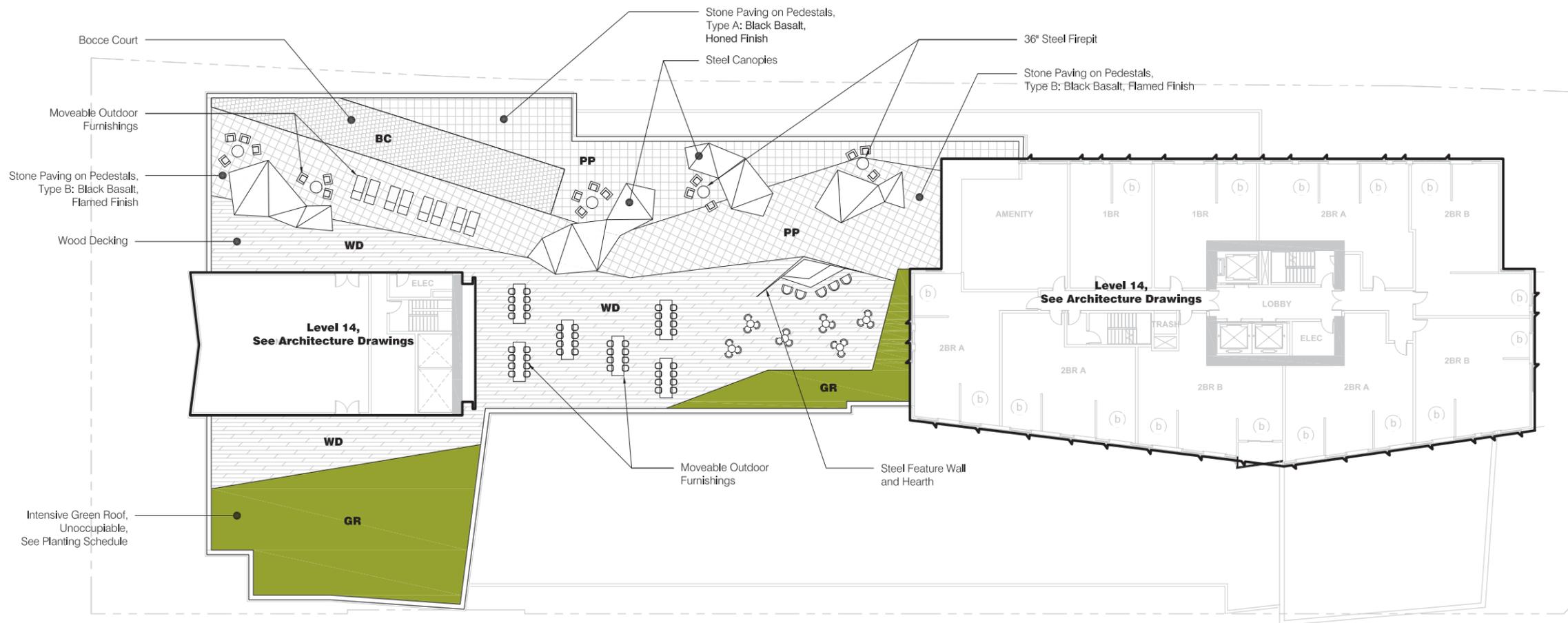
**Landscape Architectural Material Notes**

- The Contractor shall refer any questions on materials, finishes, labor and/or products not specified herein to the Landscape Architect prior to ordering materials or starting work.
- All lines and dimensions are parallel or perpendicular to the lines from which they are measured unless otherwise shown.
- Contractor shall take accurate field measurements before preparation of shop drawings and fabrication. Do not delay job progress.
- Expansion and control joints locations shall be verified in field by Landscape Architect.
- The Landscape Architect may make reasonable adjustments to the layout without incurring additional costs to the project. The Contractor shall stake out proposed tree locations to aid in the review of the final layout of site elements.
- Locations of all site furnishings and wayfinding signage shall be verified in the field by landscape architect prior to installation.

**Landscape Architecture Materials and Planting Legend**

	Stone Pavers on Pedestal Type A : 24"x24" Black Basalt, Honed Finish Type B : 24"x24" Black Basalt, Flamed Finish		Acer rubrum Red Maple
	Wood Decking, Reclaimed Teak, Smooth Finish, Sealed Alternate: Synthetic Wood Deck, Einwood or equivalent		Quercus coccinea Scarlet Oak
	Synthetic Lawn, Forever Lawn "K9Grass," or equivalent		Aesculus californica California Buckeye
	Bocce Court 1"-2" Crushed Oyster Shell Bocce Surface		Arbutus "Marina" Strawberry Tree
	Sidewalk Paving, PIP Terazzo at 39th Street Plaza Color TBD Match Existing Brick at Turquoise		SS Streetscape Planting Mix
	Decorative Gravel, 1-2", Color TBD		PM Planted Mounds
			SW Stormwater Planting Mix
			GR Intensive Green Roof

Note: See L-2.00 Planting Schedule for all plant sizing and species.



**Planting Schedule**

Key	Qty	Scientific Name	Common Name	Size	Root	Spacing	Irrigation
-----	-----	-----------------	-------------	------	------	---------	------------

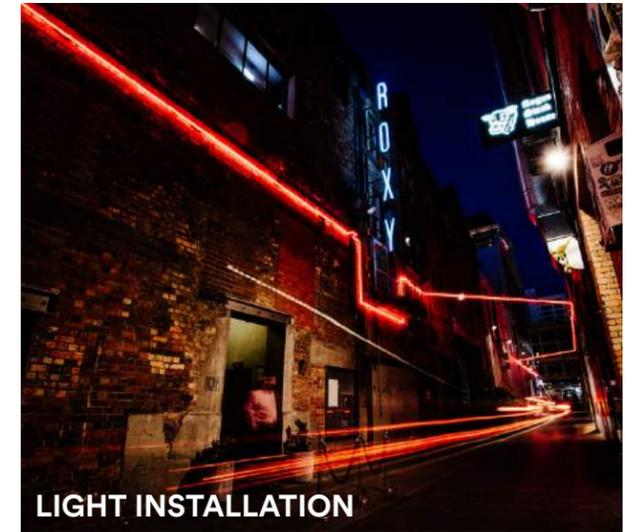
Trees							
PA	5	<i>Acer rubrum</i>	Red Maple	48"	Box		In-Line Drip
QC	9	<i>Quercus coccinea</i>	Scarlet Oak	(E)			In-Line Drip
AC	6	<i>Aesculus californica</i>	California buckeye	36"	Box		In-Line Drip
AM	5	<i>Arbutus "Marina"</i>	Strawberry Tree	36"	Box		In-Line Drip

Planting Zones							
<b>SS</b>	1285 SF	<b>Streetscape Planting</b>					In-Line Drip
	30%	<i>Muhlenbergia rigens</i>	Deer Grass	1 Gal.	Cont.	24" O.C.	
	10%	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	4" Pot	Cont.	12" O.C.	
	10%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
	10%	<i>Festuca rubra</i>	Red Fescue	1 Gal.	Cont.	15" O.C.	
	20%	<i>Juncus patens</i>	California Grey Rush	1 Gal.	Cont.	15" O.C.	
	20%	<i>Calamagrostis nutkaensis</i>	Pacific Reed Grass	1 Gal.	Cont.	18" O.C.	
<b>SW</b>	514 SF	<b>Stormwater Planting</b>					In-Line Drip
	20%	<i>Achillea millefolium</i>	Common Yarrow	4" Pot	Cont.	12" O.C.	
	5%	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	4" Pot	Cont.	12" O.C.	
	15%	<i>Festuca rubra</i>	Red fescue	1 Gal.	Cont.	15" O.C.	
	20%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
40%	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	1 Gal.	Cont.	18" O.C.		
<b>PM</b>	1903 SF	<b>Planted Mounds</b>					Conventional Drip
	25%	<i>Carex tumulicola</i>	Berkeley Sedge	1 Gal.	Cont.	12" O.C.	
	15%	<i>Sarcococca hookeriana var. humilis</i>	Himalayan Sweet Box	1 Gal.	Cont.	24" O.C.	
	25%	<i>Muhlenbergia rigens</i>	Deer Grass	1 Gal.	Cont.	24" O.C.	
	20%	<i>Polystichum munitum</i>	Western Sword Fern	1 Gal.	Cont.	36" O.C.	
15%	<i>Woodwardia fimbriata</i>	Giant Chain Fern	1 Gal.	Cont.	48" O.C.		
<b>GR</b>	3376 SF	<b>Intensive Green Roof Planting</b>					In-Line Drip
	100%	<i>Sedum spp.</i>	Sedum	1 Gal.	Cont.	12" O.C.	
<b>SC</b>	352 SF	<b>Hedge Screen</b>					Conventional Drip
	100%	<i>Pittosporum tenuifolium 'Silver Sheen'</i>	Silver Sheen Kohuhu	1 Gal.	Cont.	30" O.C.	

WALTER MILES WAY



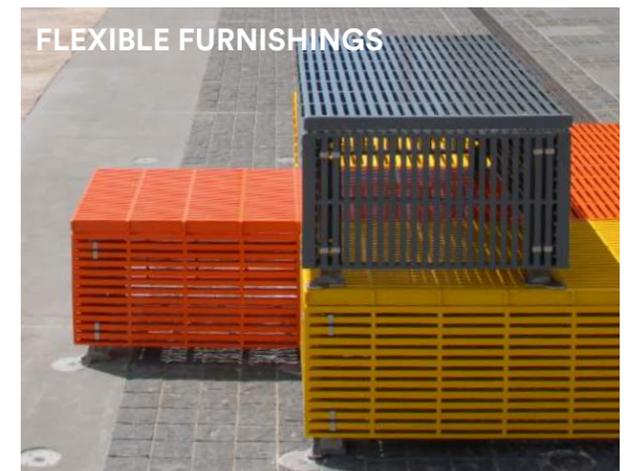
Located at the nexus of the Longfellow, Temescal and Mosswood neighborhoods, **39th Street Plaza** takes its shape from the converging local grid. Inspired by the project's proximity to MacArthur BART Station and the historic Telegraph Streetcar, a neon lighting feature made from reclaimed steel rail-ties weaves its way through the plaza, creating a series of flexible outdoor rooms, while the paving pattern references the diverse urban quilt of Oakland.



LIGHT INSTALLATION



RECLAIMED RAIL-TIE



FLEXIBLE FURNISHINGS

39th STREET



MACARTHUR BART STATION

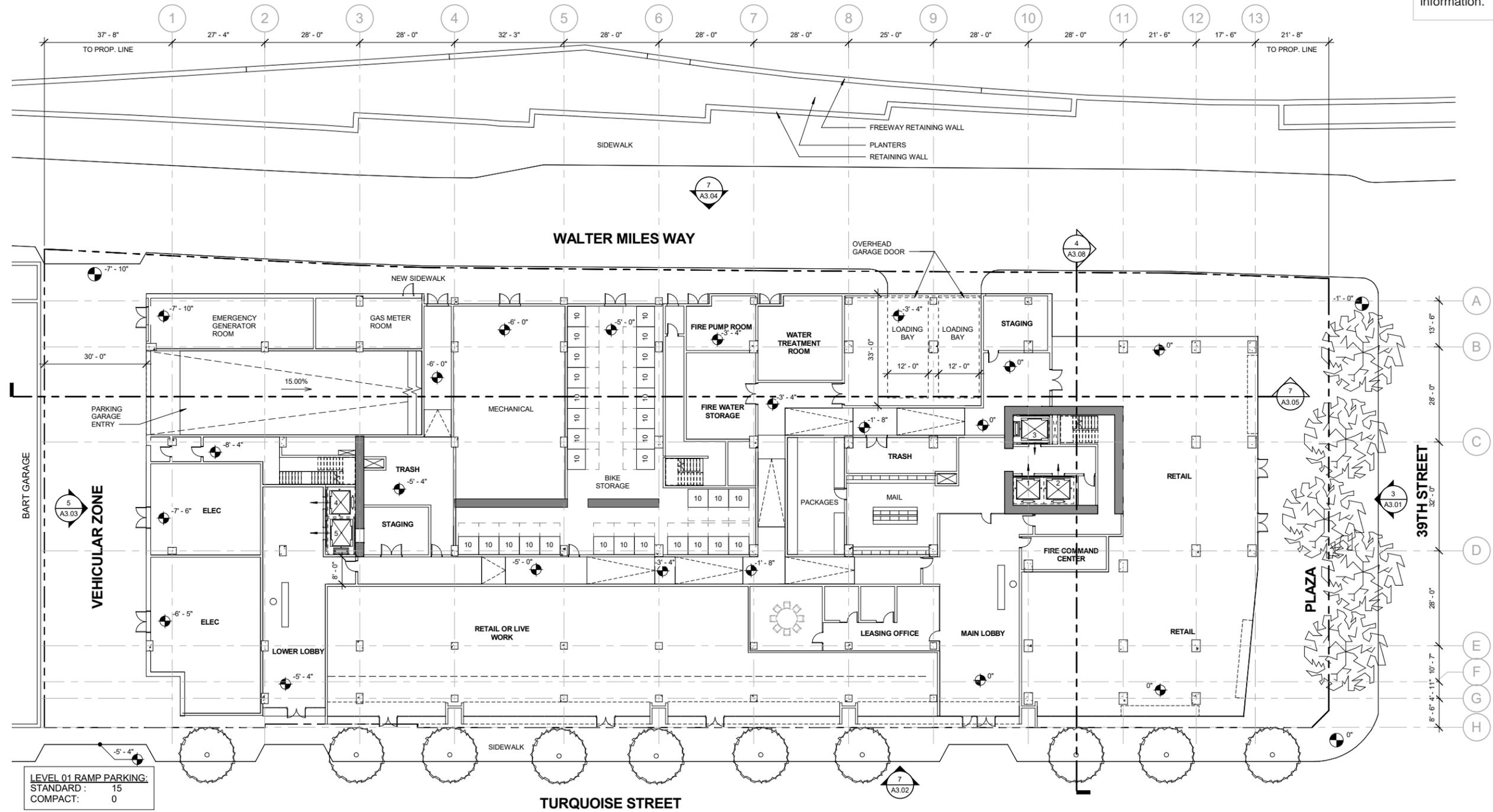






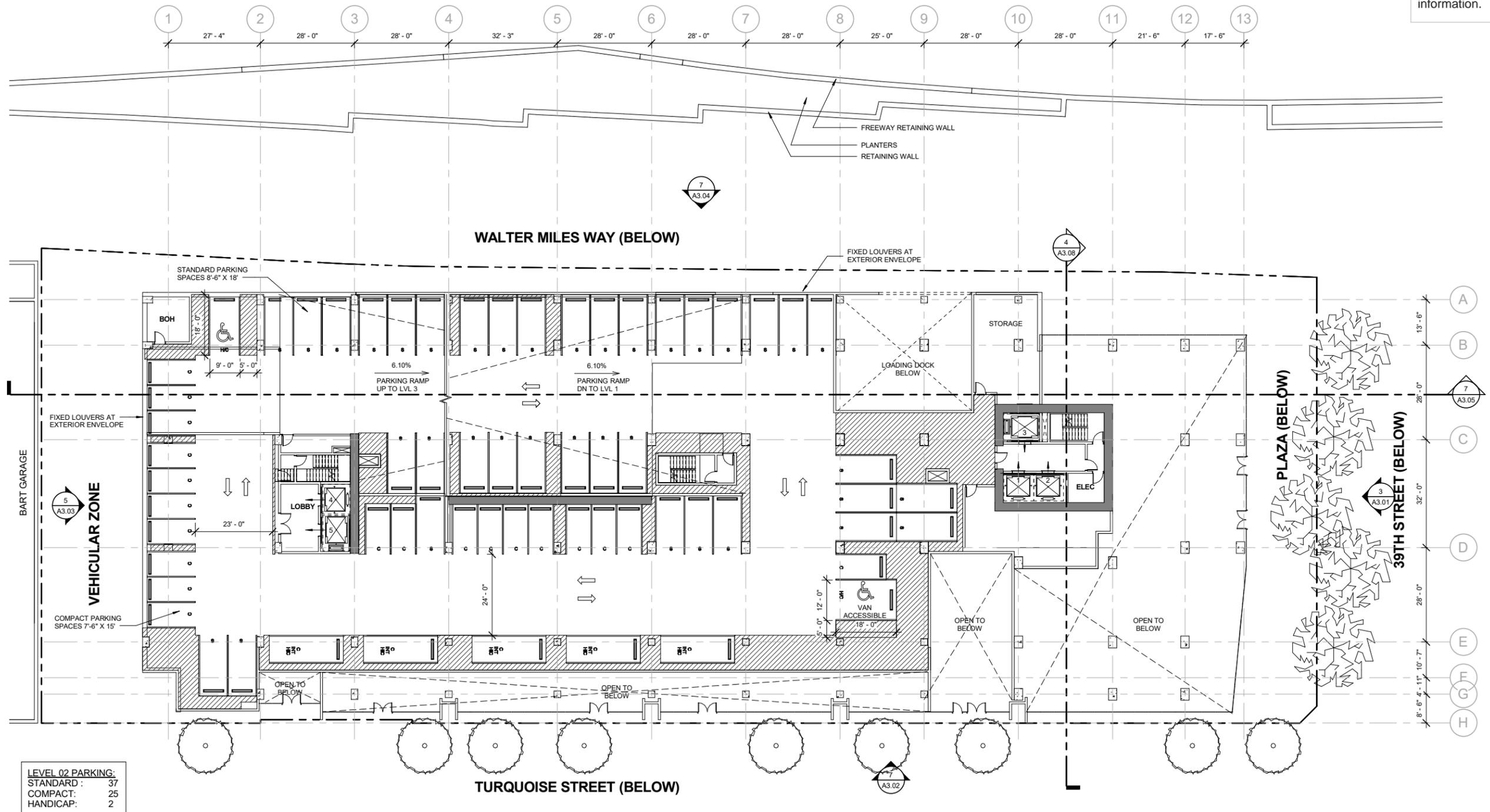
**General Plan Notes**

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



**General Plan Notes**

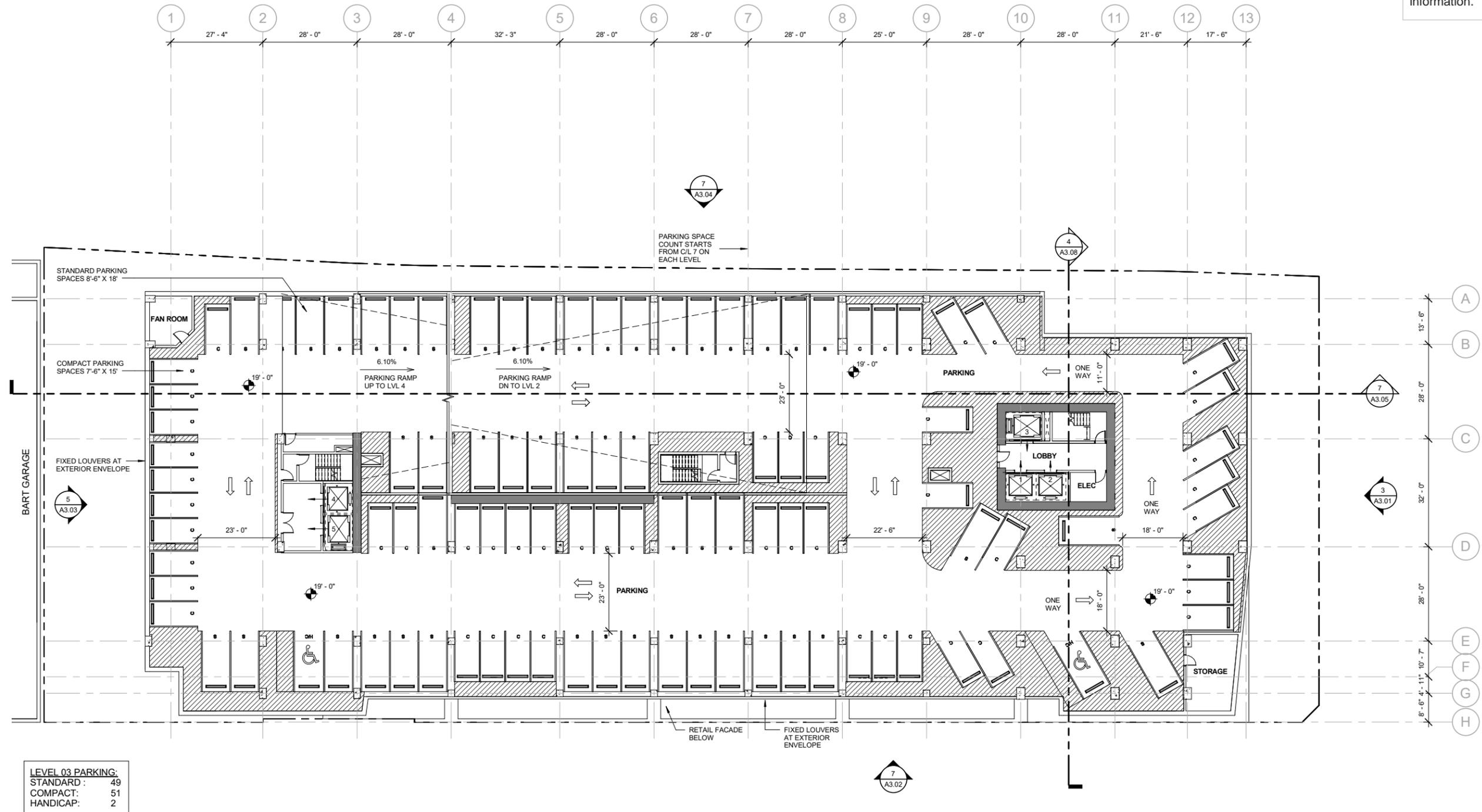
1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



LEVEL 02 PARKING:	
STANDARD :	37
COMPACT:	25
HANDICAP:	2

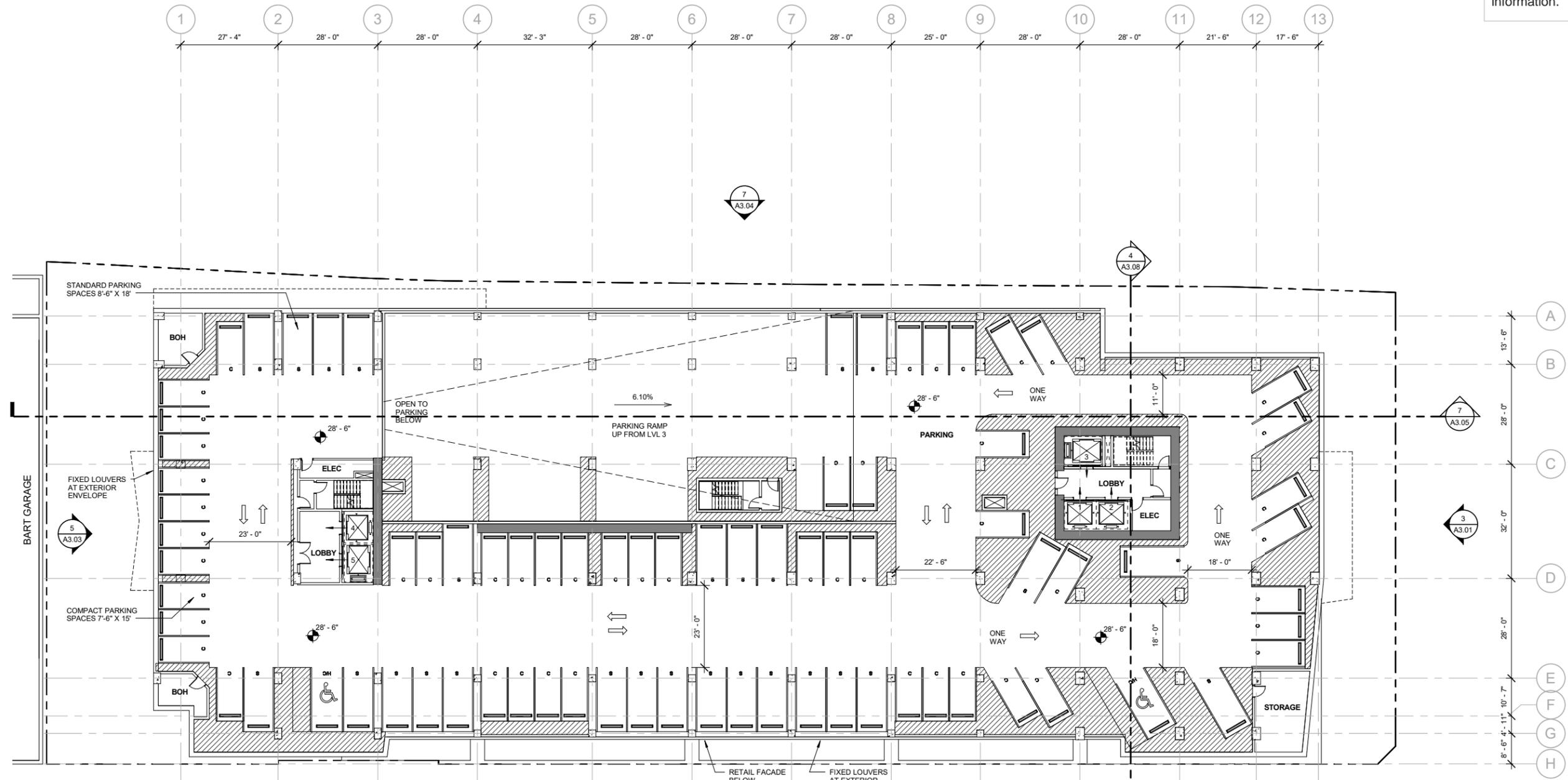
# General Plan Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



# General Plan Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



LEVEL 04 PARKING:	
STANDARD :	26
COMPACT :	53
HANDICAP :	2

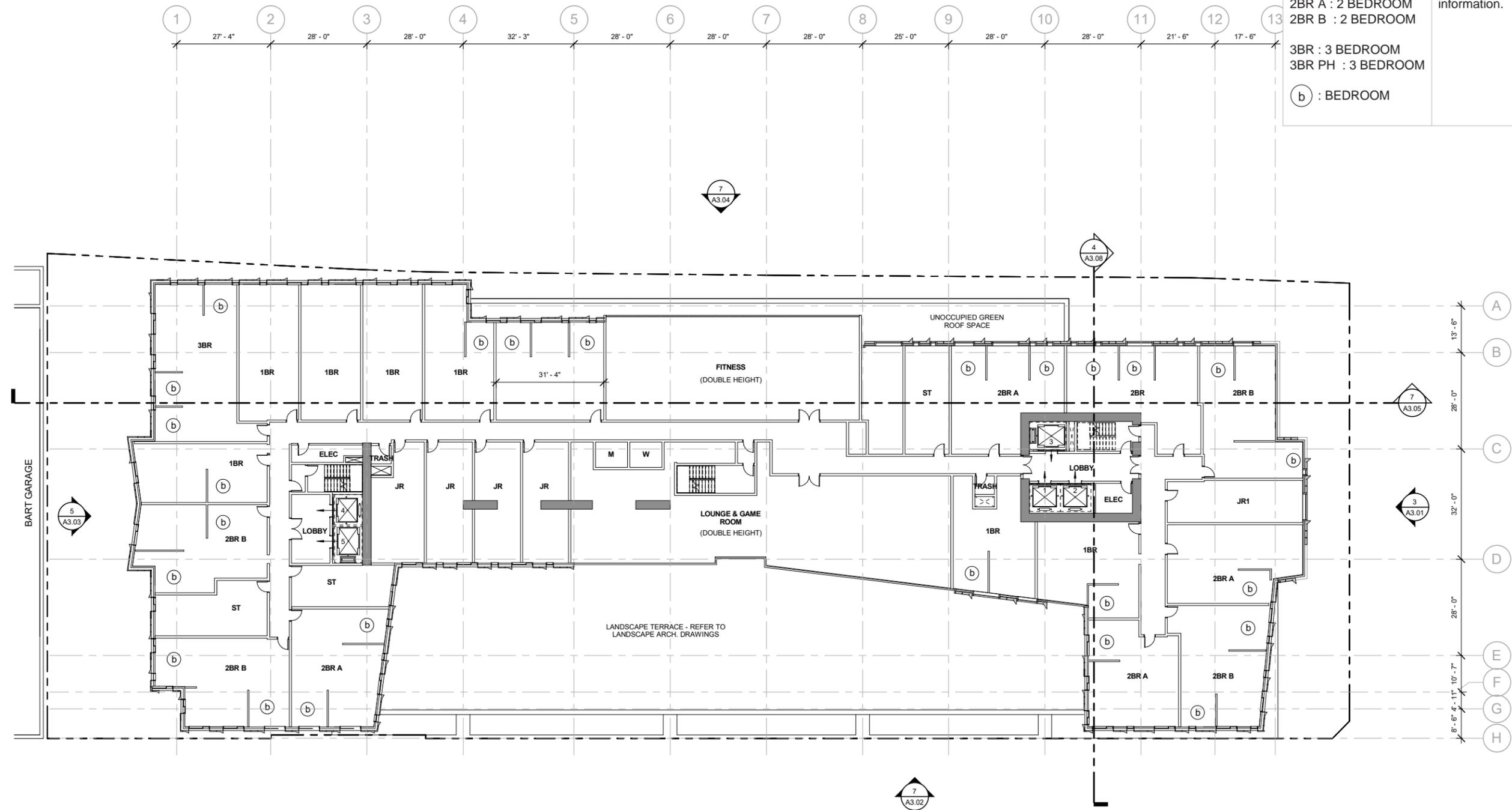
PARKING:	LV1	LV2	LV3	LV4	TOTAL
STANDARD :	15	37	49	28	127
COMPACT :	0	25	51	51	127
HANDICAP :	0	2	2	2	6
TOTAL/LEVEL	15	64	102	81	262

### ALTERNATE PARKING SCHEME

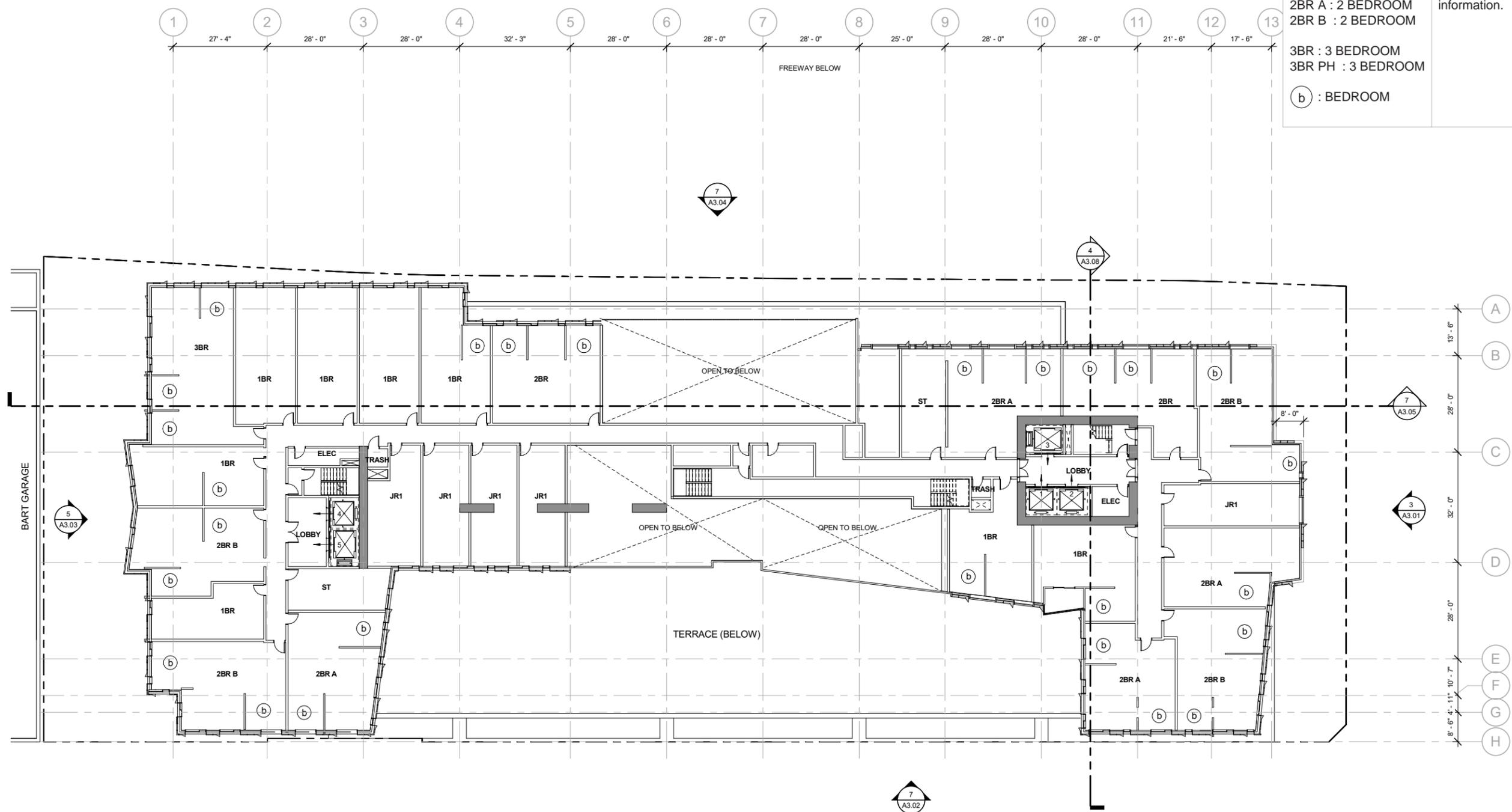
LEVEL 04 PARKING:	
STANDARD :	0
COMPACT :	0
HANDICAP :	0

PARKING:	LV1	LV2	LV3	LV4	TOTAL
STANDARD :	15	37	49	0	127
COMPACT :	0	25	51	0	127
HANDICAP :	0	2	2	0	6
TOTAL/LEVEL	15	64	102	0	181

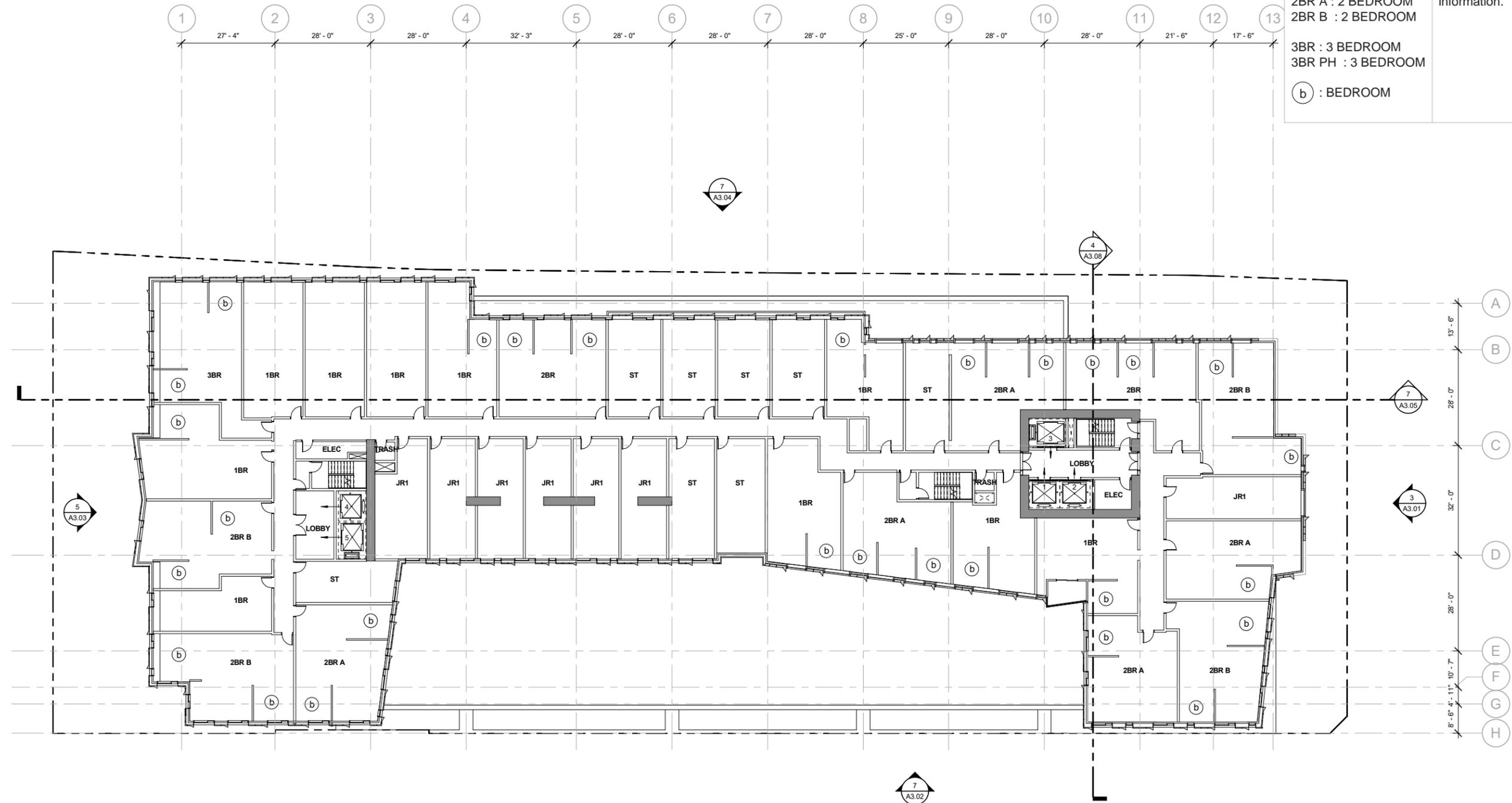
Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



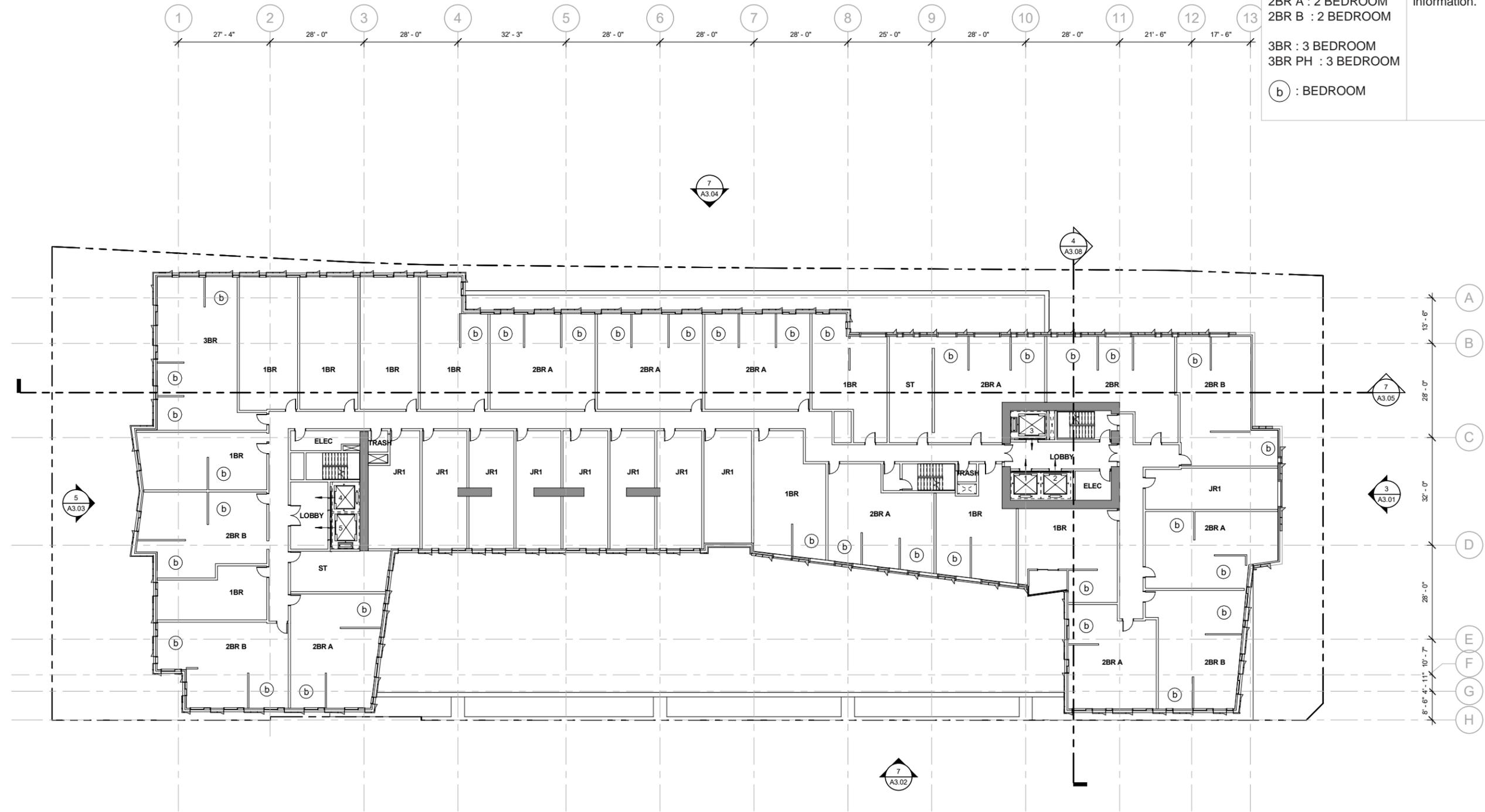
Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



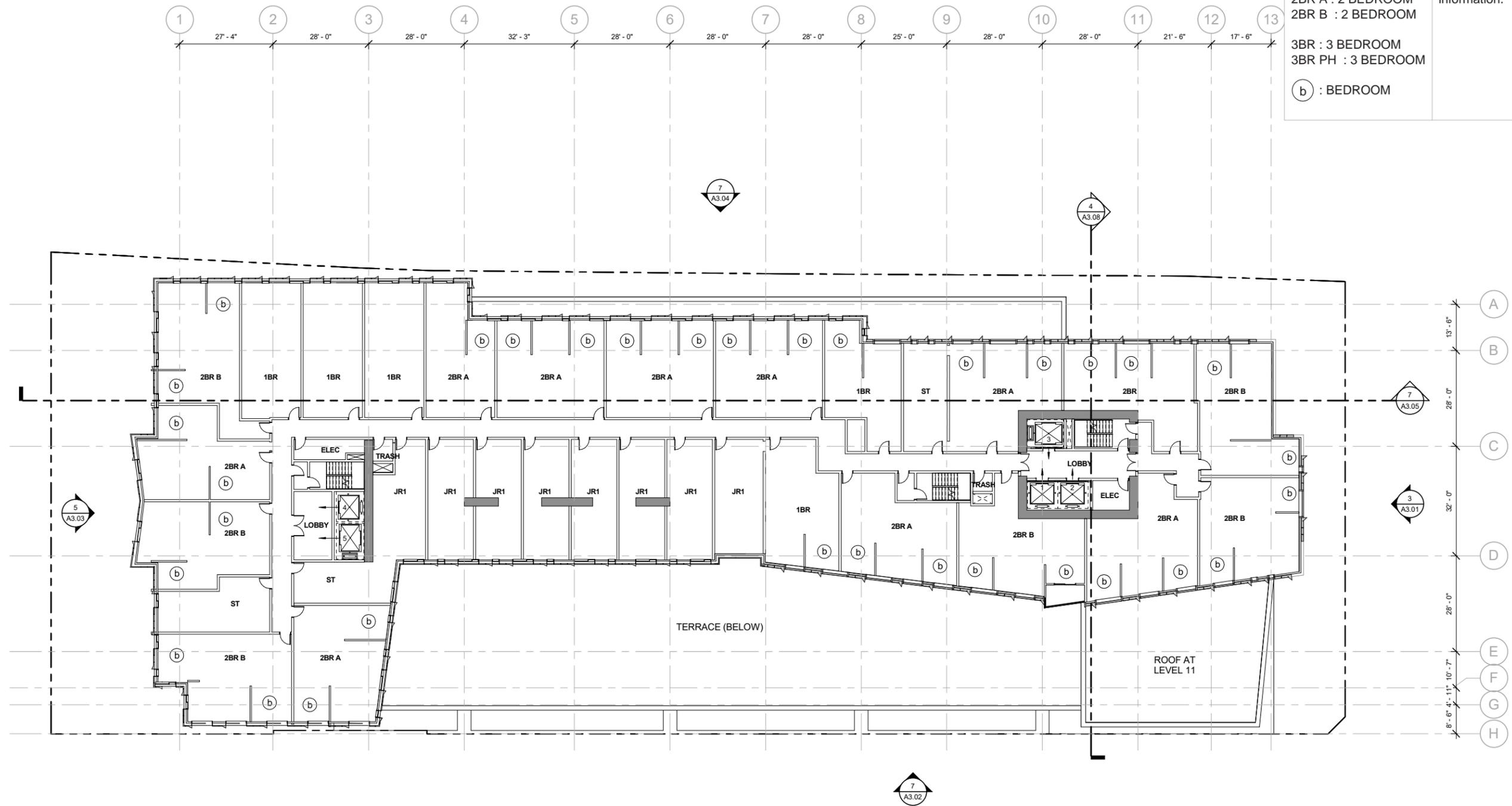
Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



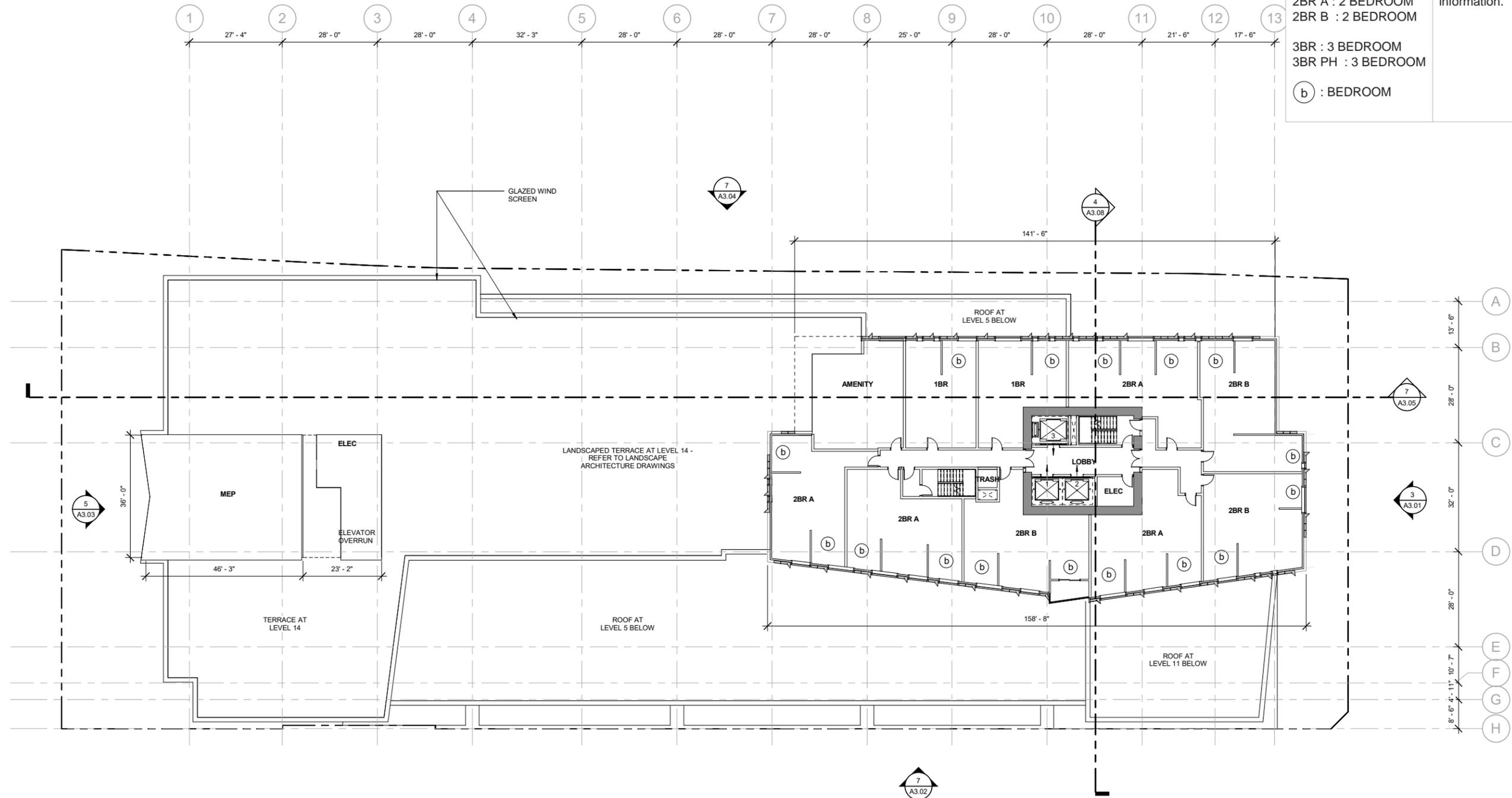
Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



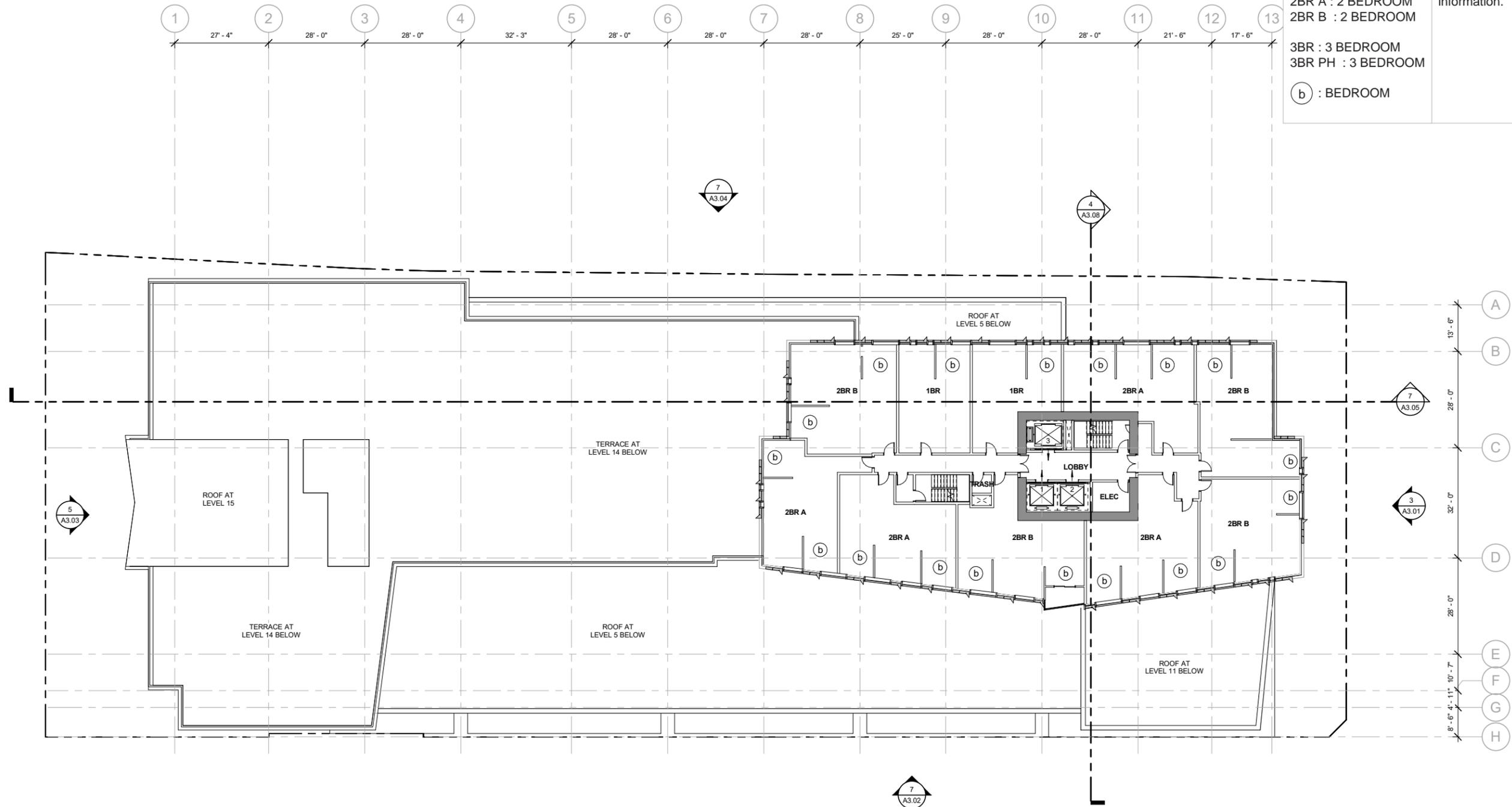
Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



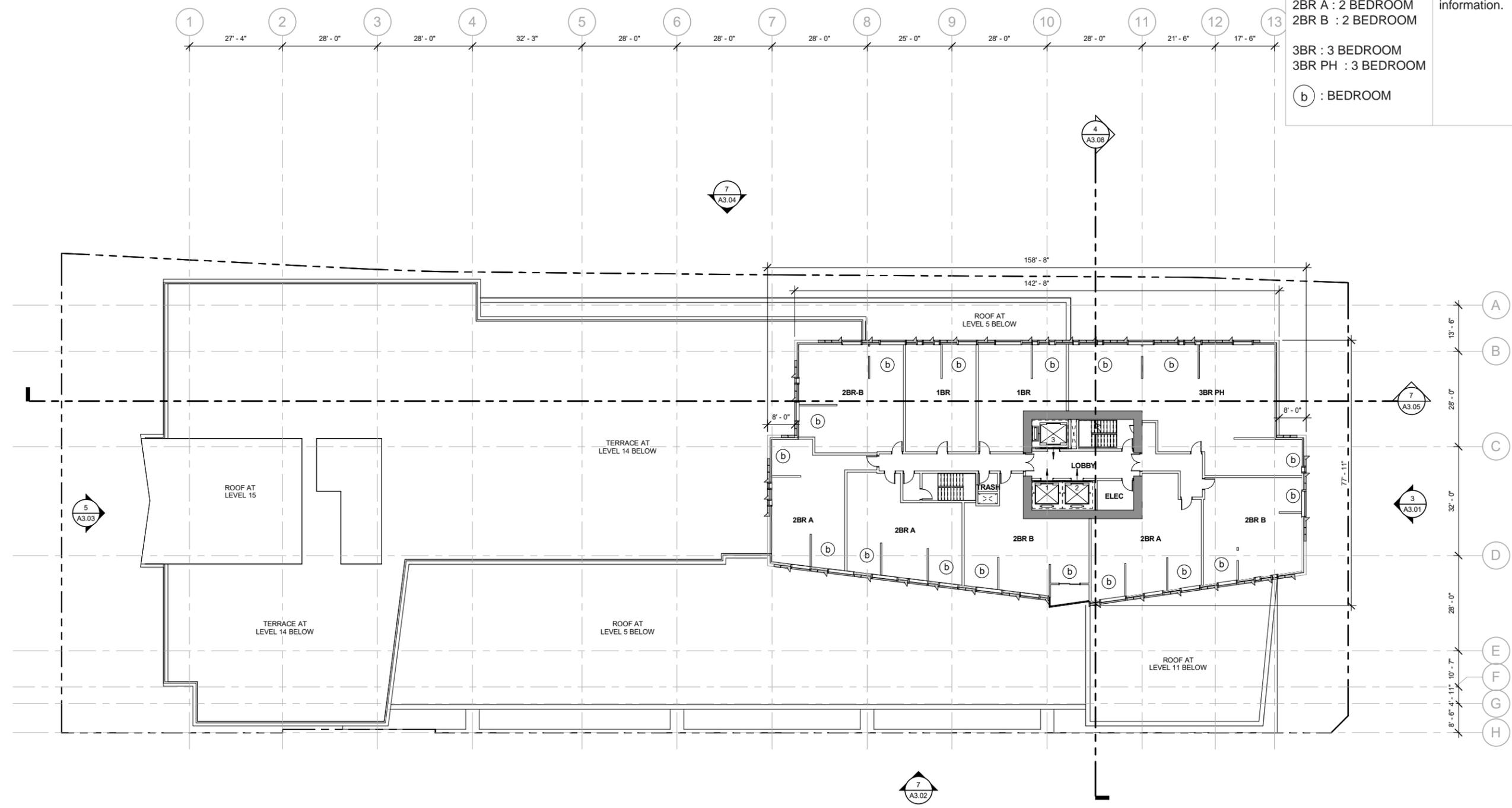
Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	

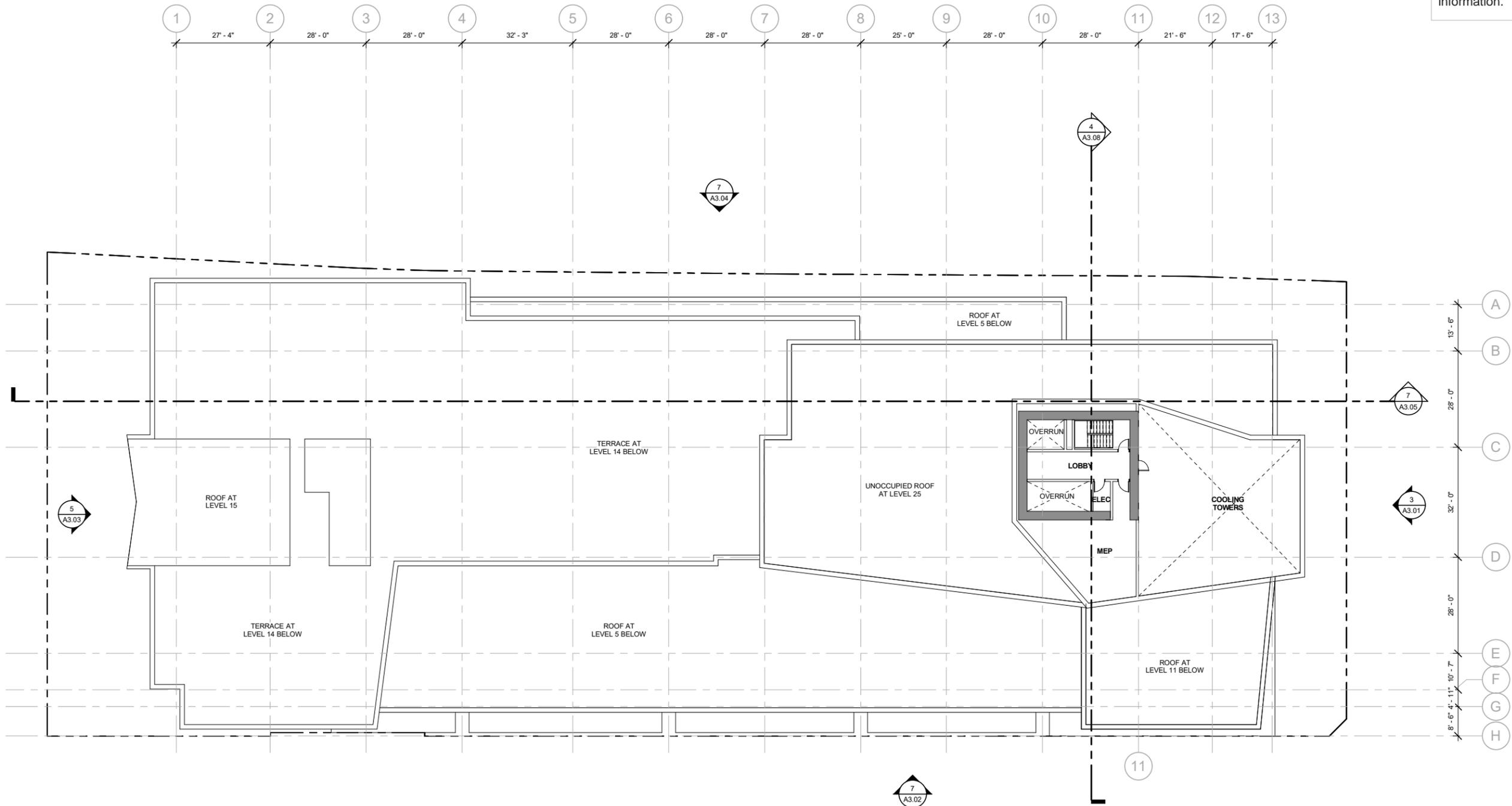


Unit Type Key	General Plan Notes
ST : STUDIO JR1 : JR 1 BEDROOM	1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
1BR : 1 BEDROOM	2. Refer to Landscape Architect & Civil Drawings for additional information.
2BR : 2 BEDROOM 2BR A : 2 BEDROOM 2BR B : 2 BEDROOM	
3BR : 3 BEDROOM 3BR PH : 3 BEDROOM	
(b) : BEDROOM	



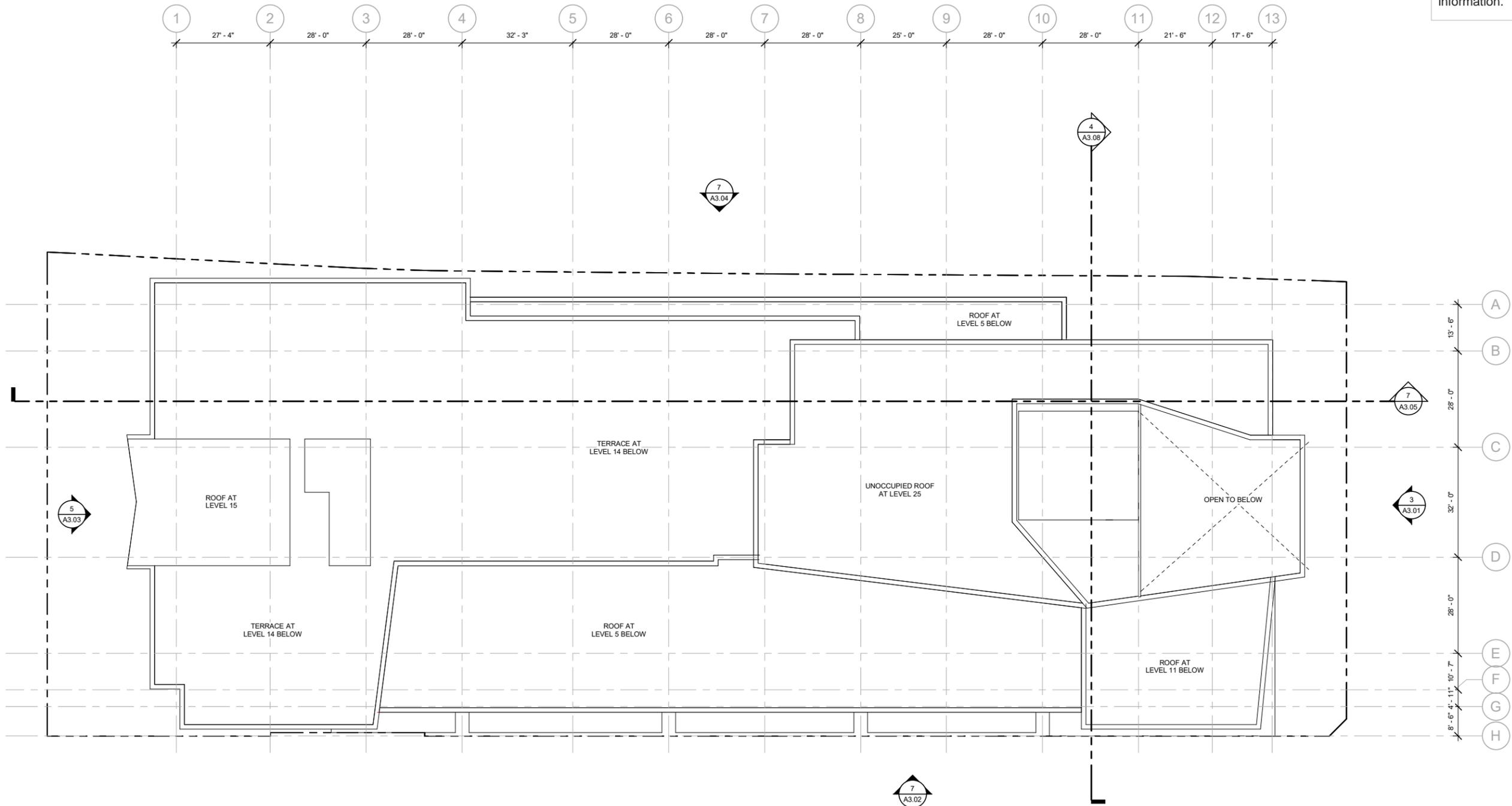
**General Plan Notes**

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



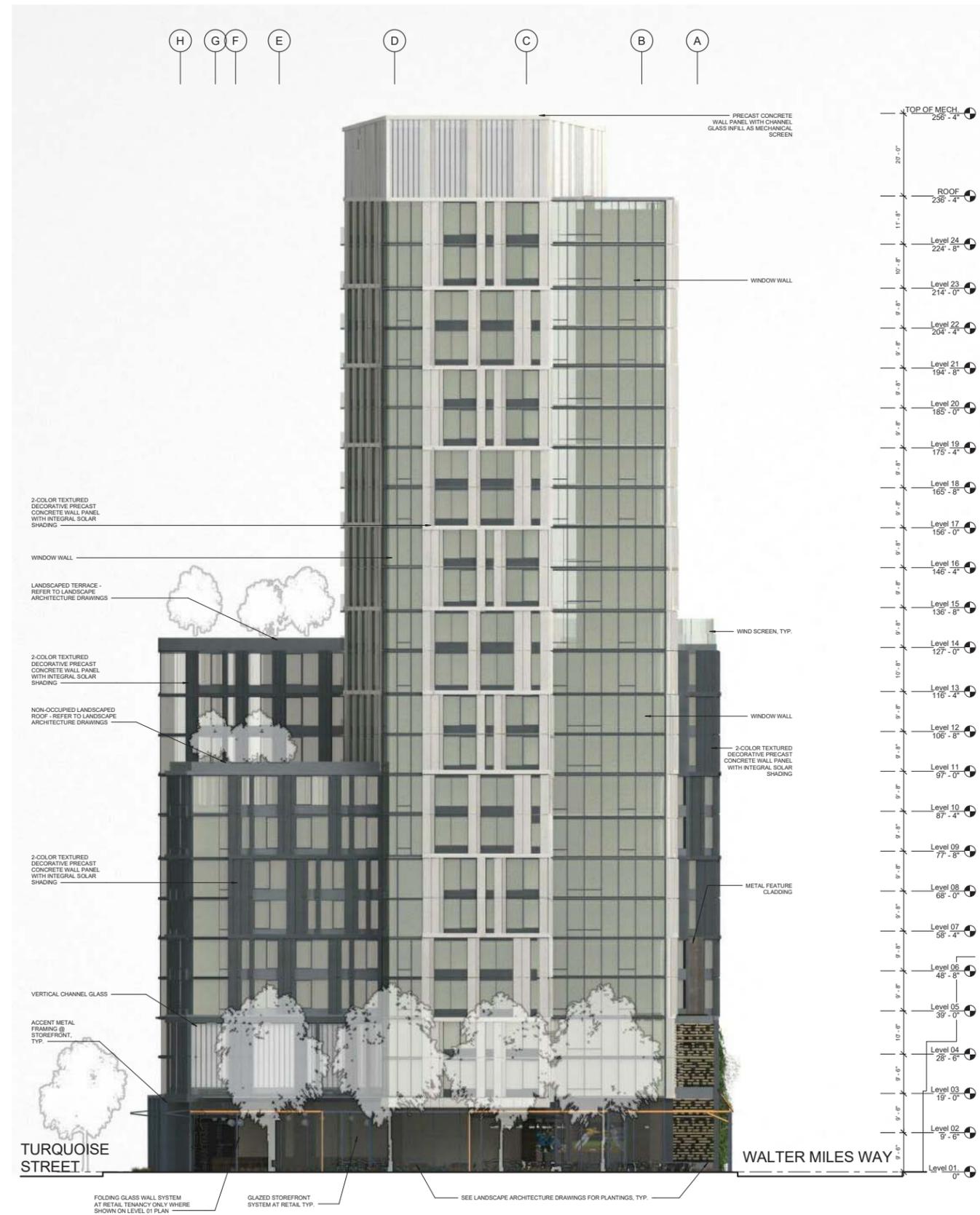
**General Plan Notes**

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



### General Elevation Notes

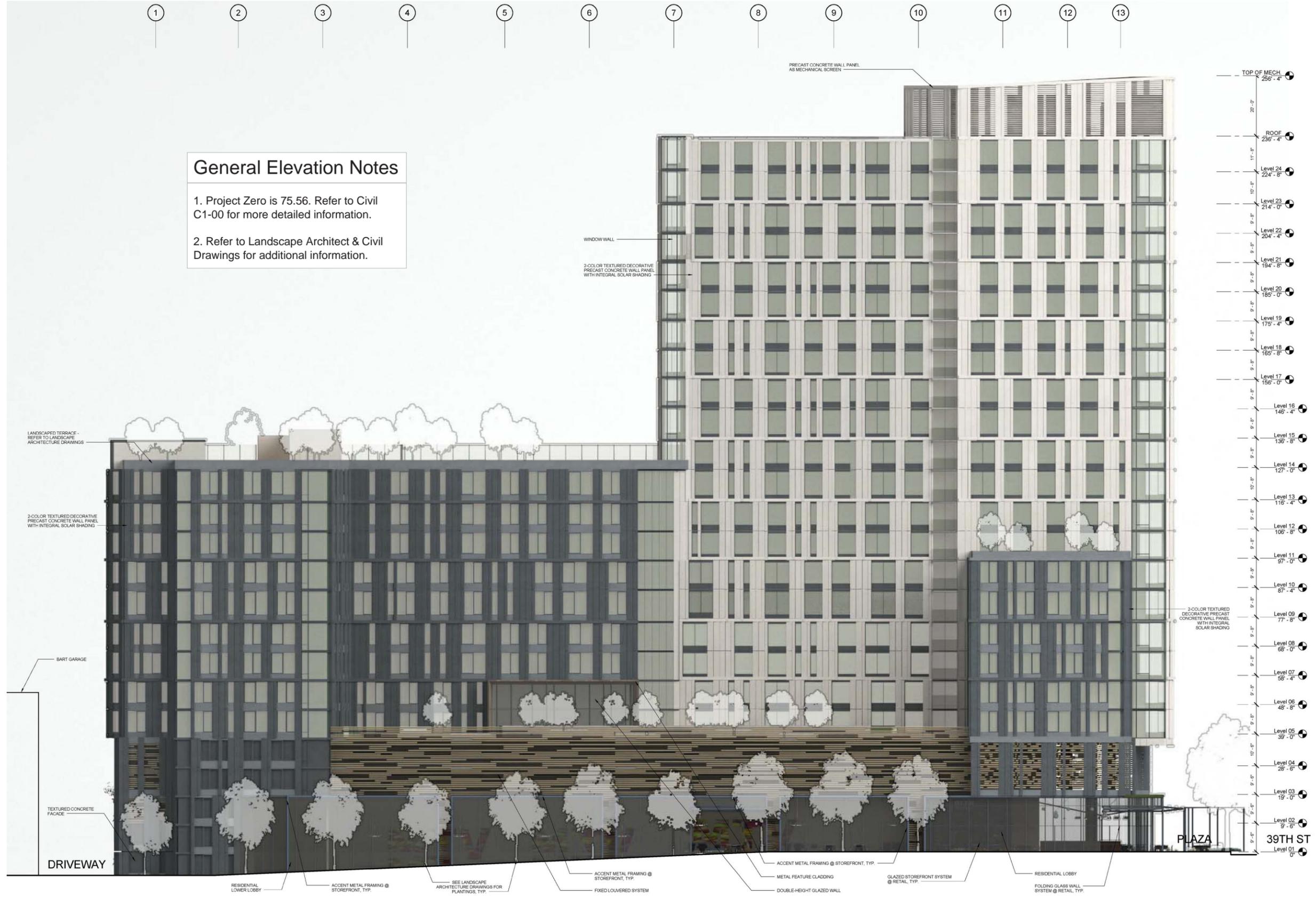
1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



1 2 3 4 5 6 7 8 9 10 11 12 13

### General Elevation Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



East Elevation

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

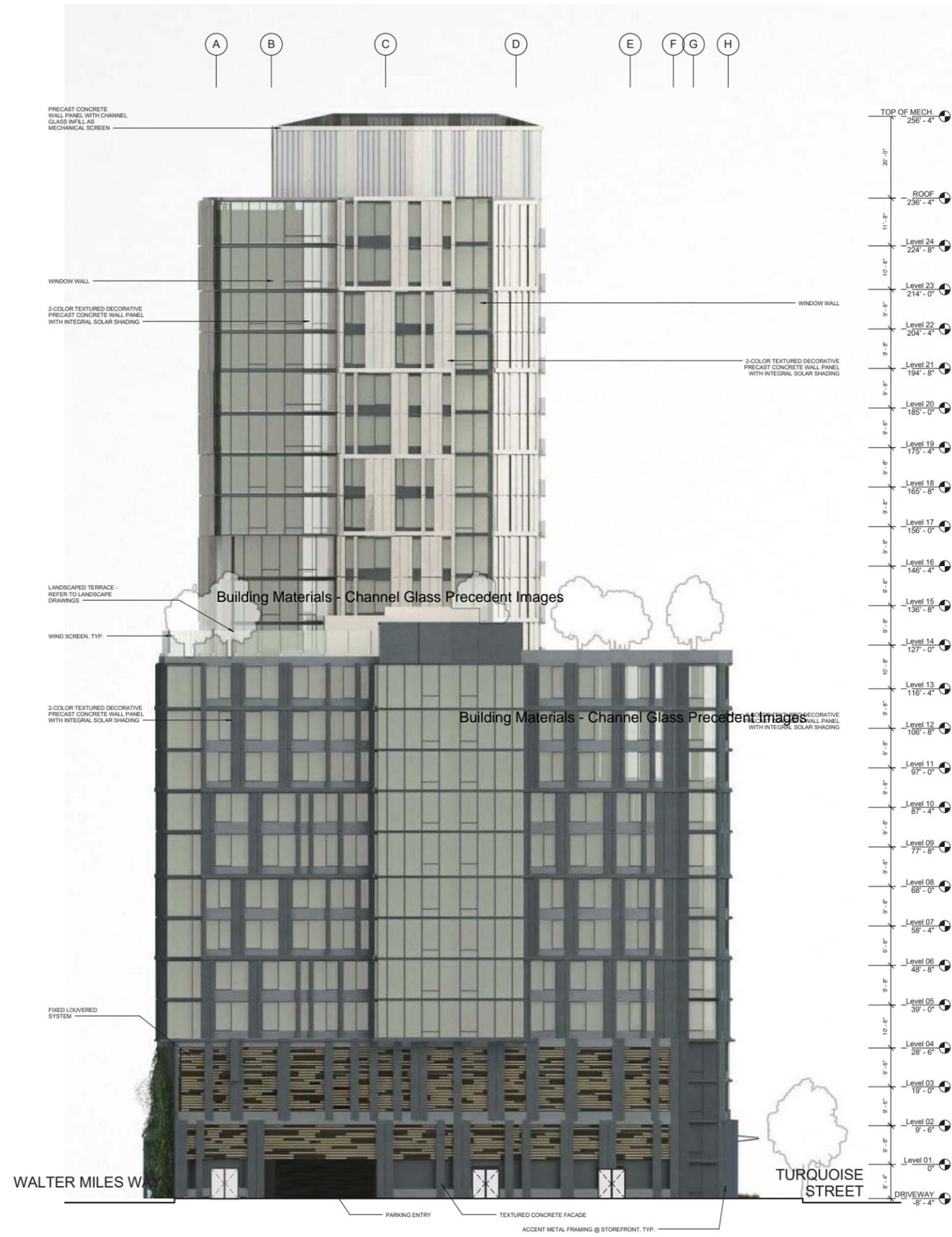
11-23-2016

2016010

0 16 32

### General Elevation Notes

- 1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
- 2. Refer to Landscape Architect & Civil Drawings for additional information.



South Elevation

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

11 - 23 - 2016

2016010

0 16 32



13 12 11 10 9 8 7 6 5 4 3 2 1



### General Elevation Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.

West Elevation

Final Development Package

MacArthur Transit Village: Parcel B

Solomon Cordwell Buenz / Boston Properties / Oakland, CA

11-23-2016

2016010

0 16 32

# General Section Notes

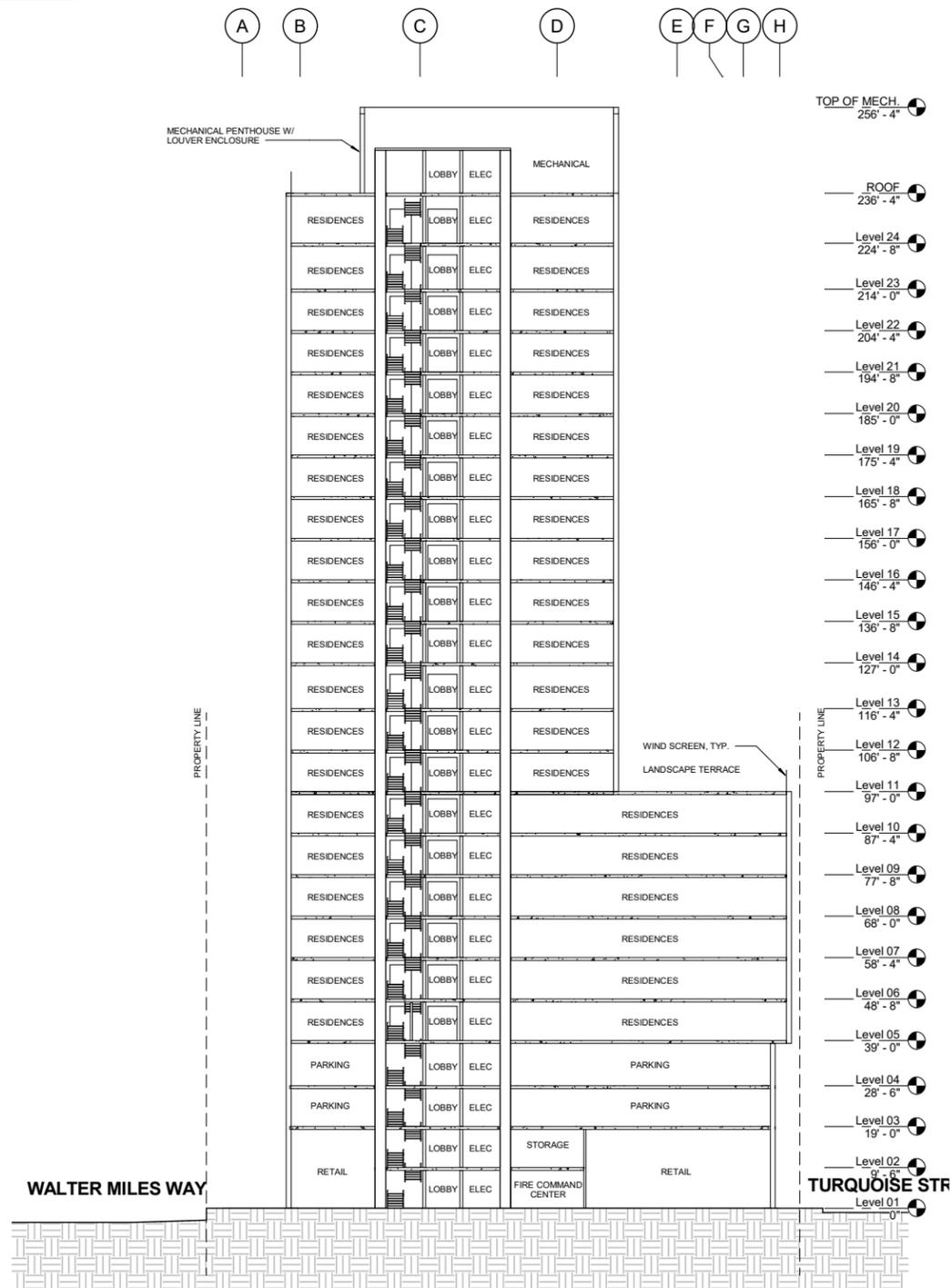
1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.
2. Refer to Landscape Architect & Civil Drawings for additional information.



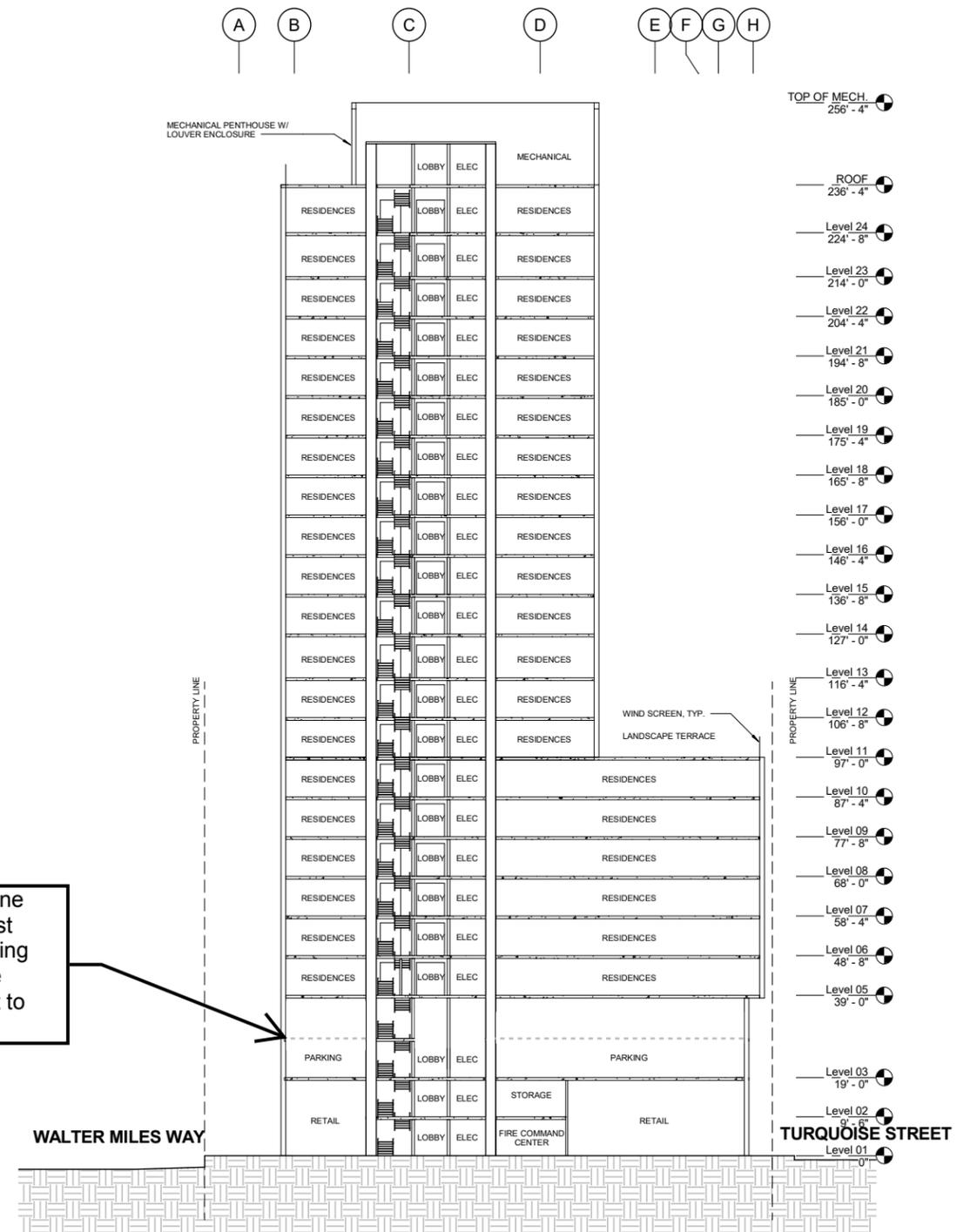
# General Section Notes

1. Project Zero is 75.56. Refer to Civil C1-00 for more detailed information.

2. Refer to Landscape Architect & Civil Drawings for additional information.



Option to eliminate one level of parking, whilst maintaining the building volume, reducing the overall parking count to 160 spaces.



FLR. ELEV.	F/F	F/F	UNIT TYPE BATH #	DWELLING UNITS							Amenity Spaces GSF	Circulation & BOH GSF	UNIT NSF	RES GSF	EFF	RETAIL SPACE GSF	PARKING		FLOOR AREA GSF	FLOOR AREA ( PLANNING )													
				440 St	550 Jr1bd	725 1bd	900 2bd	950 2bd	1,800 3bd	1,200 3bd							SPACES	GSF															
+236.4			Roof															4,180	4,180														
+224.7	11.67	11'-8"	24	9		2	3	3	1									1,930	8,820	10,750	82.0%					10,750	10,750						
+214.1	10.67	10'-8"	23	9		2	3	3	1									1,930	8,820	10,750	82.0%					10,750	10,750						
+204.4	9.67	9'-8"	22	10		2	4	4										1,930	8,820	10,750	82.0%					10,750	10,750						
+194.7	9.67	9'-8"	21	10		2	4	4										1,930	8,820	10,750	82.0%					10,750	10,750						
+185.1	9.67	9'-8"	20	10		2	4	4										1,930	8,820	10,750	82.0%					10,750	10,750						
+175.4	9.67	9'-8"	19	10		2	4	4										1,930	8,820	10,750	82.0%					10,750	10,750						
+165.7	9.67	9'-8"	18	10		2	4	4										1,930	8,820	10,750	82.0%					10,750	10,750						
+156.0	9.67	9'-8"	17	10		2	4	4										1,930	8,820	10,750	82.0%					10,750	10,750						
+146.4	9.67	9'-8"	16	10		2	4	4										1,930	8,820	10,750	82.0%					10,750	10,750						
+136.7	9.67	9'-8"	15	9		2	4	3										1,930	7,820	9,750	80.2%					9,750	9,750						
+127.0	9.67	9'-8"	14	9		2	4	3		800								1,930	7,820	10,550	74.1%					10,550	10,550						
+116.4	10.67	10'-8"	13	32	4	7	6	9	6									4,575	24,000	28,575	84.0%					28,575	28,575						
+106.7	9.67	9'-8"	12	32	4	7	6	9	6									4,575	24,000	28,575	84.0%					28,575	28,575						
+97.0	9.67	9'-8"	11	32	4	7	6	9	6									4,575	24,000	28,575	84.0%					28,575	28,575						
+87.4	9.67	9'-8"	10	35	4	8	9	8	5									4,800	26,200	31,000	84.5%					31,000	31,000						
+77.7	9.67	9'-8"	9	35	4	8	9	8	5									4,800	26,200	31,000	84.5%					31,000	31,000						
+68.0	9.67	9'-8"	8	37	8	8	9	6	5									4,800	26,200	31,000	84.5%					31,000	31,000						
+58.3	9.67	9'-8"	7	37	8	8	9	6	5									4,800	26,200	31,000	84.5%					31,000	31,000						
+48.7	9.67	9'-8"	6	28	4	5	7	6	5									4,800	20,000	24,800	80.6%					24,800	24,800						
+39.0	9.67	9'-8"	5	28	4	5	7	6	5		6,200							4,800	20,000	31,000	64.5%					31,000	31,000						
+28.5	10.50	10'-6"	4	-									800	n/a				81	32,000	32,800	n/a					800	800						
+19.0	9.50	9'-6"	3	-									800	n/a				102	39,000	39,800	n/a					800	800						
+9.5	9.50	9'-6"	2	-									1,340	n/a				64	29,000	30,340	n/a					1,340	1,340						
+0.00	9.50	9'-6"	1	-									13,000	n/a	12,660			15	14,540	40,200	n/a					25,660	25,660						
				<b>402</b>	<b>44</b>	<b>63</b>	<b>90</b>	<b>109</b>	<b>88</b>	<b>2</b>	<b>6</b>							<b>7,000</b>	<b>67,935</b>	<b>311,820</b>	<b>402,695</b>					<b>12,660</b>				<b>262</b>	<b>114,540</b>	<b>529,895</b>	<b>415,355</b>
				<b>TOTAL UNITS</b>	St	Jr1bd	1bd	2bd	2bd	3bd	3bd										NSF	GSF							SPACES	GSF	GSF	GSF	

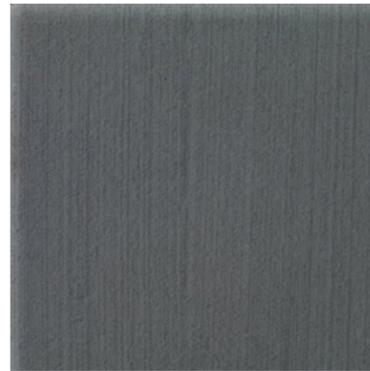
Parcel	Market Rate Units	Affordable Units	Total
A&C	371	12	383
B	357	45	402
Mural	0	90	90
<b>Total</b>	<b>728</b>	<b>147</b>	<b>875</b>
<b>% affordable for entire site*</b>			<b>20.19%</b>

\*reference Section 1.1.20 in the OPA which requires at least 20% of market-rate units be below-market rate

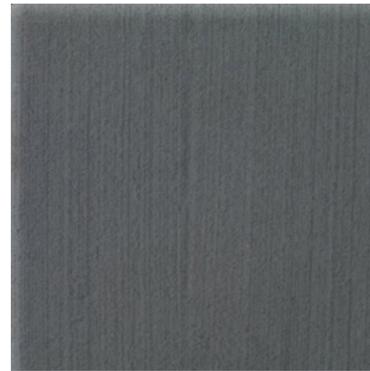
**RESIDENTIAL TOWER**



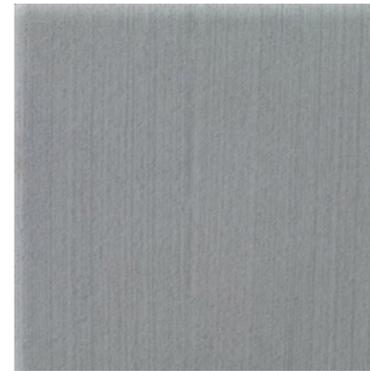
HIGH~RISE MAIN BODY  
TEXTURED CONCRETE  
'DUNE'



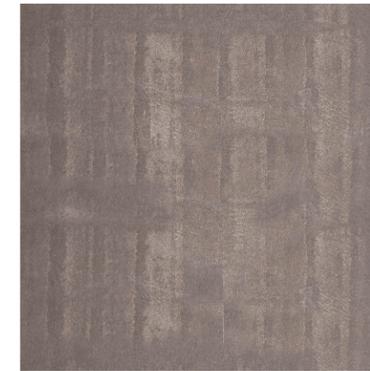
HIGH~RISE ACCENT  
TEXTURED CONCRETE  
'SILVERSMOKE'



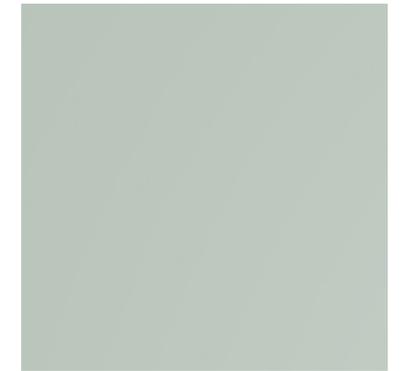
MID~RISE MAIN BODY  
CONCRETE  
'CHARCOAL GREY'



MID~RISE ACCENT  
TEXTURED CONCRETE  
'SILVERSMOKE'



FEATURE CLADDING  
WEATHERED METAL



GLAZING  
HIGH PERFORMANCE  
INSULATED GLAZING  
UNIT - LIGHT GREEN

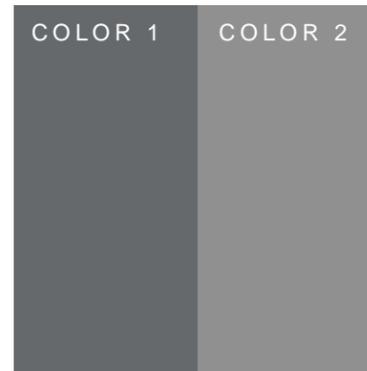
**RETAIL/PARKING PODIUM**



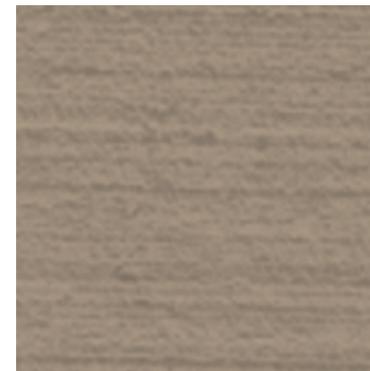
RETAIL ACCENT  
WEATHERED METAL



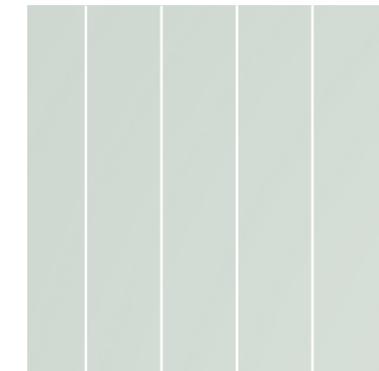
METAL PARKING SCREEN ELEMENTS



MISCELLANEOUS METAL



PODIUM SOUTH / WEST  
TEXTURED CONCRETE



GLAZING  
CHANNEL GLASS  
PARKING &  
MECHANICAL SCREEN

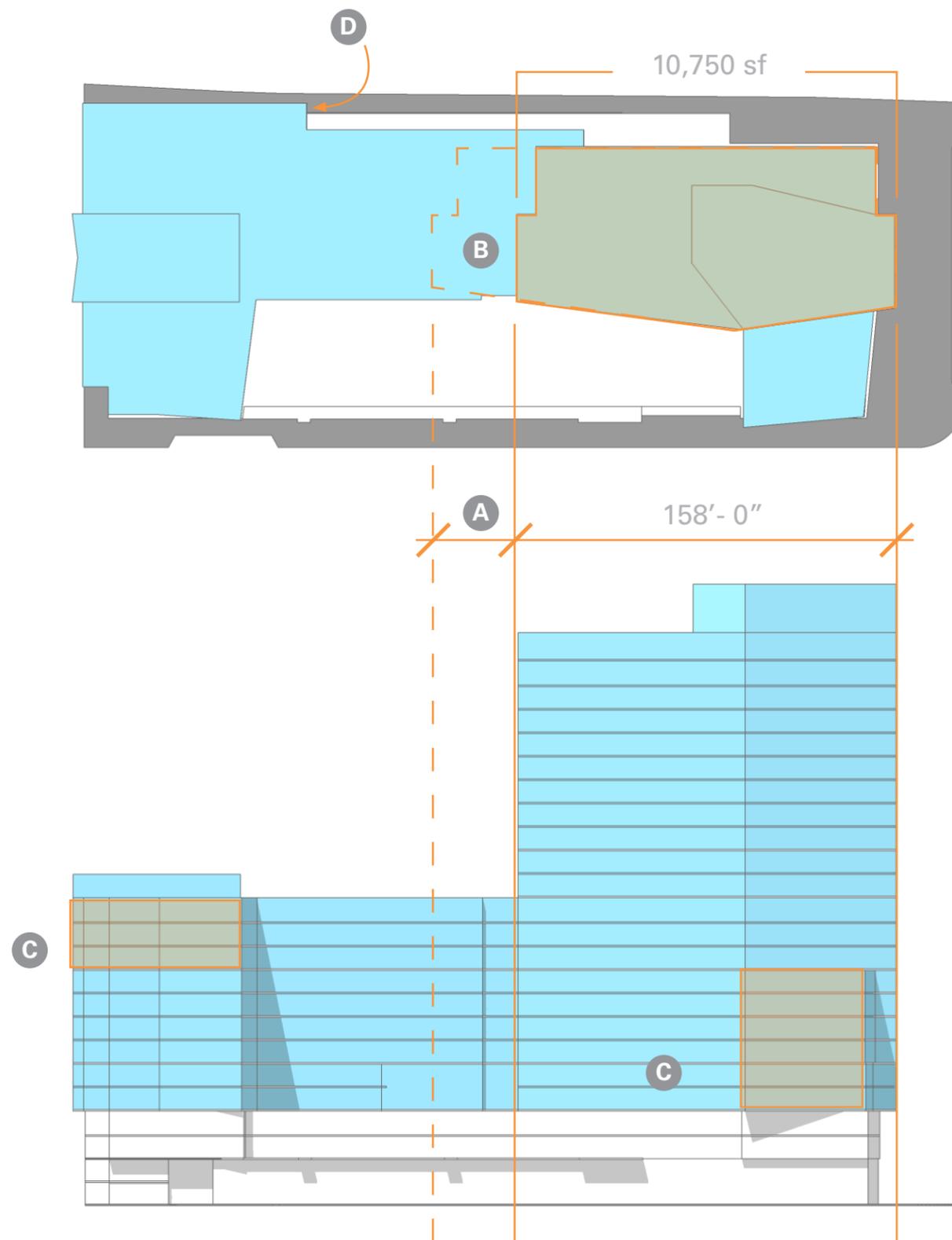
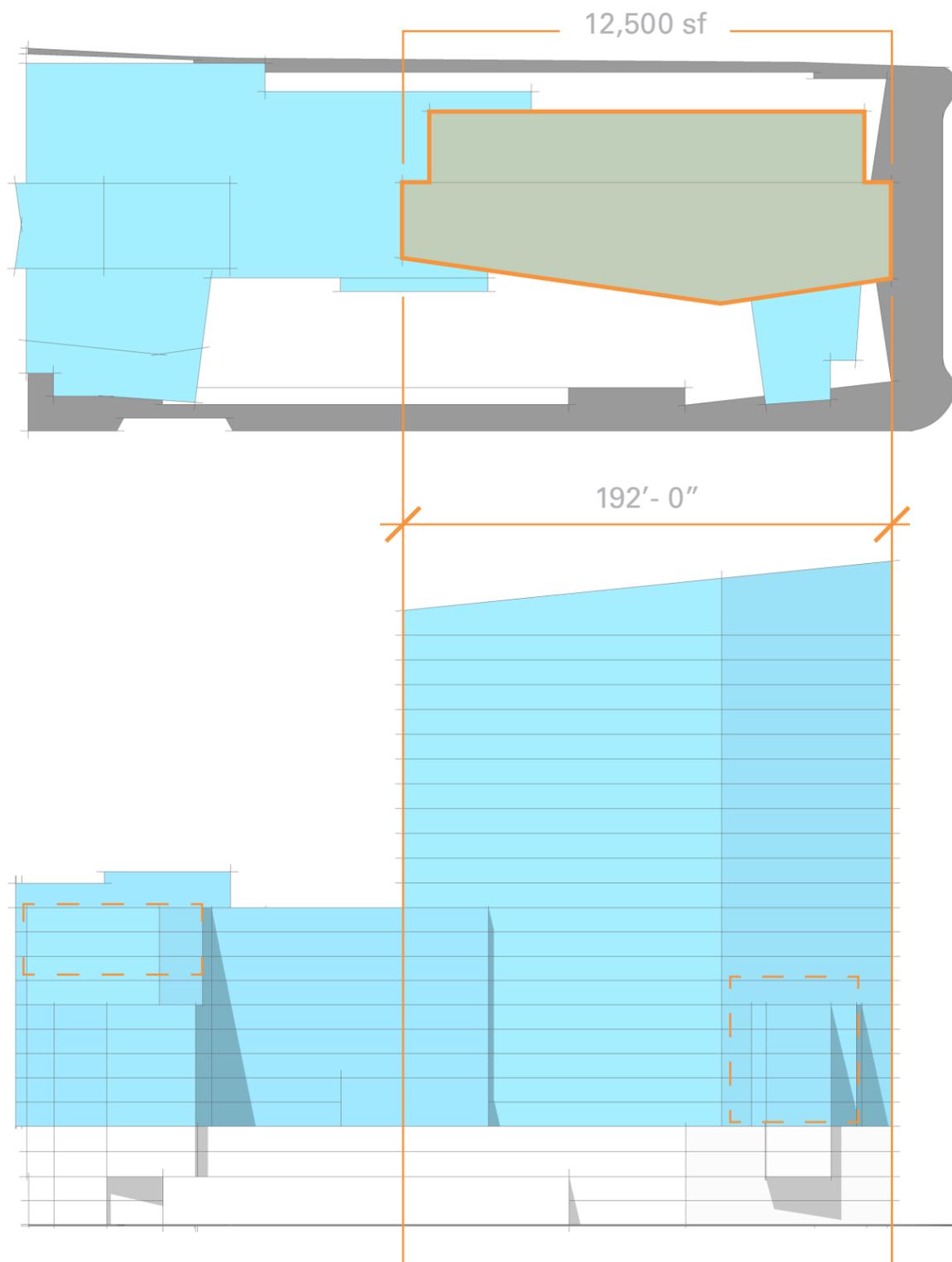


GLAZING  
LAMINATED GLAZING  
CLEAR



# APPENDIX A - MASSING UPDATE

- A TOWER LENGTH REDUCED BY 40' FROM 192' TO 158'
- B TOWER FLOORPLATE REDUCED FROM 12,500SF TO APPROX 10,750SF
- C RESIDUAL TOWER VOLUME REDUCTION REDISTRUBUTED TO PODIUM WINGS
- D PODIUM PULLED BACK AT WALTER MILES WAY TO CREATE SIDEWALK

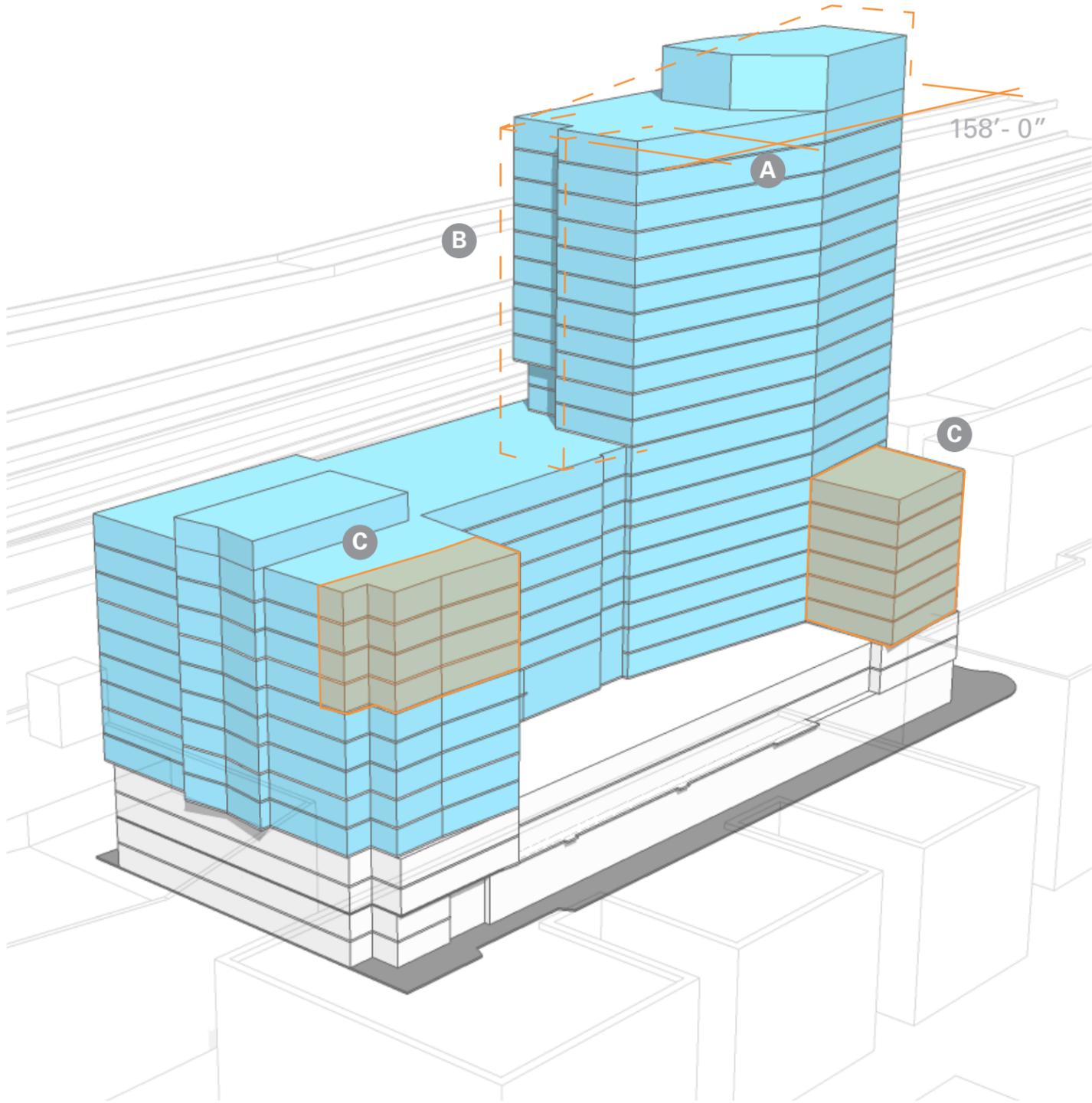
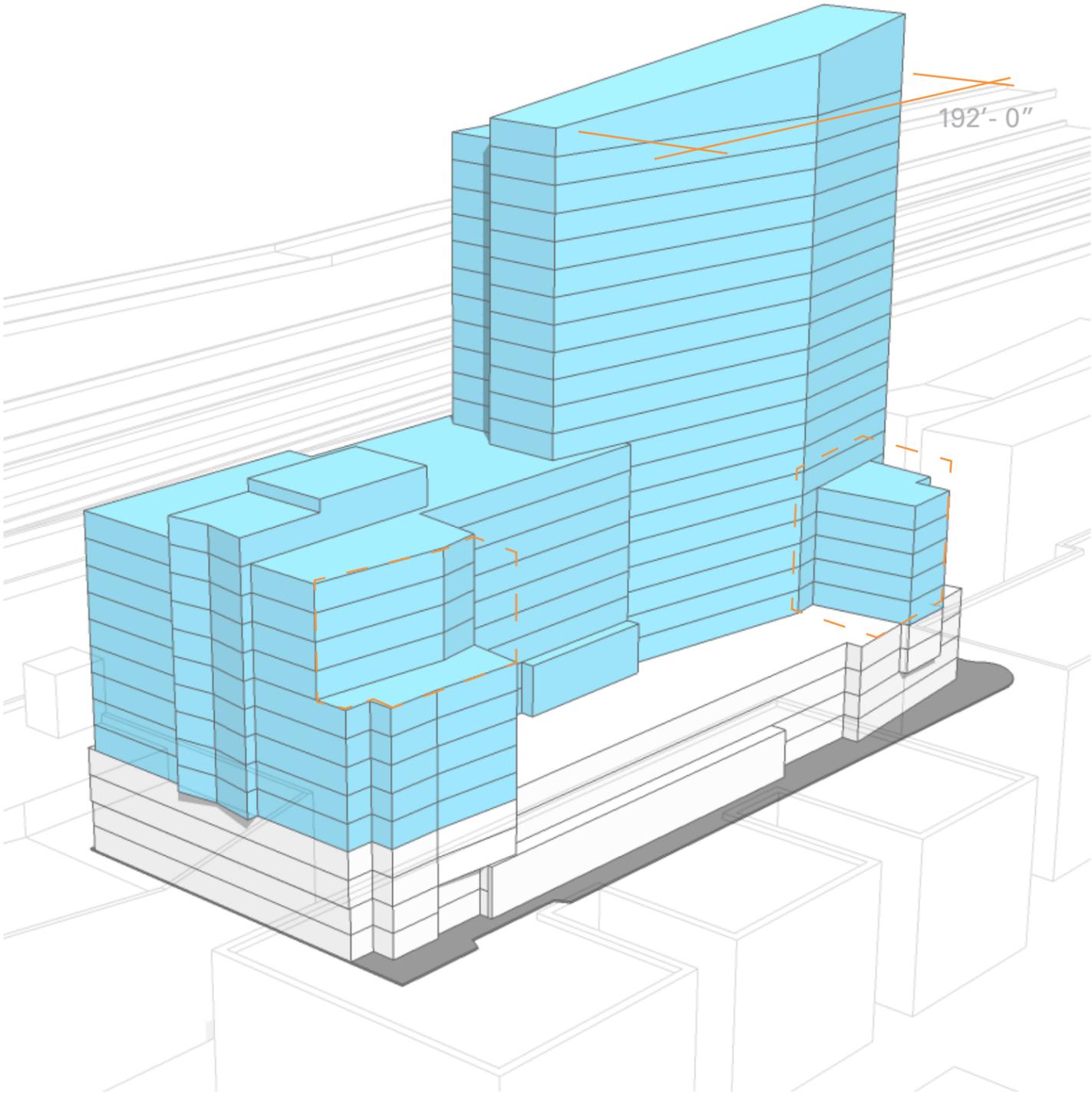


ORIGINAL FDP (& DRC)

12/01/2016

# APPENDIX A - MASSING UPDATE

- A TOWER LENGTH REDUCED BY 40' FROM 192' TO 158'
- B TOWER FLOORPLATE REDUCED FROM 12,500SF TO APPROX 10,750SF
- C RESIDUAL TOWER VOLUME REDUCTION REDISTRUBUTED TO PODIUM WINGS
- D PODIUM PULLED BACK AT WALTER MILES WAY TO CREATE SIDEWALK

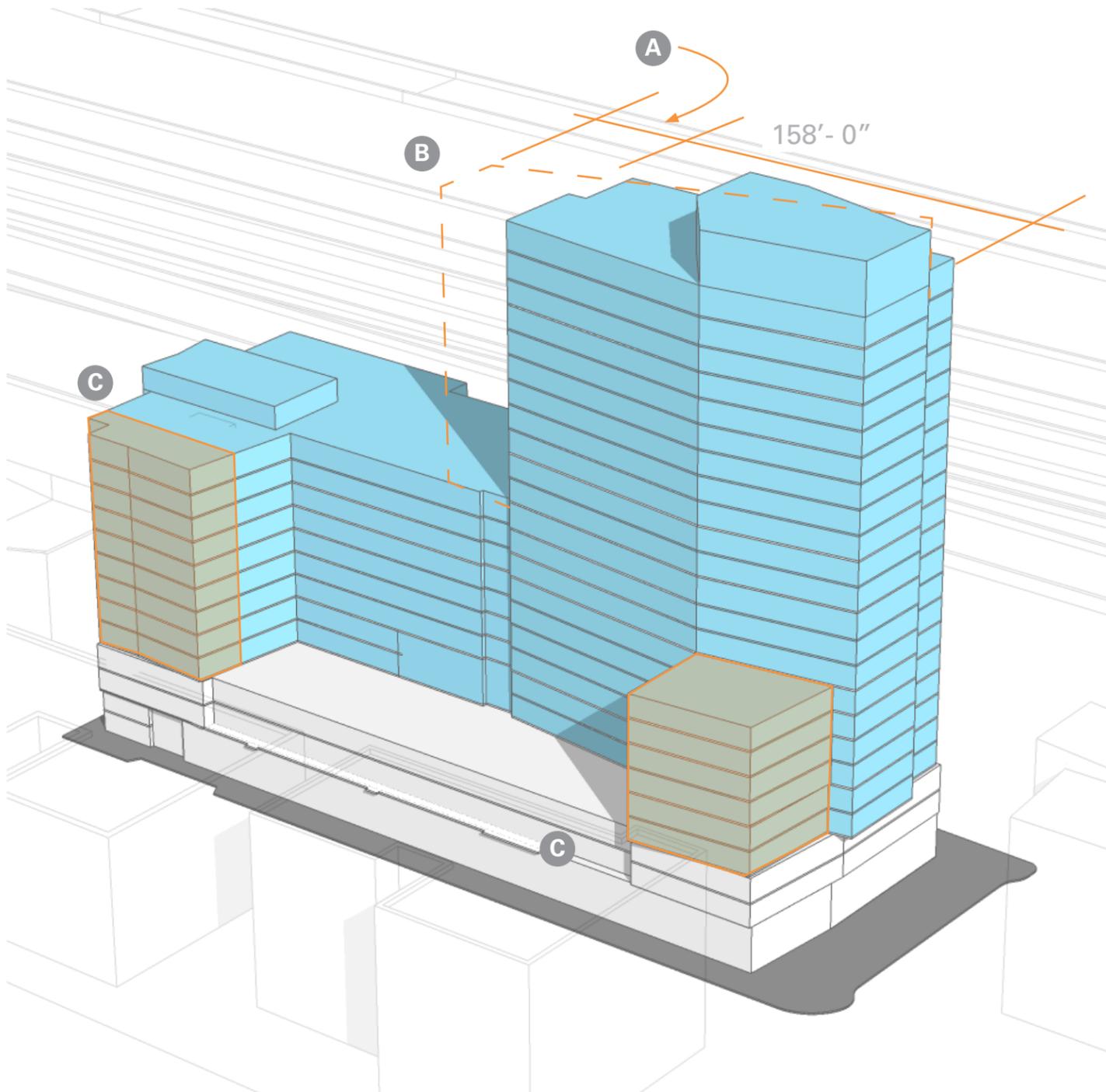
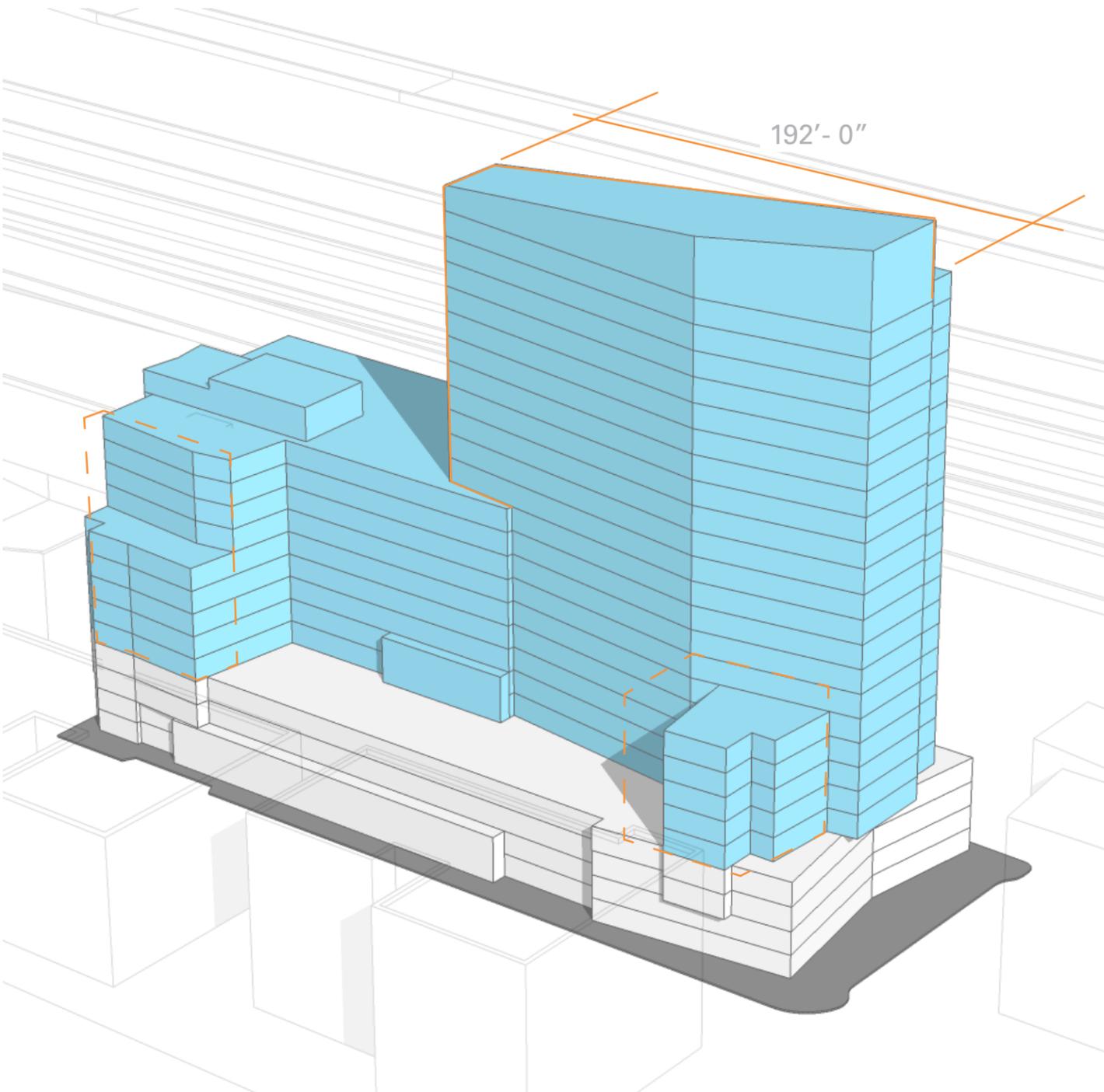


ORIGINAL FDP (& DRC)

12/01/2016

# APPENDIX A - MASSING UPDATE

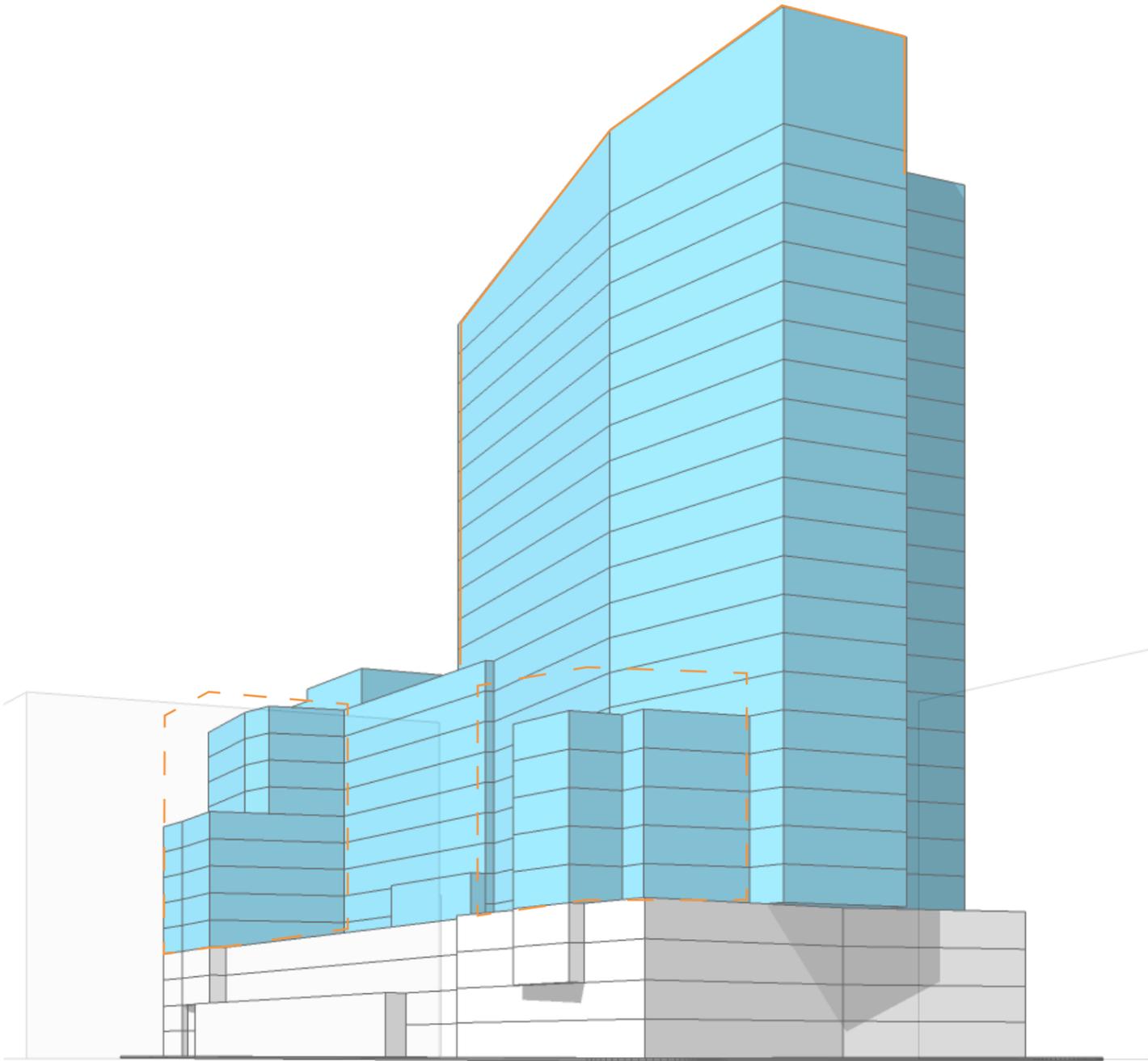
- A TOWER LENGTH REDUCED BY 40' FROM 192' TO 158'
- B TOWER FLOORPLATE REDUCED FROM 12,500SF TO APPROX 10,750SF
- C RESIDUAL TOWER VOLUME REDUCTION REDISTRUBUTED TO PODIUM WINGS
- D PODIUM PULLED BACK AT WALTER MILES WAY TO CREATE SIDEWALK



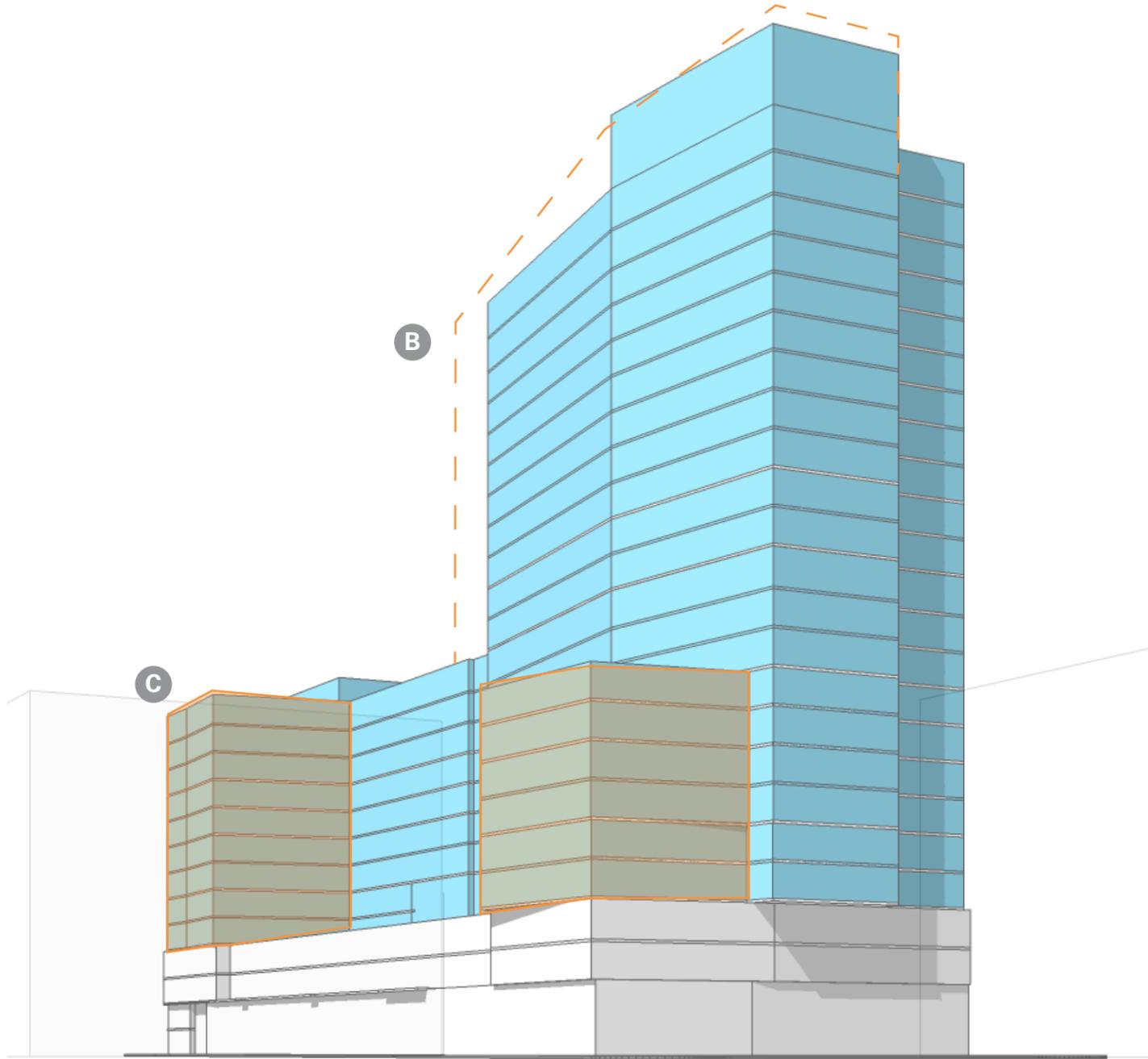
ORIGINAL FDP (& DRC)

12/01/2016

- A TOWER LENGTH REDUCED BY 40' FROM 192' TO 158'
- B TOWER FLOORPLATE REDUCED FROM 12,500SF TO APPROX 10,750SF
- C RESIDUAL TOWER VOLUME REDUCTION REDISTRUBUTED TO PODIUM WINGS
- D PODIUM PULLED BACK AT WALTER MILES WAY TO CREATE SIDEWALK



ORIGINAL FDP (& DRC)



12/01/2016

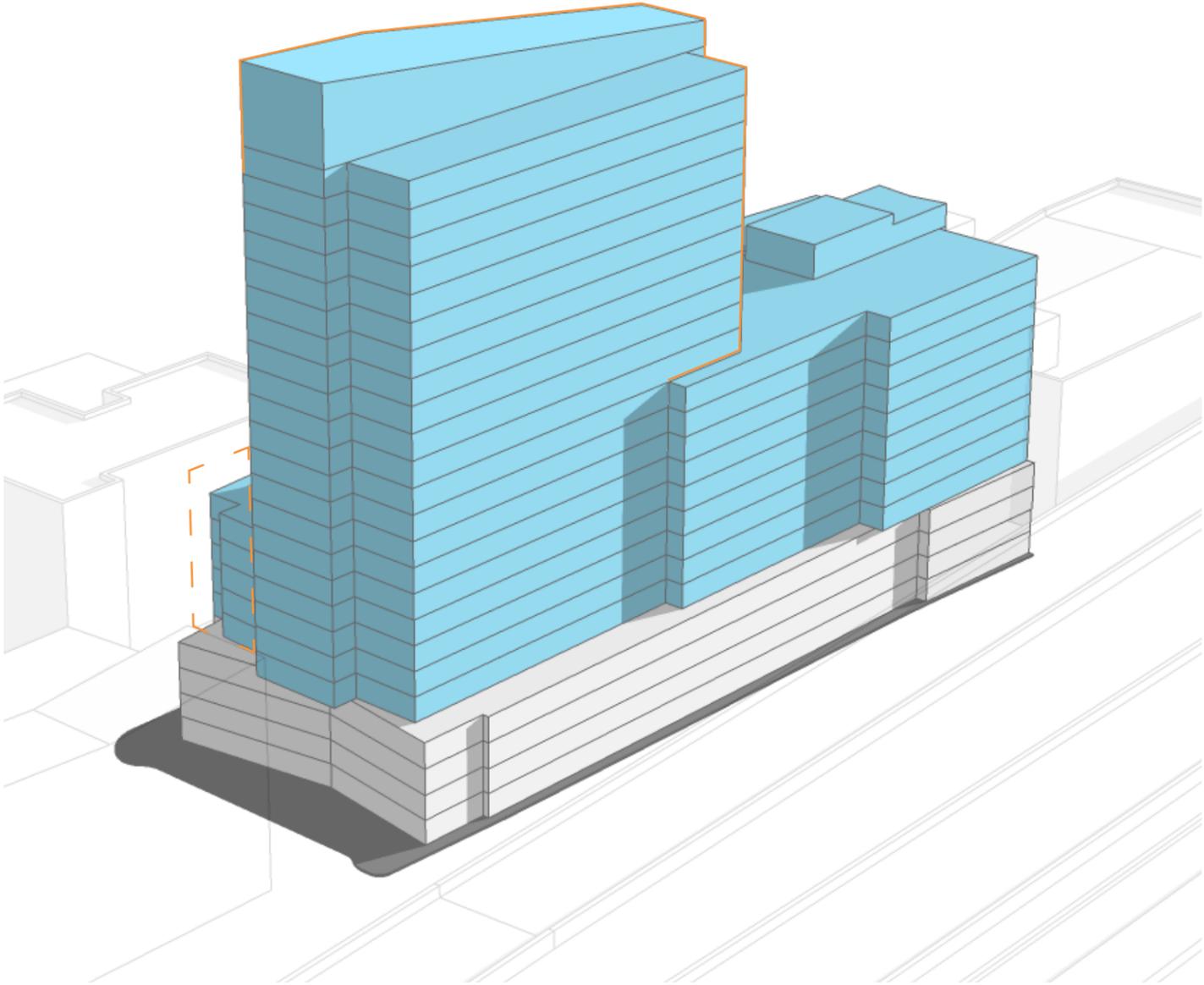
- A TOWER LENGTH REDUCED BY 40' FROM 192' TO 158'
- B TOWER FLOORPLATE REDUCED FROM 12,500SF TO APPROX 10,750SF
- C RESIDUAL TOWER VOLUME REDUCTION REDISTRUBUTED TO PODIUM WINGS
- D PODIUM PULLED BACK AT WALTER MILES WAY TO CREATE SIDEWALK



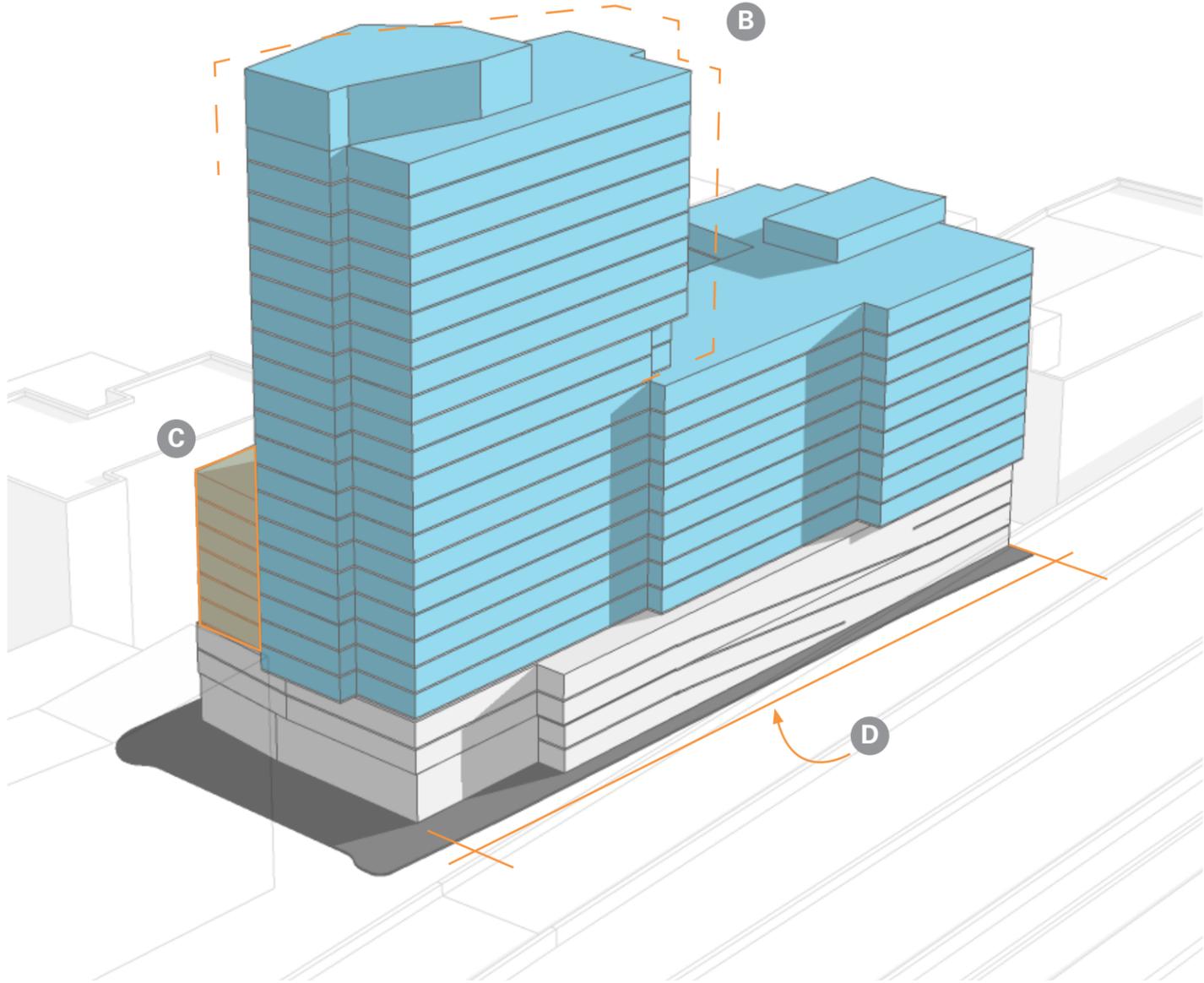
ORIGINAL FDP (& DRC)

12/01/2016

- A TOWER LENGTH REDUCED BY 40' FROM 192' TO 158'
- B TOWER FLOORPLATE REDUCED FROM 12,500SF TO APPROX 10,750SF
- C RESIDUAL TOWER VOLUME REDUCTION REDISTRUBUTED TO PODIUM WINGS
- D PODIUM PULLED BACK AT WALTER MILES WAY TO CREATE SIDEWALK



ORIGINAL FDP (& DRC)



12/01/2016



DESIGN FOR A CHANGING WORLD

---

SOLOMON CORDWELL BUENZ

255 California Street  
San Francisco, CA 94111  
T 415.216.2450

---

ARCHITECTURE | PLANNING | INTERIORS

[WWW.SCB.COM](http://WWW.SCB.COM)