

## ***Design Review Committee***

**Case File Number: PLN17-052**

## **Staff Report**

**June 26, 2109**

<b>Location:</b>	<b>5817 Shattuck Avenue</b>
<b>Assessor's Parcel Number:</b>	<b>015-1370-011-00</b>
<b>Proposal:</b>	To demolish existing structure (Dorsey's Locker) and construct a new 9-unit apartment development.
<b>Owner:</b>	Diller Capital
<b>Applicant:</b>	Jim Diller (650)269-4027
<b>Planning Permits Required:</b>	Major Conditional Use Permit for 7 or more residential units in the RM-4 Zone (9 units proposed); and Design Review for new construction.
<b>General Plan:</b>	Mixed Housing Residential
<b>Zoning:</b>	RM-4 Mixed Housing Residential Zone
<b>Environmental Determination:</b>	Exempt Section 15332; and Section 15183 of the CEQA Guidelines (projects consistent with a community plan, general plan, or zoning).
<b>Historic Status:</b>	Not a Potentially Designated Historic Property (PDHP); Survey Rating: N/A
<b>City Council District:</b>	1
<b>Status:</b>	Approved at the May 3, 2017 Planning Commission Meeting and referred to the Design Review Committee for further design refinements.
<b>Action to be Taken:</b>	Provide further design refinement comments.
<b>For Further Information:</b>	Contact case planner Maurice Brenyah-Addow at (510) 238-6342 or by email at <a href="mailto:mbrenyah@oaklandnet.com">mbrenyah@oaklandnet.com</a>

### **Summary**

At the May 3, 2017 meeting, the Planning Commission approved the Major Conditional Use Permit application to demolish an existing structure (Dorsey's Locker) and construct a new 9-unit apartment development (May 3, staff report enclosed as Attachment B). The Commission referred the proposed design to the Design Review Committee for further design refinements, specifically requesting that the design be revised to better relate to the immediate architectural context.

The applicant has submitted a revised set of plans showing the originally proposed elevations and three other options of front elevation treatments for the Committee to consider (See page A0.5 of Attachment A).

Staff has the following comments about the form options:

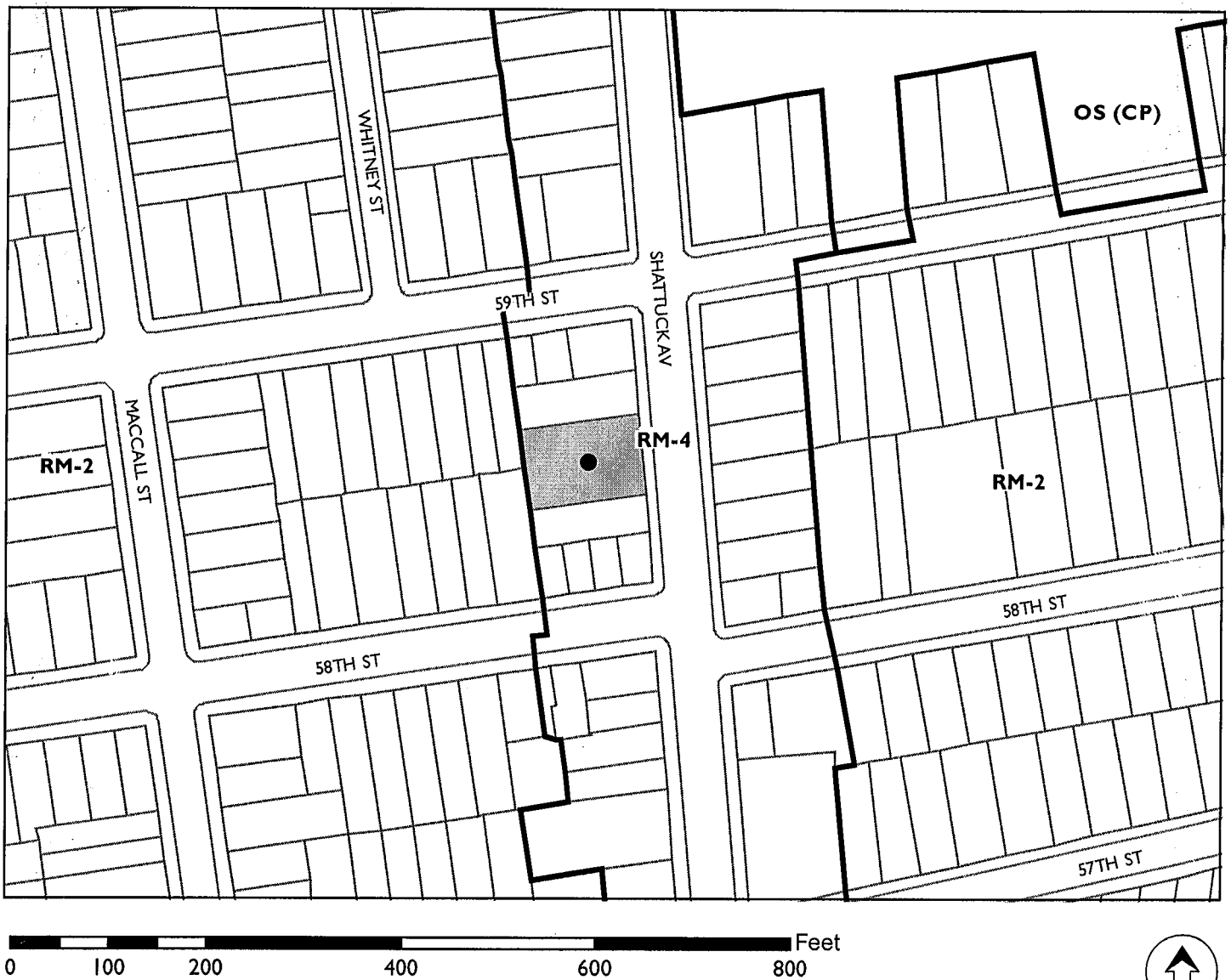
Option 1 – Not that different from the original design in terms of roof lines.

Option 2 – Does not change the roof line but rather introduces angled elements that appear awkward

Option 3 – Not that different from the original but begins to slant the foremost roofline down to minimize perceived bulk.




# CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN17052  
Applicant: Jim Diller  
Address: 5817 Shattuck Avenue  
Zone: RM-4

In conclusion, staff supports Option 3 which applies a street-facing parapet that begins to gesture towards pitched roof of the adjacent structures recommend that the Committee provide further design refinement comments for the project.

Prepared By:

  
MAURICE BRENYAH-ADDOW  
Planner IV

Approved for forwarding to the  
Design Review Committee:

  
CATHERINE PAYNE, Acting Development Planning Manager  
Bureau of Planning

**Attachments**

- A Revised Plans
- B May 3, 2017 Staff Report





5817 SHATTUCK- FRONT FACADE OPTION 1

















5817 SHATTUCK- NORTH EAST PERSPECTIVE







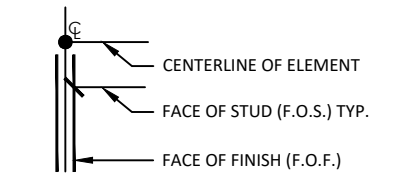



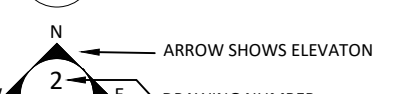
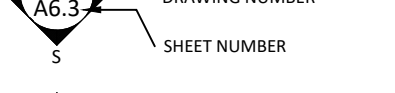


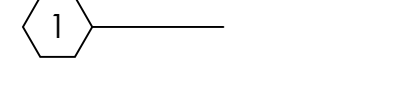
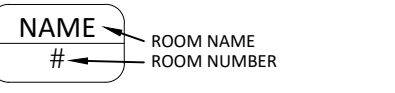





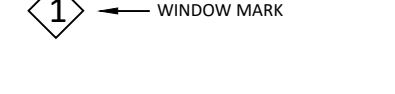
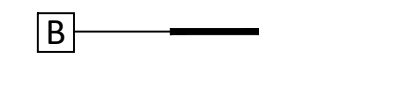



5817 SHATTUCK- SOUTH EAST PERSPECTIVE



& < > @ / # AB ABV A/C AD ADJ AFF AIA ALT ALUM APPROX ARCH ASPH AWG BD BETW BLDG BLKG BM BOF BOT BUR C CAB CAR CB CC CEC CI CJ CLO CLG CMU C.O. COAX COL COMM CONC CONN CONST CONT CONTR CPTR CU DBL DF DET DIA DIM DISP DIST DIV DN DR DSP DW DWG DWR EA EB EF EJ ELECT ELEV EN ENGR EQ ES EW (E) EXIST EXP EXT FB FD FDN FIN FJ FL, FLR FOC FOF FOS FP FR FS FT FTG FURR FUT G GA GALV GB GEN GFI GI GL GR GSM GYP HB HC HDG HDR HORIZ HT HTR HW HWH ID IF IN INCL INSUL INT JST JT KID LAV LB LH LP LT MAX MB MED MEMB MEZZ MFR MIN MISC MO MSRY MTD	AND ANGLE, LESS THAN ANGLE, GREATER THAN AT PER POUND OR NUMBER ANCHOR BOLT ABOVE AIR CONDITIONING AREA DRAIN ADJUSTABLE ABOVE FINISHED FLOOR AMERICAN INSTITUTE OF ARCHITECTS ALTERNATE ALUMINUM APPROXIMATELY ARCHITECTURAL ASPHALT AMERICAN WIRE GAGE BOARD BETWEEN BUILDING BLOCKING BEAM BOTTOM OF FOOTING BOTTOM BUILT-UP ROOF CENTERLINE CABINET COLD AIR RETURN CATCH BASIN CEMENT COATED CALIFORNIA ENERGY COMMISSION CAST IRON CEILING JOIST CLOSET CEILING CONCRETE MASONRY UNIT CLEANOUT COAXIAL CABLE COLUMN COMMUNICATION CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR COMPUTER CUBIC DOUBLE DOUGLAS FIR DETAIL DIAMETER DIMENSION DISPOSAL DISTRIBUTION DIVIDED OR DIVISION DOWN DOOR DOWNSPOUT DISHWASHER DRAWING DRAWER EACH EXPANSION BOLT EACH FACE EXPANSION JOINT ELECTRIC ELEVATION EDGE NAIL ENGINEER EQUAL EACH SIDE EACH WAY EXISTING EXPANSION EXTERIOR FLAT BAR FLOOR DRAIN FOUNDATION FINISH FLOOR JOIST FLOOR FACE OF CONCRETE FACE OF FINISH FACE OF STUD FIREPLACE OR FULL PENETRATION FLOOR REGISTER FAR SIDE FOOT OR FEET FOOTING FURRING FUTURE GAS GAUGE GALVANIZED GRADE BEAM GENERAL GROUND FAULT INTERRUPTOR GALVANIZED IRON GLAZING OR GLASS GRADE GALVANIZED SHEET METAL GYPSUM HOSE BIBB HOLLOW CORE HOT DIP GALVANIZED HEADER HORIZONTAL HEIGHT HEATER HOT WATER HOT WATER HEATER LEFT HAND INSIDE DIAMETER INSIDE FACE INCLUDE INSULATION INTERIOR JOIST JOINT KILN-DRIED LAVATORY POUND LEFT HAND LOW POINT LIGHT MAXIMUM MACHINE BOLT MEDIUM MEMBRANE MEZZANINE MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MASONRY MOUNTED	MTL (N) NIC NOM NTS O O/ OA OC OCEW OD OF OFCI OH OPP OPNG OVHD PL PLAM PLF PLY PR PRCST PSF PSI PT RD REIN REQ RESIL REV RH RJ RM RO RS RWD RWL SAD SC SCHED SD SECT SED SH SHT SIM SLD SM SMD SPD SPEC SPKR SQ SS SSD STAGG'D STD STL STRL SUSP SYM T & B TC T & G TEMP THK TOB TOC TOF TOP TOS TPH TW, TOW TYP UON VERT VGDF VIF W/ WC WD WDW WP WP'ING WR	METAL NEW NOT IN CONTRACT NOMINAL NOT TO SCALE DIAMETER OVER OVERALL ON CENTER ON CENTER EACH WAY OUTSIDE DIAMETER OUTSIDE FACE OWNER FURNISH, CONTRACTOR INSTALL OVERHANG OPPOSITE HAND OPENING OVERHEAD PLATE PLASTIC LAMINATE POUNDS PER LINEAL FOOT PLYWOOD PAIR PRECAST POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED WITH PRESERVATIVE ROOF DRAIN REINFORCEMENT REQUIRED RESILIENT REVISION OR REVISED RIGHT HAND ROOF JOIST ROOM ROUGH OPENING OR ROLL OUT RING SHANK REDWOOD RAIN WATER LEADER SEE ARCHITECTURAL DRAWINGS SOLID CORE SCHEDULE SMOKE DETECTOR SECTION SEE ELECTRICAL DRAWINGS SHELF SHEET SIMILAR SEE LANDSCAPE DRAWINGS SHEET METAL SEE MECHANICAL DRAWINGS SEE PLUMBING DRAWINGS SPECIFICATION SPEAKER SQUARE STAINLESS STEEL OR SANITARY SEWER SEE STRUCTURAL DRAWINGS STAGGERED STANDARD STEEL STRUCTURAL SUSPEND (ED) SYMMETRICAL TOP & BOTTOM TOP OF CURB TONGUE & GROOVE TEMPERED THICK TOP OF BEAM TOP OF CONCRETE TOP OF FOOTING TOP OF PLATE TOP OF STEEL TOILET PAPER HOLDER TOP OF WALL TYPICAL UNLESS OTHERWISE NOTED VERTICAL VERT. GRAIN DOUG. FIR (10 RING/IN. MIN.) VERIFY IN FIELD WITH WATER CLOSET WOOD WINDOW WATERPROOF WATERPROOFING WALL REGISTER
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1 ABBREVIATIONS

GENERAL	DIMENSIONING
	
	
	
	
	
	
SCHEDULES	
	
	
	

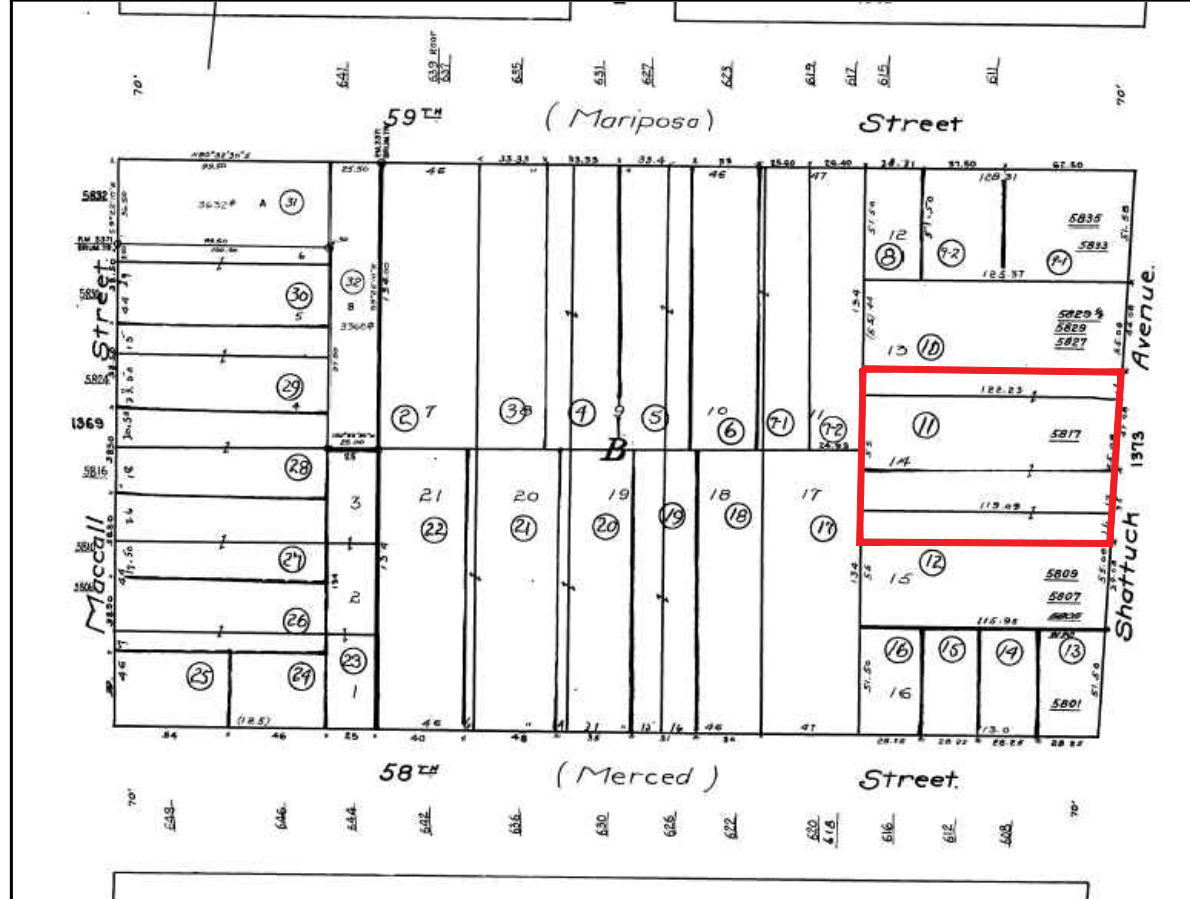
3 DRAWING SYMBOLS

1. ALL WORK SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, LAWS AND ORDINANCES AS REQUIRED BY CODES AND REGULATIONS LISTED HEREIN AND AS REQUIRED BY THE STATE OF CALIFORNIA AND ALL RELEVANT REGULATORY BODIES.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. FOLLOW NUMERICAL DIMENSIONS; DO NOT SCALE.
3. FLOOR PLAN DIMENSIONS SHOWN ARE FACE OF FINISH AT NEW CONSTRUCTION.
4. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING THE WORK RELATED TO THAT BEING INSPECTED.
5. BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING SITE CONDITIONS AND DETERMINE THE EXTENT OF THE EXISTING FINISHES, SPECIALTIES, AND OTHER ITEMS WHICH MUST BE REMOVED AND INSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. COORDINATE AND MAKE THIS INSPECTION WITH THE OWNER.
6. THE ARCHITECTURAL DRAWINGS SHOW PRINCIPLE AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH WORK IS ALSO PART OF THIS CONTRACT.
7. DO NOT DRILL OR CUT JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS, PIPES, AND OTHER ITEMS PASSING THROUGH OPENINGS.
8. WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE, SHALL MATCH TO THE SATISFACTION OF THE ARCHITECT.
9. BEFORE BEGINNING WORK, CREATE AN ACCOUNT AT GREEN HALO TO MONITOR CONSTRUCTION AND DEMOLITION DEBRIS DISPOSAL. ENSURE THAT ALL DEBRIS DISPOSAL IS ACCOUNTED FOR ON PAPER RECEIPTS, WITH AMOUNT RECYCLED TRACKED.
10. INDOOR PLUMBING: INSTALL WATER-EFFICIENT FIXTURES AND FITTINGS AS SUMMARIZED IN CALGREEN.
11. PEST PROTECTION: ANNULAR SPACE AROUND PIPES, ELECTRICAL CABLES, CONDUITS, AND OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD FOR PROTECTION AGAINST RODENTS.
12. CONTRACTOR TO VERIFY THAT WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE IN COMPLIANCE WITH CALGREEN 4.505.3.
13. HVAC SYSTEM TO BE DESIGNED AND INSTALLED TO ACCA MANUAL J, D, AND S.
14. HVAC INSTALLER TO BE TRAINED AND CERTIFIED VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM, OR OTHER PROGRAM ACCEPTABLE TO THE BUILDING SERVICES DIVISION.
15. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.
16. ALL MATERIALS TO MEET MANDATORY REQUIREMENTS OF CALGREEN.

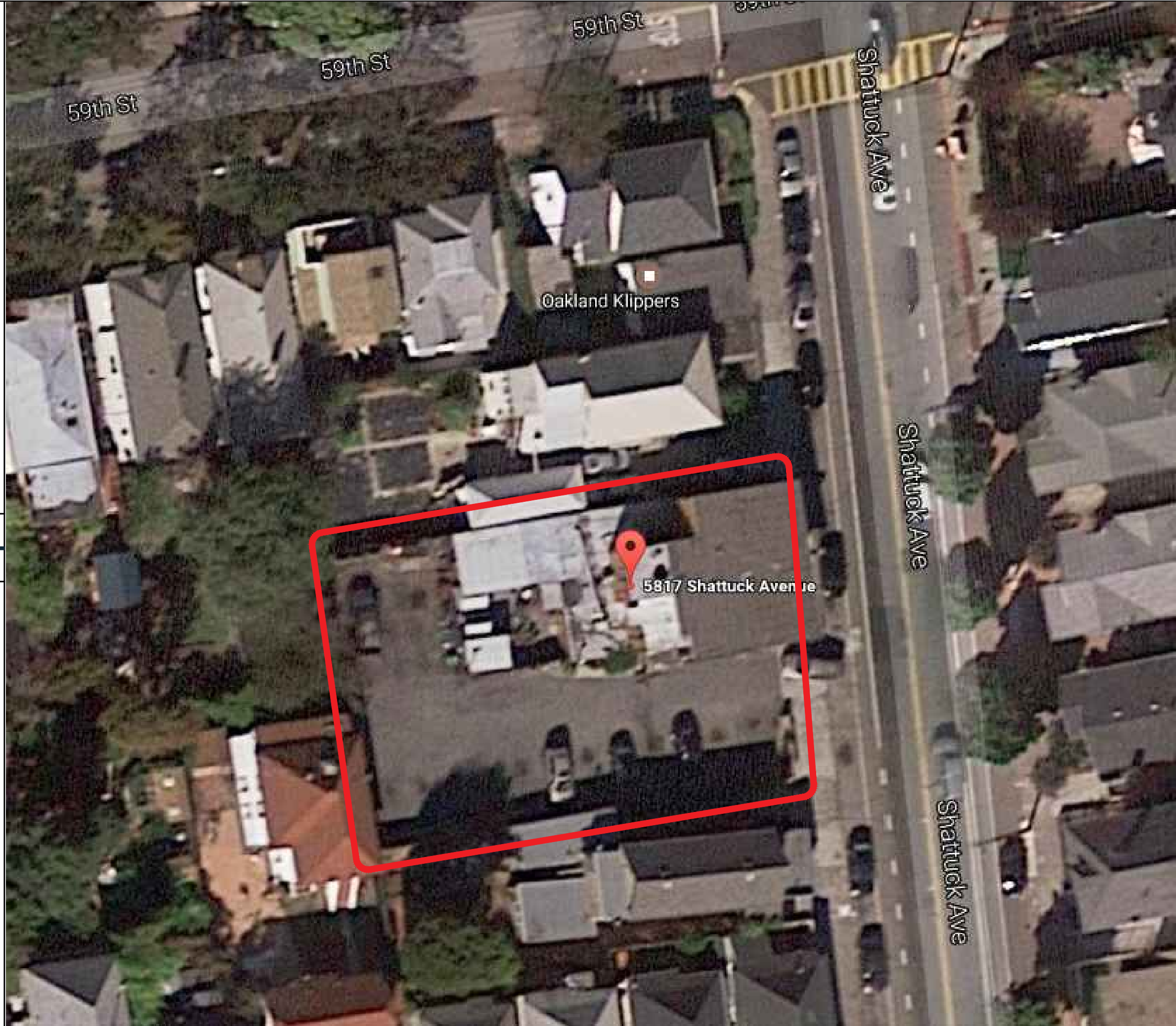
2 GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW:
- 2016 CALIFORNIA CODES
- 2016 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, CBSC
  - 2016 CALIFORNIA BUILDING CODE (CBC), PART 2 CBSC (2012 IBC & CALIFORNIA AMENDMENTS)
  - 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, CBSC (2011 NATIONAL ELECTRICAL CODE & CALIFORNIA AMENDMENTS)
  - 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, CBSC (2012 UNIFORM PLUMBING CODE & CALIFORNIA AMENDMENTS)
  - 2016 CALIFORNIA ENERGY CODE (CPC), PART 6, CBSC
  - 2016 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, CBSC
  - 2016 CALIFORNIA FIRE CODE, PART 9, CBSC (2012 INTERNATIONAL FIRE CODE & CALIFORNIA AMENDMENTS)
  - TITLE 19 C.C.R., PUBLIC SAFETY, SFM REGULATIONS
  - 2016 CALIFORNIA MECHANICAL CODE
  - NFPA 72 (2013)
  - NFPA 13 (2013)
- OAKLAND AMENDMENTS
- 2013 OAKLAND BUILDING CONSTRUCTION CODE
  - 2010 SUSTAINABLE GREEN BUILDING REQUIREMENTS FOR PRIVATE DEVELOPMENT
- APPLICABLE FEDERAL CODES & STANDARDS:  
TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

5 APPLICABLE CODES



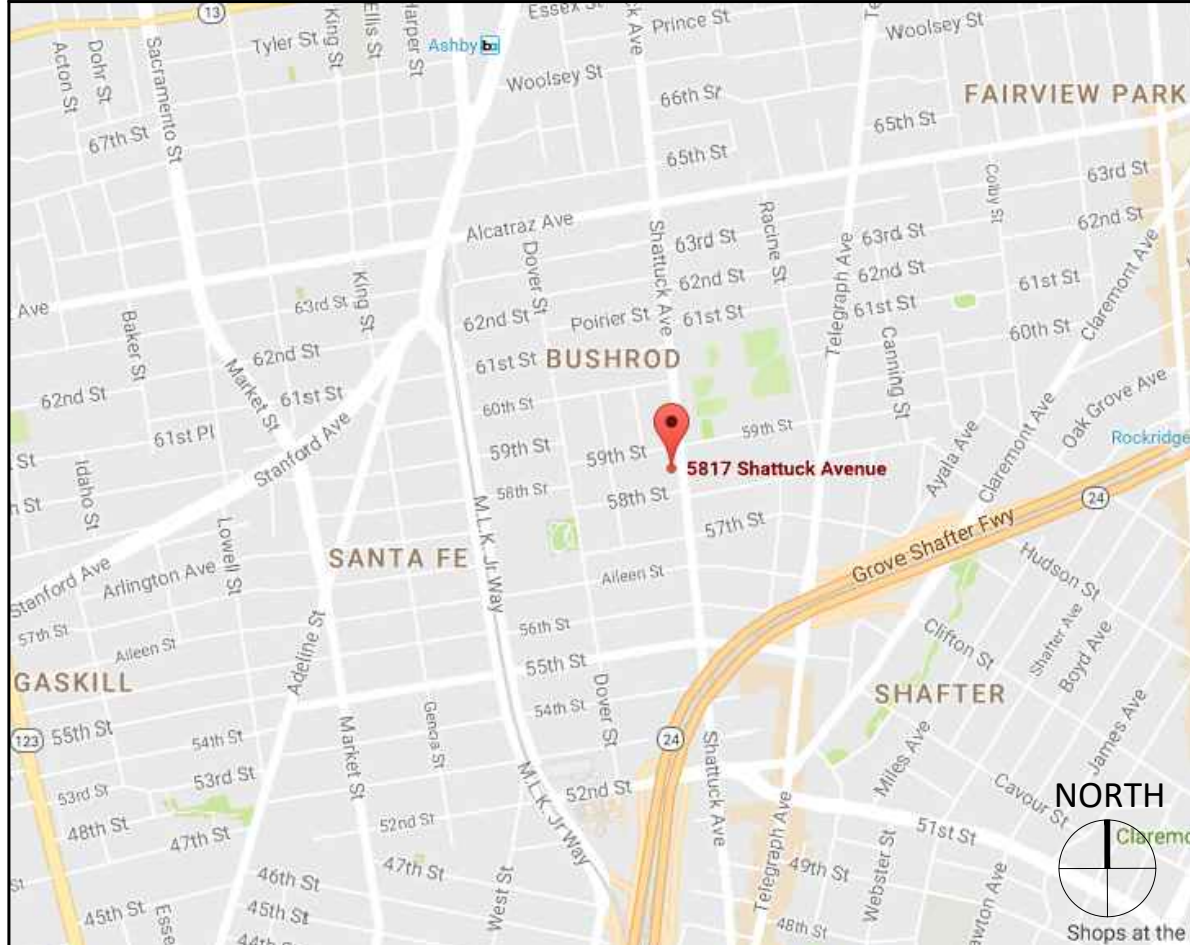
4 ASSESSOR'S MAP



8 AERIAL PHOTO  
NOT TO SCALE

OWNER:	DILLER CAPITAL JIM DILLER, PRINCIPAL PO BOX 620341 WOODSIDE, CA 94062 TEL: 650.269.4027 EMAIL: jim@dillercapital.com
PROJECT MANAGER/G.C.:	HOWARD CONSTRUCTION KEVIN SMITH 2434 FENDER AVE. SUITE H FULLERTON, CA 92831 TEL: 714.242.9631 EMAIL: ksmith@howard-const.com
ARCHITECT:	CARRIE SHORES DILLER LARSON SHORES ARCHITECTURE + INTERIORS 1940 UNION STREET #22 OAKLAND, CA 94607 TEL: 510.444.9788 EMAIL: carrie@larsonshores.com
ENGINEER:	KEVIN TREAT KPW STRUCTURAL ENGINEERS 55 HARRISON STREET #550 OAKLAND, CA 94607 TEL: 510.208.3300 EMAIL: treat@kpwse.com
ARCHITECTURAL:	A0.0 PROJECT INFORMATION A0.1 CODE SUMMARY & SITE LAYOUT DIAGRAMS A0.2 SHADOW STUDY A0.3 SHADOW STUDY A0.4 RENDERINGS A0.5 RENDERINGS A0.6 GREEN POINT RATED CHECKLIST A1.0 SITE SURVEY SURVEY A1.1 PROPOSED SITE PLAN A2.1 PROPOSED OVERALL FIRST FLOOR PLAN A2.2 PROPOSED OVERALL SECOND FLOOR PLAN A2.3 PROPOSED OVERALL THIRD FLOOR PLAN A2.4 PROPOSED ROOF PLAN A3.0 PROPOSED EXTERIOR EAST & SOUTH ELEVATIONS A3.1 PROPOSED EXTERIOR WEST & NORTH ELEVATIONS A3.2 STREET CONTEXT ELEVATIONS A4.0 PROPOSED BUILDING SECTIONS
LANDSCAPE:	L1 FIRST FLOOR LAYOUT PLAN L2 THIRD FLOOR LAYOUT PLAN L3 LAYOUT NOTES AND DETAILS L4 FIRST FLOOR PLANTING PLAN L5 THIRD FLOOR PLANTING PLAN L6 FIRST FLOOR IRRIGATION PLAN 1/2 L7 FIRST FLOOR IRRIGATION PLAN 2/2 L8 THIRD FLOOR IRRIGATION PLAN L9 IRRIGATION CALCULATIONS AND NOTES

7 PROJECT TEAM



6 LOCATION MAP  
NOT TO SCALE

10 SHEET INDEX

DESCRIPTION OF WORK:	DEMOLISH EXISTING RESTAURANT, REPLACE WITH NINE-UNIT MULTIFAMILY RESIDENTIAL WITH ON-SITE PARKING.
ADDRESS:	5817 SHATTUCK AVE
ZONING DESIGNATION:	RM-4
APN:	015-1370-011-00
ACTUAL SITE AREA (SF):	10,077.85 SF
PROPOSED FLOOR AREA:	16,719 SF
PROPOSED NUMBER OF STORIES:	3
PROPOSED ON-SITE PARKING:	9 SPACES
PROPOSED BUILDING HEIGHT:	33'-8"
FIRE SPRINKLERS:	YES
CONSTRUCTION TYPE:	VA
EXISTING STRUCTURE:	EXISTING RESTAURANT TO BE DEMOLISHED
YEAR OF CONSTRUCTION:	UNKNOWN
OCHS RATING:	NONE

9 PROJECT DATA

LARSON SHORES ARCHITECTURE AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

OWNER:  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



DEVELOPMENT 5817 SHATTUCK AVE OAKLAND, CA 94609

SUBMITTAL:  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:		
#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

These drawings, specifications, ideas, designs, and arrangements presented hereby are and shall remain the property of Larson Shores Architecture + Interiors. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they were prepared and developed without the written consent of Larson Shores Architecture + Interiors. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

SHEET TITLE:

PROJECT INFORMATION

SHEET NUMBER:

A0.0



CODE ANALYSIS

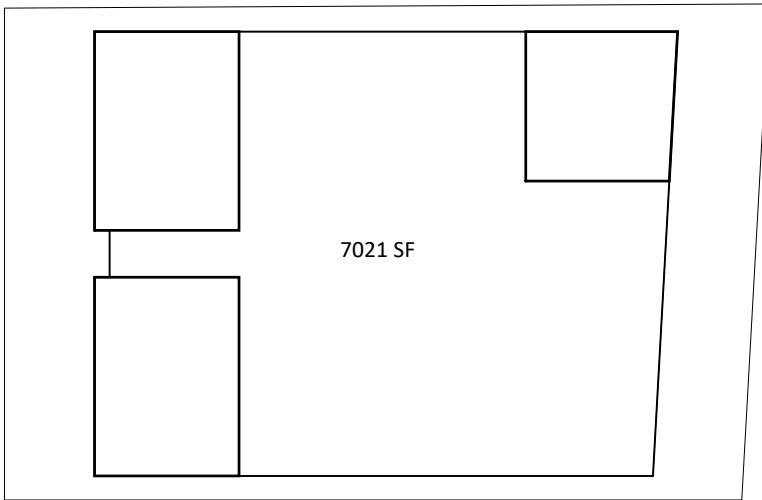
PERMITTED DENSITY

OMC TABLE 17.17.03: PROPERTY DEVELOPMENT STANDARDS

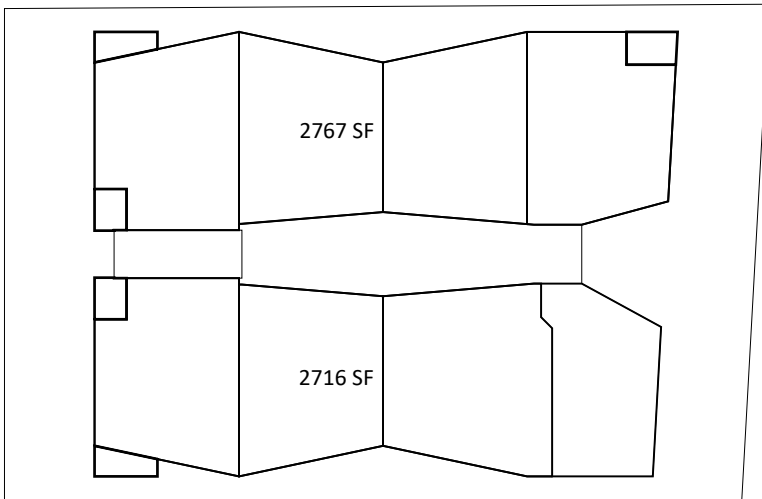
CONDITIONALLY PERMITTED DENSITY (ONLY FOR LOTS 4,000 SF. OR GREATER): FOR 5 OR MORE UNITS, 1 UNIT PER 1,100 SF. OF LOT AREA

LOT SIZE: 10,281 SF / (1 UNIT / 1100 SF) = 9 UNITS

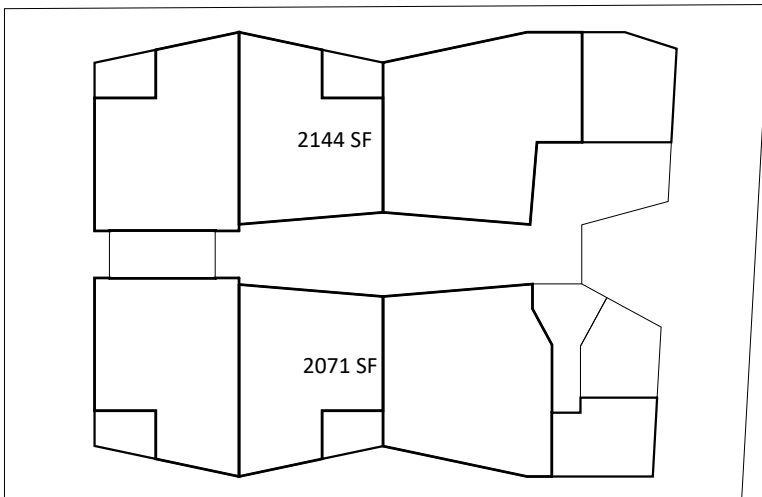
GROSS SQUARE FOOTAGE (FLOOR AREA): 16,719 SF



FIRST FLOOR



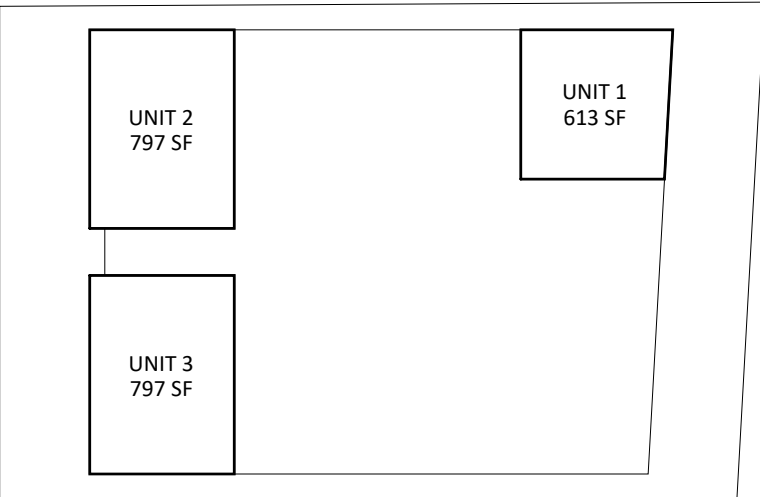
SECOND FLOOR



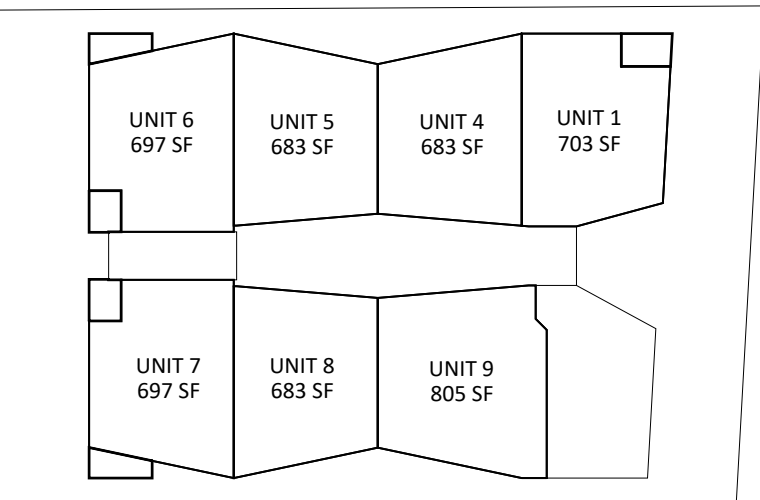
THIRD FLOOR

FLOOR	PERMITTED FLOOR AREA	GROSS SQUARE FOOTAGE
1	NO LIMIT	7021 SF
2	NO LIMIT	5483 SF
3	NO LIMIT	4215 SF
TOTAL		16,719 SF

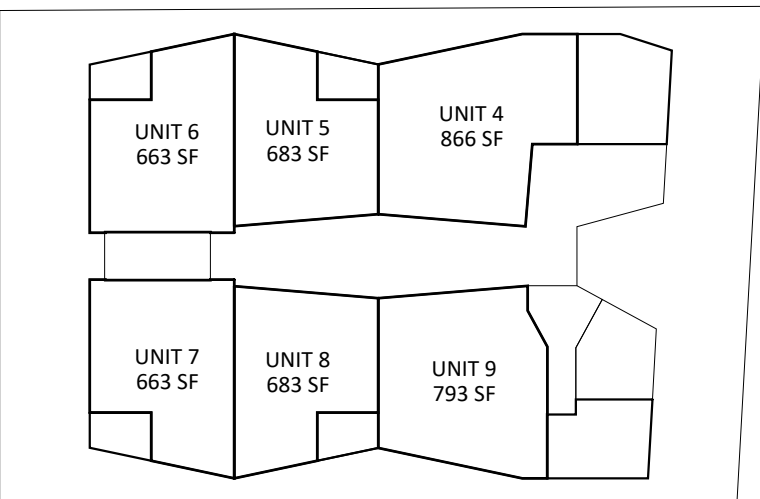
FLOOR AREA & OPEN SPACE



FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

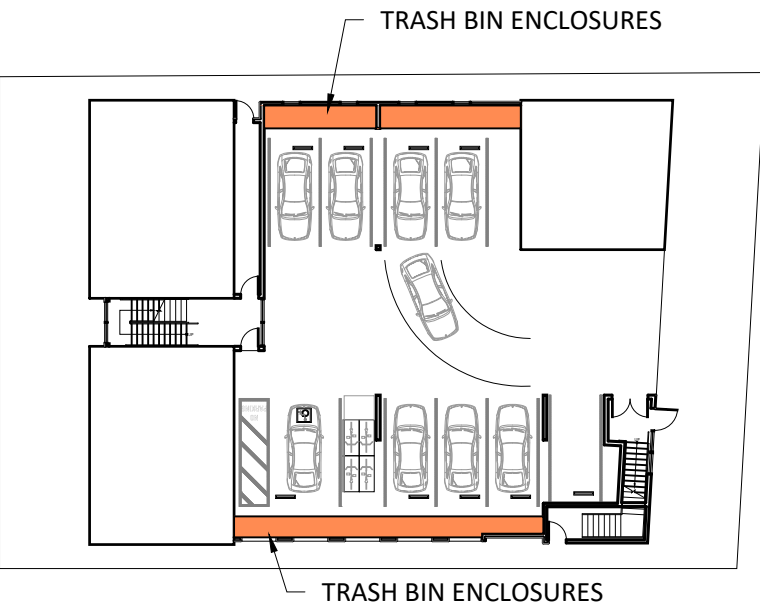
PROPOSED UNIT SIZES:

UNIT #	FLOOR AREA	PRIVATE OPEN SPACE	TOTAL
1	1316 SF	345 SF	1661 SF
2	797 SF	641 SF	1438 SF
3	797 SF	640 SF	1437 SF
4	1549 SF	270 SF	1819 SF
5	1366 SF	71 SF	1437 SF
6	1360 SF	150 SF	1510 SF
7	1360 SF	150 SF	1510 SF
8	1366 SF	71 SF	1437 SF
9	1598 SF	214 SF	1812 SF

RECYCLING AND TRASH

OMC 17.118.030 - RECYCLING SPACE ALLOCATION REQUIREMENTS. THE DESIGN, LOCATION AND MAINTENANCE OF RECYCLING COLLECTION AND STORAGE AREAS MUST SUBSTANTIALLY COMPLY WITH THE PROVISIONS OF THE OAKLAND CITY PLANNING COMMISSION "GUIDELINES FOR THE DEVELOPMENT AND EVALUATION OF RECYCLING COLLECTION AND STORAGE AREAS," AS THEY MAY BE AMENDED. IN ADDITION, SPACE DEVOTED TO THE COLLECTION AND STORAGE OF RECYCLABLE MATERIALS SHALL BE ADEQUATE IN CAPACITY, NUMBER AND DISTRIBUTION TO SERVE THE AFFECTED DEVELOPMENT.

A. SPACE ALLOCATED FOR RECYCLING COLLECTION AND STORAGE AREAS WITHIN AFFECTED RESIDENTIAL PROJECTS SHALL BE PROVIDED IN THE AMOUNT OF TWO CUBIC FEET OF STORAGE AND COLLECTION SPACE PER RESIDENTIAL UNIT, WITH A MINIMUM REQUIREMENT THAT NOT LESS THAN TEN CUBIC FEET BE PROVIDED.



EACH UNIT PROVIDED WITH TRASH BIN AREA WITH MIN. 58 CUFT. SUFFICIENT TO HOLD 3 LARGE ROLLING BINS FOR TRASH, RECYCLING, AND COMPOSTABLES, TO BE PLACED AT THE CURB FOR COLLECTION WEEKLY BY OCCUPANT.

REQUIRED COLLECTION AREA: 16,608 GROSS SF / 1000 = 17 CUFT

PROVIDED COLLECTION AREA: 58 CUFT X 9 UNITS = 522 CUFT

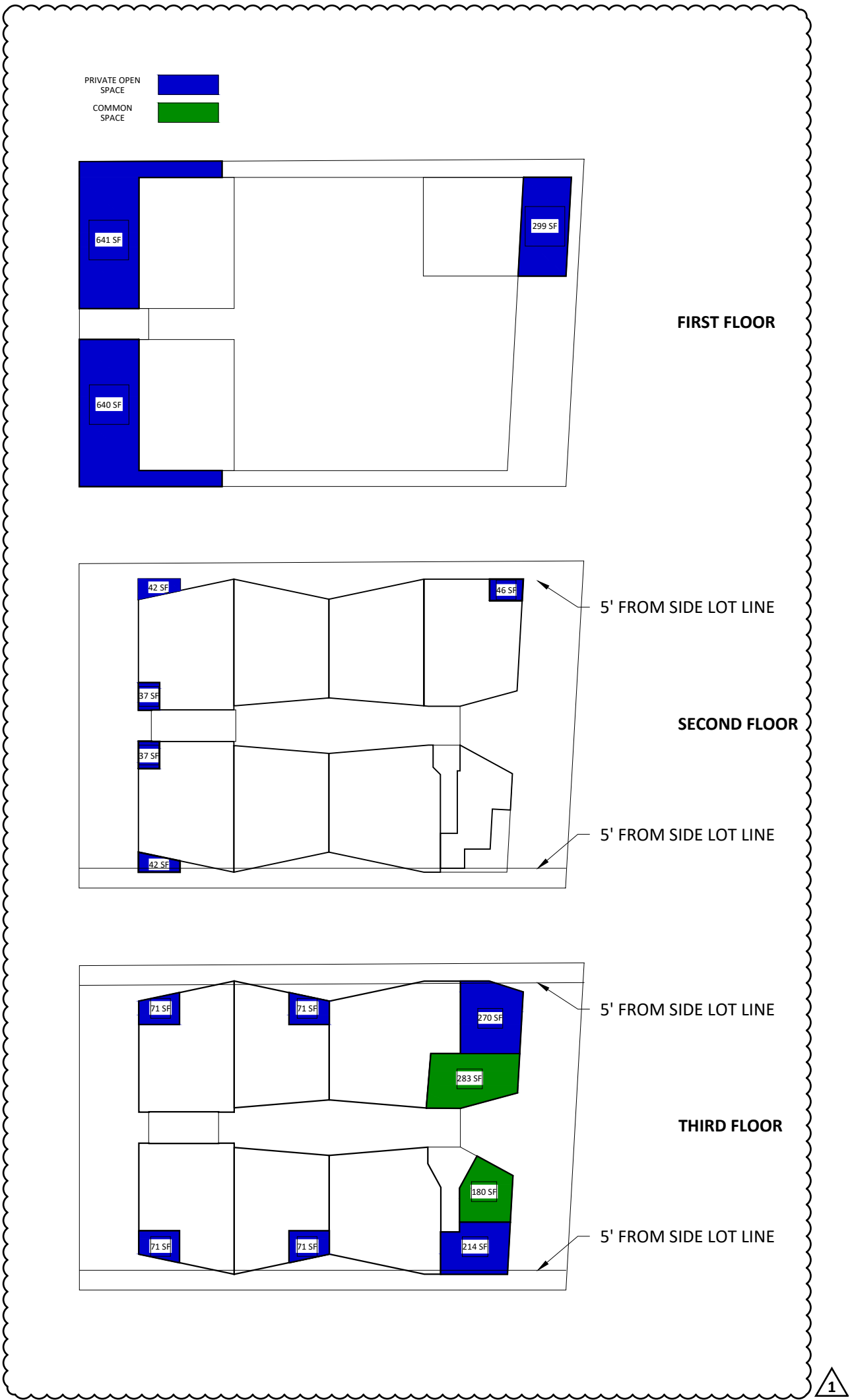
GROUP & PRIVATE USABLE OPEN SPACE

OMC 17.126.030 - GROUP USABLE OPEN SPACE. ALL REQUIRED GROUP USABLE OPEN SPACE SHALL CONFORM TO THE FOLLOWING STANDARDS: C. SIZE AND SHAPE. AN AREA OF CONTIGUOUS SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN FIFTEEN (15) FEET.

OMC 17.126.040 - PRIVATE USABLE OPEN SPACE. ALL REQUIRED PRIVATE USABLE OPEN SPACE SHALL CONFORM TO THE FOLLOWING STANDARDS: B. LOCATION. THE SPACE MAY BE LOCATED ANYWHERE ON THE LOT, EXCEPT THAT GROUND-LEVEL SPACE SHALL NOT BE LOCATED IN A REQUIRED MINIMUM FRONT YARD AND EXCEPT THAT ABOVE-GROUND-LEVEL SPACE SHALL NOT BE LOCATED WITHIN FIVE (5) FEET OF AN INTERIOR SIDE LOT LINE. C. SIZE AND SHAPE. AN AREA OF CONTIGUOUS GROUND-LEVEL SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN TEN (10) FEET. AN AREA OF ABOVE-GROUND-LEVEL SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN FIVE (5) FEET. F. ENCLOSURE. GROUND-LEVEL SPACE SHALL BE SCREENED FROM ABUTTING LOTS, STREETS, ALLEYS, AND PATHS, FROM ABUTTING PRIVATE WAYS, AND FROM OTHER AREAS ON THE SAME LOT BY A BUILDING WALL, BY DENSE LANDSCAPING NOT LESS THAN FIVE AND ONE-HALF (5½) FEET HIGH AND NOT LESS THAN THREE (3) FEET WIDE, OR BY A SOLID OR GRILLE, LUMBER OR MASONRY FENCE OR WALL NOT LESS THAN FIVE AND ONE-HALF (5½) FEET HIGH.

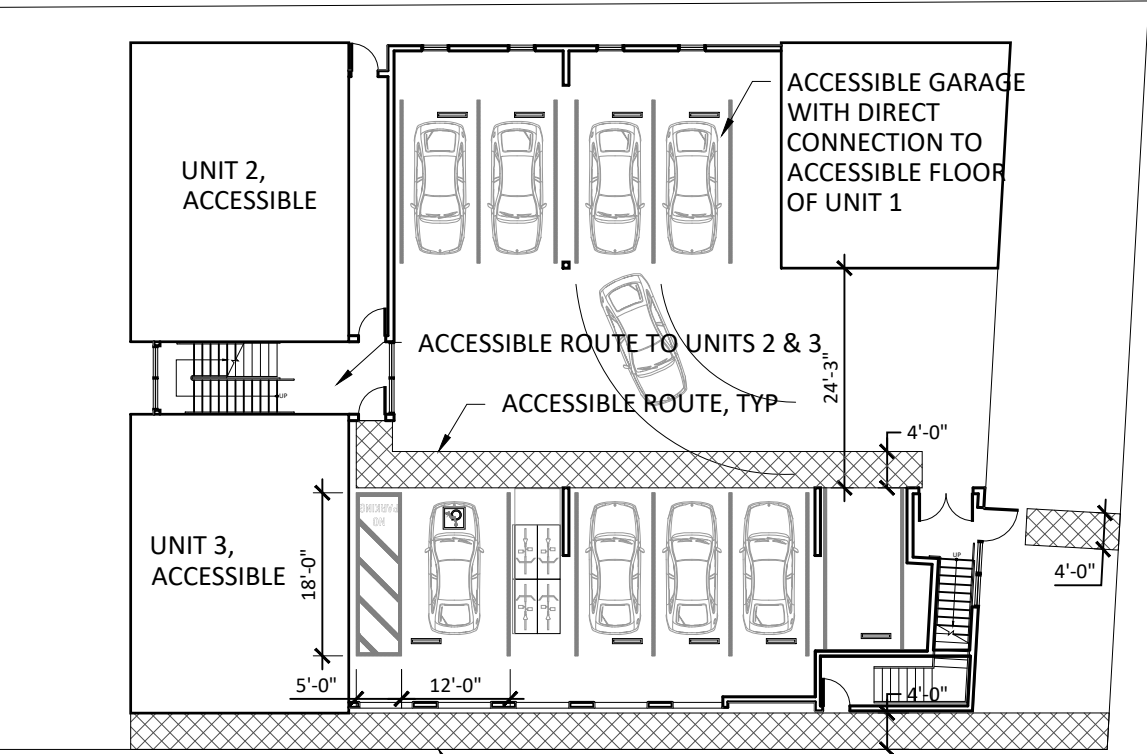
MINIMUM OPEN SPACE	RM-4
GROUP OPEN SPACE PER REGULAR UNIT	175 SF
OMC 17.126.020 - SUBSTITUTION OF PRIVATE SPACE FOR GROUP SPACE. EACH ONE (1) SQUARE FOOT OF PRIVATE USABLE OPEN SPACE CONFORMING TO THE PROVISIONS OF SECTION 17.126.040 SHALL BE CONSIDERED EQUIVALENT TO TWO (2) SQUARE FEET OF REQUIRED GROUP USABLE OPEN SPACE AND MAY BE SO SUBSTITUTED, SUBJECT TO ANY MINIMUM REQUIREMENTS FOR ACTUAL GROUP SPACE PRESCRIBED IN THE APPLICABLE INDIVIDUAL ZONE REGULATIONS.	
MINIMUM GROUP OPEN SPACE PER REGULAR UNIT WHEN PRIVATE OPEN SPACE SUBSTITUTED	70 SF
TOTAL REQUIRED GROUP OPEN SPACE (FOR 9 UNITS= 175 SF X 9)	1575 SF
COMMON SPACE PROVIDED (283 SF + 180 SF)	463 SF
REMAINING NEEDED (1575 SF- 463 SF)	1112 SF
PROVIDE AS PRIVATE (OMC 17.126.020), 1112 SF/2	556 SF
MINIMUM PRIVATE ONE SPACE NEEDED FOR EA. UNIT (556 SF / 9)	62 SF *

\* SEE PROPOSED UNIT SIZES TABLE IN ADJACENT COLUMN, MINIMUM PRIVATE OPEN SPACE PROVIDES 71 SF.



HOUSING ACCESSIBILITY

CODE REQUIREMENT	# UNITS REQUIRED	UNITS COMPLYING
1102A.3.1 MULTISTORY APARTMENT OR CONDOMINIUM DWELLINGS IN BUILDINGS WITH NO ELEVATOR: AT LEAST 10 PERCENT BUT NOT LESS THAN ONE OF THE MULTI- STORY DWELLINGS IN APARTMENT BUILDINGS WITH 3 OR MORE DWELLING UNITS AND/OR CONDOMINIUMS WITH 4 OR MORE DWELLING UNITS SHALL COMPLY WITH THE FOLLOWING:		
1. THE PRIMARY ENTRY TO THE DWELLING UNIT SHALL BE ON AN ACCESSIBLE ROUTE	1	1, 2, & 3 (3 UNITS COMPLY)
2. AT LEAST ONE ACCESSIBLE POWDER ROOM OR BATHROOM SHALL BE LOCATED ON THE PRIMARY ENTRY LEVEL, SERVED BY AN ACCESSIBLE ROUTE	1	1, 2, & 3 (3 UNITS COMPLY)
3. ALL ROOMS OR SPACES LOCATED ON THE PRIMARY ENTRY LEVEL SHALL BE SERVED BY AN ACCESSIBLE ROUTE AND SHALL BE ACCESSIBLE	1	1 & 2, UNIT 3 COMPLIES ON FIRST FLOOR (3 UNITS COMPLY)
CBC 1104A.1 ALL GROUND-FLOOR DWELLING UNITS IN NON-ELEVATOR BUILDINGS SHALL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE	3	1 & 2, UNIT 3 COMPLIES ON FIRST FLOOR (3 UNITS COMPLY)
CBC 1117A.3 WHEN A GROUND FLOOR DWELLING UNIT OF A BUILDING HAS A SEPARATE ENTRANCE, EACH SUCH GROUND-FLOOR DWELLING UNIT SHALL BE SERVED BY AN ACCESSIBLE ROUTE		



PARKING

	ZONE	REQUIREMENT
MULTIFAMILY DWELLING	ANY OTHER ZONE, EXCEPT WHEN COMBINED WITH THE S-12 ZONE	ONE (1) SPACE FOR EACH DWELLING UNIT.
SPACES PROVIDED		9

CODE REQUIREMENT	CALCULATION	PROVIDED
CBC 1109A.4 ASSIGNED ACCESSIBLE PARKING SPACES. WHEN ASSIGNED PARKING SPACES ARE PROVIDED FOR A RESIDENT OR A GROUP OF RESIDENTS, AT LEAST 2 PERCENT OF THE ASSIGNED PARKING SPACES SERVING COVERED MULTIFAMILY DWELLING UNITS SHALL BE ACCESSIBLE IN EACH TYPE OF PARKING FACILITY. AT LEAST ONE SPACE OF EACH TYPE OF PARKING FACILITY SHALL BE MADE ACCESSIBLE EVEN IF THE TOTAL NUMBER EXCEEDS 2 PERCENT.	2% OF 9 SPACES = 0.18 SPACES (1 SPACE)	1 ACCESSIBLE STALL PARKING SPACE
		4 ACCESSIBLE PRIVATE GARAGE SPACES



BICYCLE PARKING

OMC 17.117.090 - REQUIRED BICYCLE PARKING—RESIDENTIAL ACTIVITIES

	LONG-TERM BICYCLE PARKING REQUIREMENT	SHORT-TERM BICYCLE PARKING REQUIREMENT
4) MULTIFAMILY DWELLING		
A) WITH PRIVATE GARAGE FOR EACH UNIT	NO SPACES REQUIRED	1 SPACE FOR EACH 20 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 15 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.
B) WITHOUT PRIVATE GARAGE FOR EACH UNIT.	1 SPACE FOR EACH 4 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 2 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.	1 SPACE FOR EACH 20 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 15 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.
SPACES PROVIDED	2	2

LARSON SHORES ARCHITECTURE AND INTERIORS

ARCHITECT:

LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

OWNER:

DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



DEVELOPMENT 5817 SHATTUCK AVE OAKLAND, CA 94609

SUBMITTAL:

PLANNING PERMIT SET  
APRIL 2019

REVISIONS:

#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

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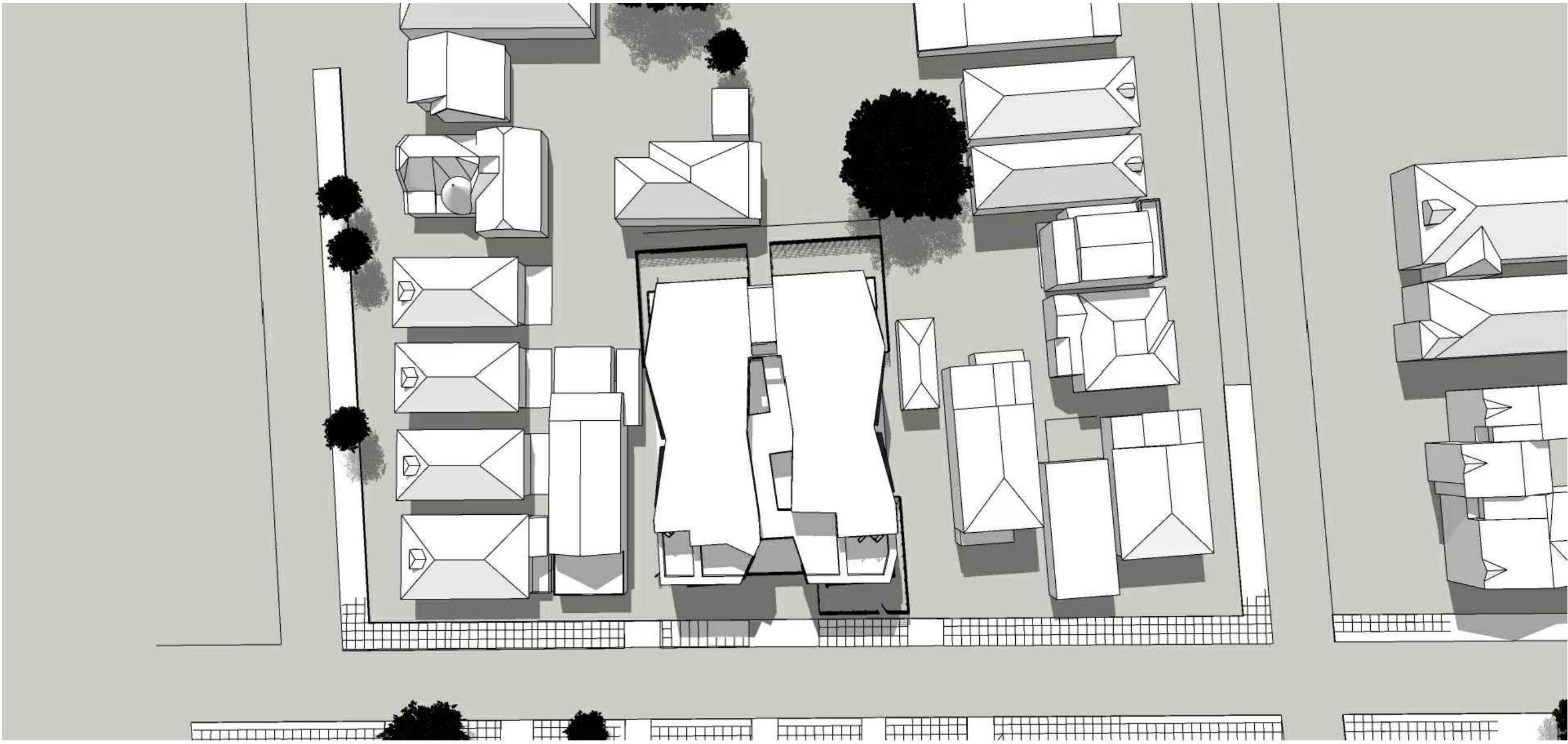
SHEET TITLE:

CODE SUMMARY & SITE LAYOUT DIAGRAMS

SHEET NUMBER:

A0.1





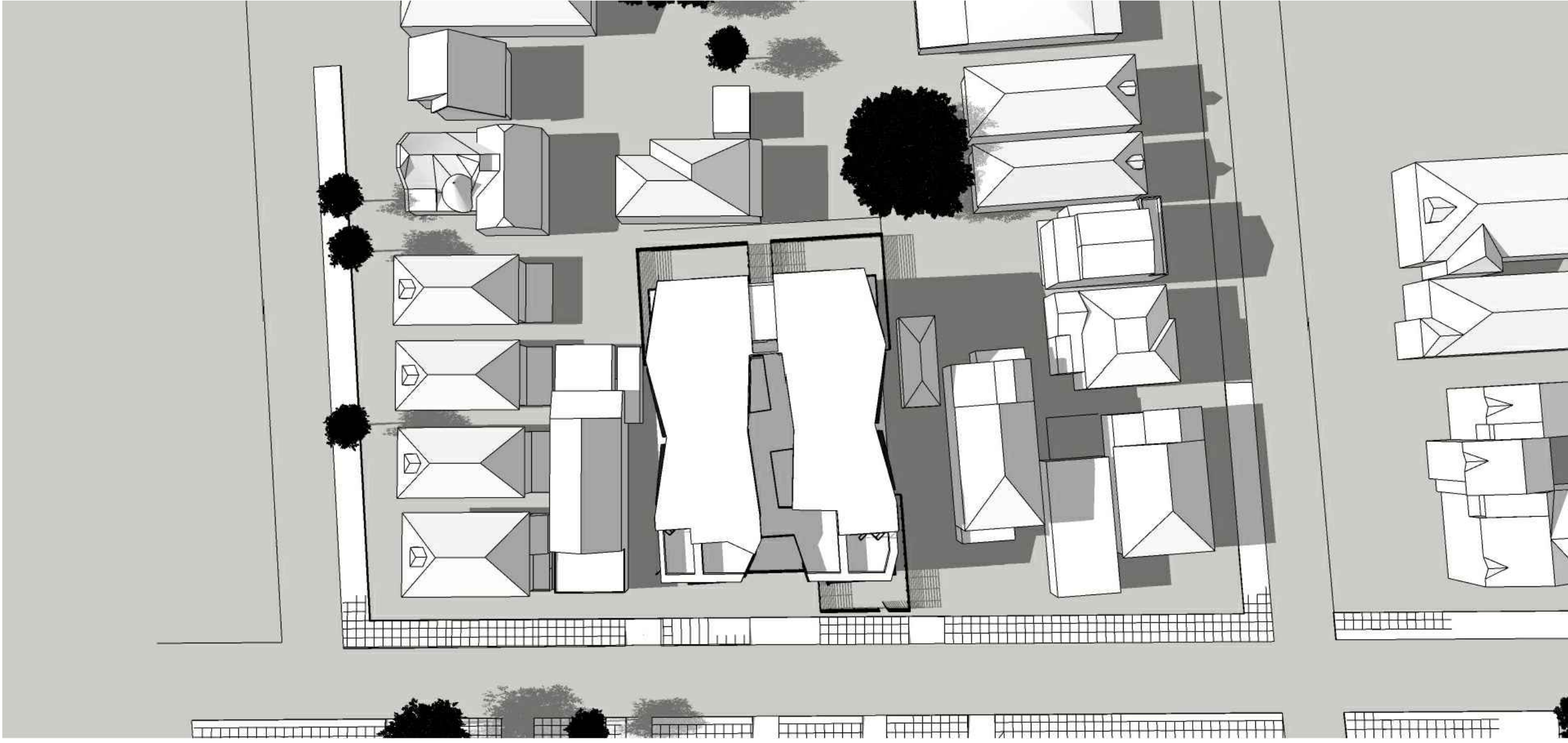
3 3PM, JUNE 21



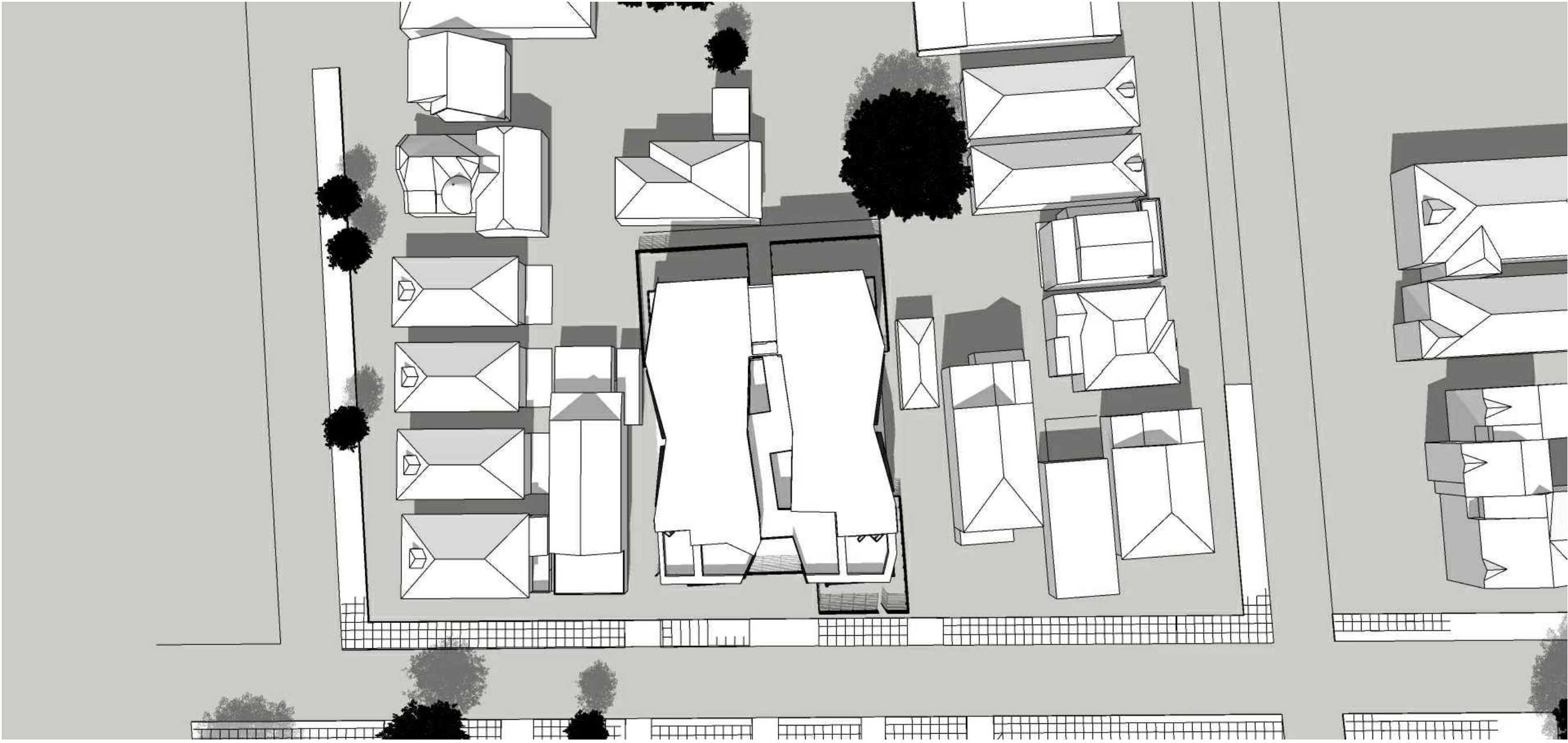
6 3PM, DECEMBER 21



2 12 PM, JUNE 21



5 12 PM, DECEMBER 21



1 9 AM, JUNE 21



4 9 AM, DECEMBER 21



DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITAL:  
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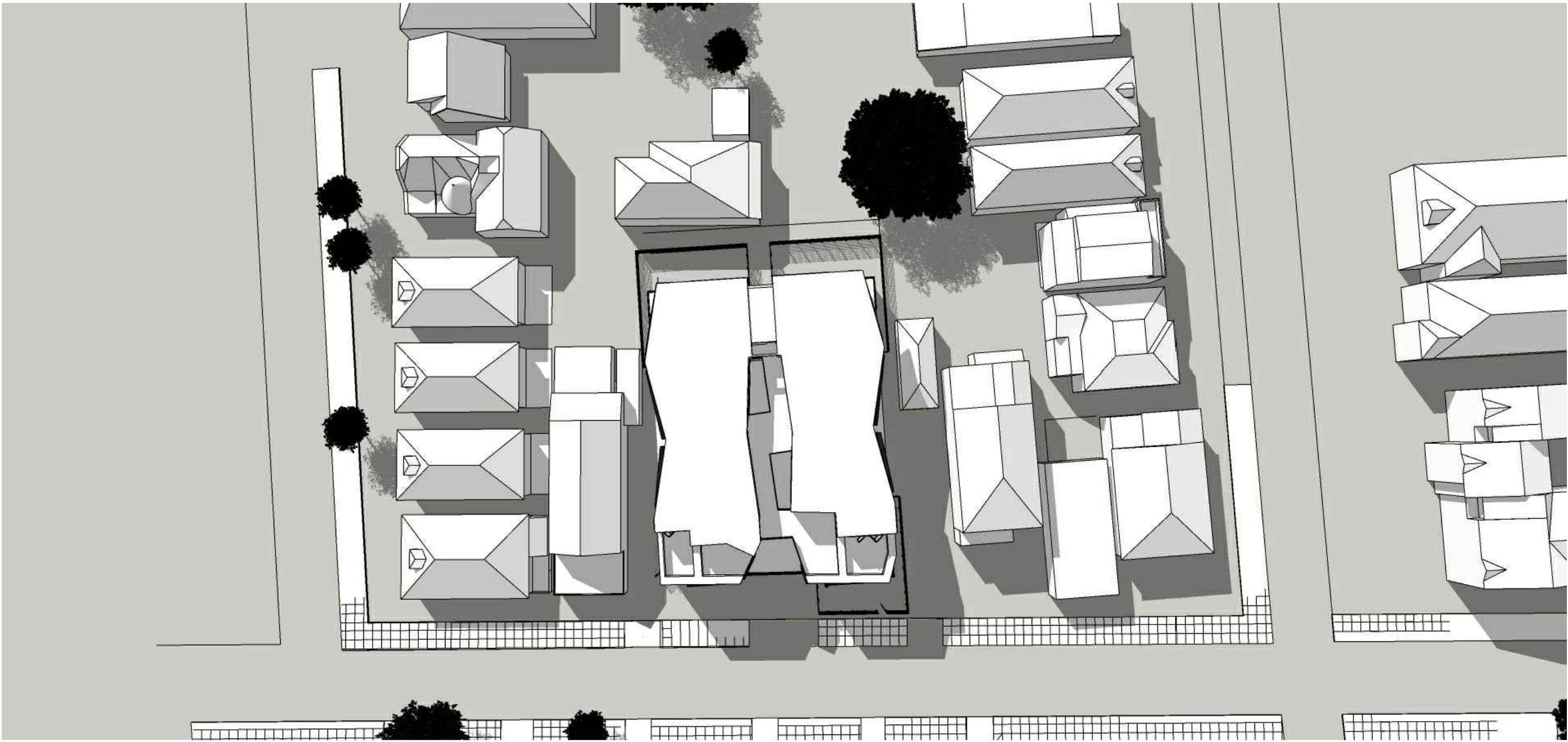
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SHADOW  
STUDY

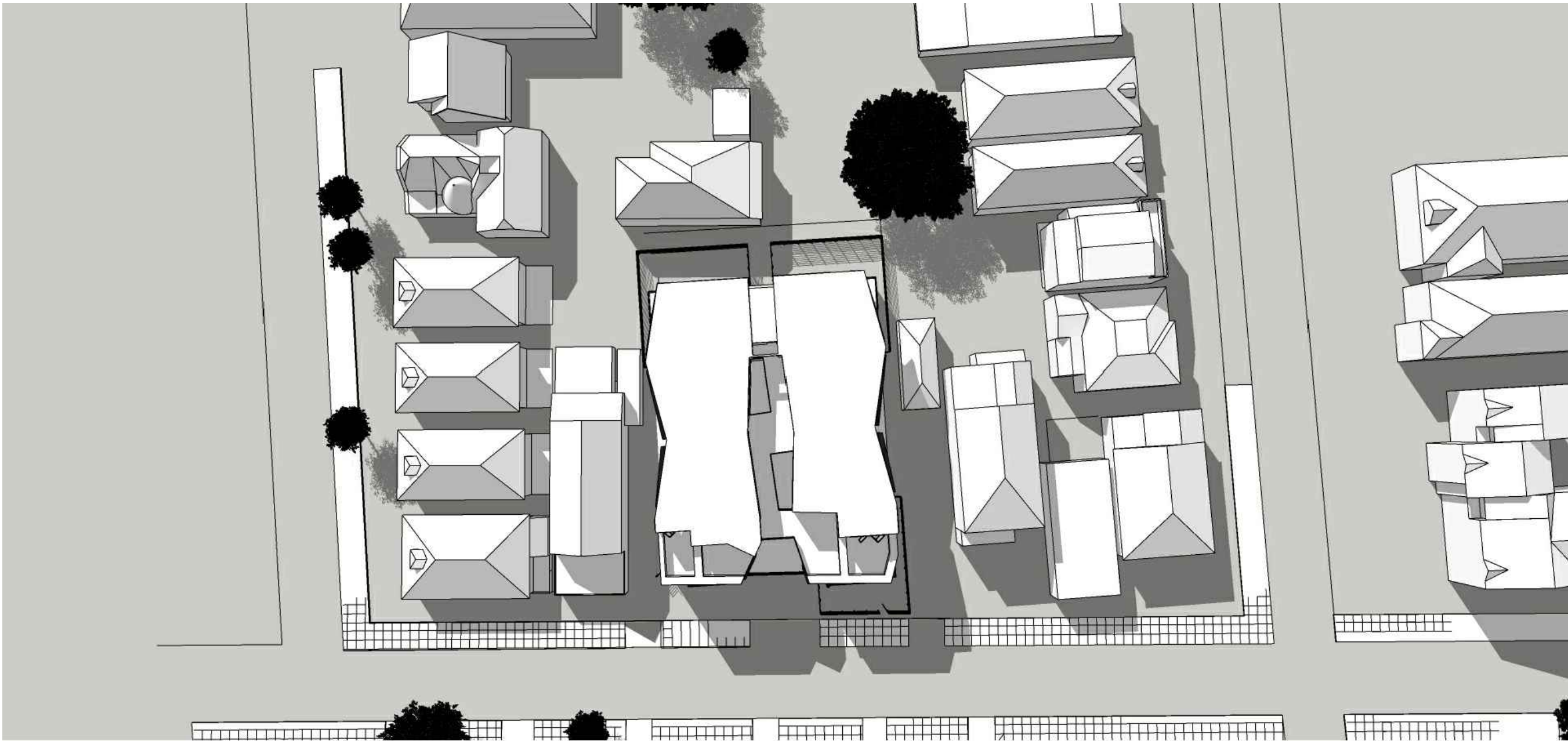
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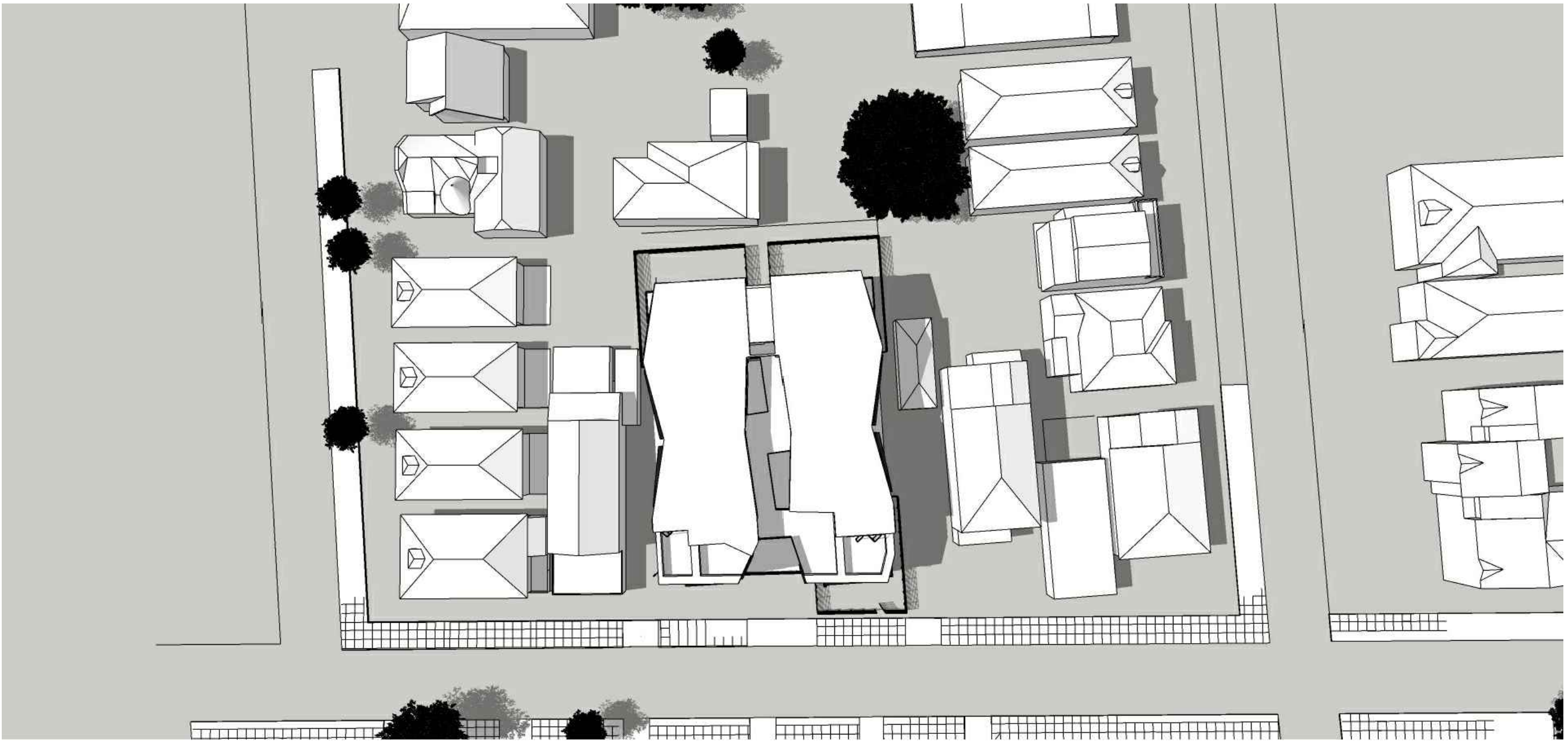




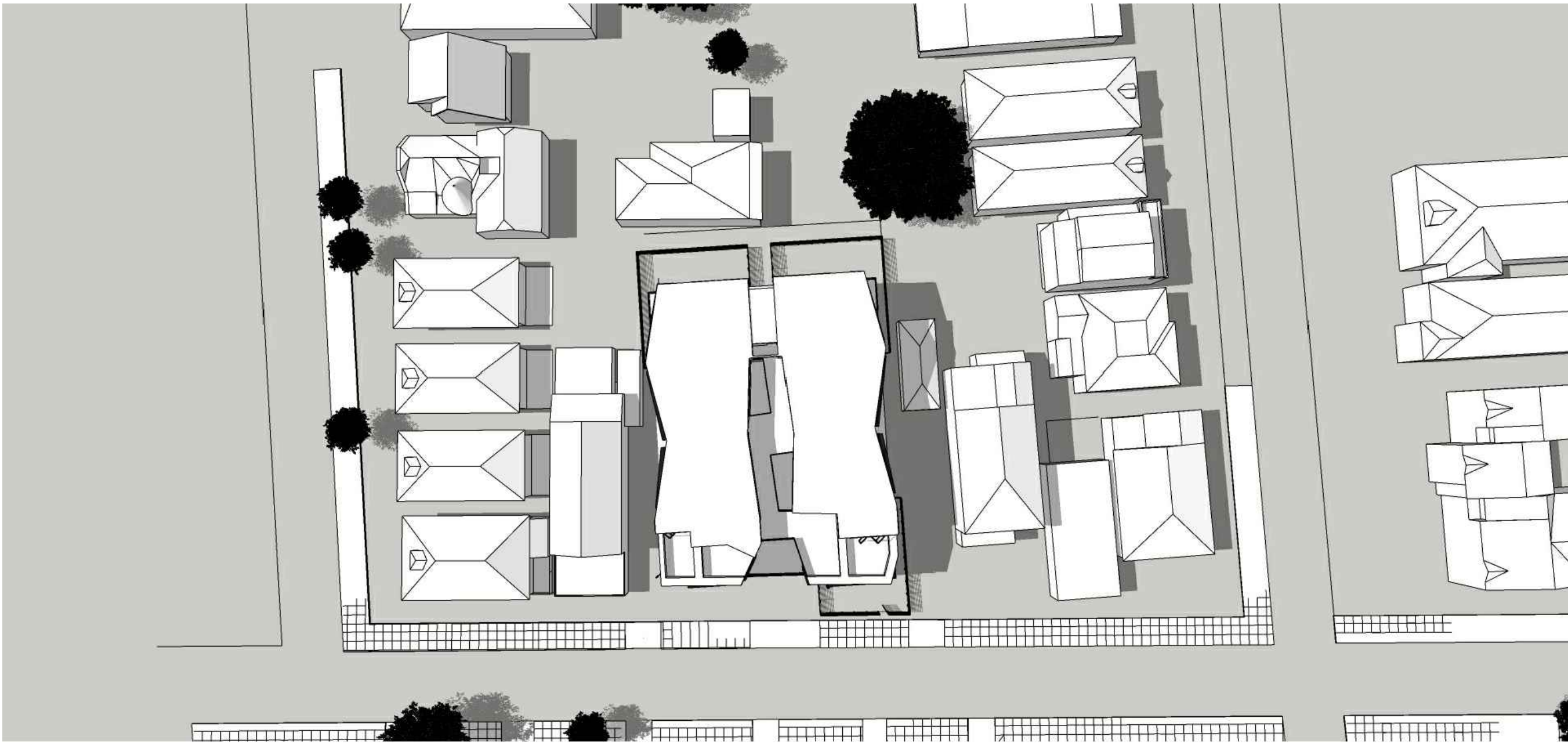
3 3PM, MARCH 21



6 3PM, SEPTEMBER 23



2 12 PM, MARCH 21



5 12 PM, SEPTEMBER 23



1 9 AM, MARCH 21



4 9 AM, SEPTEMBER 23



DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:		
#	DATE	DESCRIPTION
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SHEET TITLE:

SHADOW  
STUDY

SHEET NUMBER:

A0.3





STREET VIEW- OPTION 3  
THIS DRAWING SET HAS BEEN GENERATED BASED ON THIS OPTION

OUR PROPOSED BUILDING FACADE IS SEPARATED BY THE ENTRY INTO THE PARKING GARAGE. THIS APPROACH DEVOTES A "LEFT" & "RIGHT" SIDE OF THE BUILDING, BUT MORE IMPORTANTLY REPLICATES A SIMILAR SCALE OF MASSING TO THE ADJACENT NEIGHBORS. THE CONTEMPORARY FACADE CONTRIBUTES TO AN ECLECTIC NEIGHBORHOOD FABRIC CLEARLY STANDING IN CONTRAST TO THE MORE TRADITIONAL ROOF FRAMES; IN THIS CASE THE HIP & GABLE ROOF LINES. OUR DECISION IS TO PRESENT A MORE MODERN BUILDING FORM IS INTENDED TO GIVE A CLEAR DISTINCTION OF ARCHITECTURAL STYLE SO THAT THE VIEWER CAN EASILY DISTINGUISH A SPECIFIC MOMENT IN TIME, PERHAPS WHEN HIP & GABLE ROOF LINES WERE CONSIDERED "CONTEMPORARY" THEMSELVES.



NORTH WEST PERSPECTIVE



SOUTH EAST PERSPECTIVE



NORTH EAST PERSPECTIVE



DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:  
PLANNING PERMIT SET  
APRIL 2019

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SHEET TITLE:

RENDERINGS

SHEET NUMBER:

A0.4





STREET VIEW- PREVIOUSLY SUBMITTED



STREET VIEW- OPTION 1



STREET VIEW- OPTION 2



STREET VIEW- OPTION 3 (SEE ALSO 1/A0.4)

LARSON  
SHORES  
ARCHITECTURE  
AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

OWNER:  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:		
#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

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SHEET TITLE:

RENDERINGS

SHEET NUMBER:  
**A0.5**



### ARCHITECT:

LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

### OWNER:

DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



# DEVELOPMENT

# 5817 SHATTUCK AVE

# OAKLAND, CA 94609

### SUBMITTAL:

**PLANNING PERMIT SET**  
**APRIL 2019**

### REVIEWS:

#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

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### SHEET TITLE:

# GREEN POINT

# RATED

# CHECKLIST

### SHEET NUMBER:

# A0.6

DATE OF LATEST UPDATE: April 16, 2019

## NEW HOME RATING SYSTEM, VERSION 7.0

### MULTIFAMILY CHECKLIST

The GreenPoint Rated checklist provides green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a nonprofit green building rating organization in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points. Earn the following minimum points or equivalent Category (C) Energy (20), Indoor Air Quality (10), Resources (5), and Water (5), and meet the prerequisite CALGreen Minimum (52, 100, 1, 20, 1, 1).

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June 27, 2017  
Multifamily Development, 5817 Shattuck Ave, Oakland, CA 94609  
Prepared by: Architecture Rodriguez, GreenPoint Rated No. 160508  
[www.architecturerod.com](http://www.architecturerod.com)

Points  
This Project: **94**

Certification Level: **Silver**

Minimum Points: **50**

Targeted Points: **50**

Points Required: **94**

Measures		Assessment	Points	Comments	Notes
Category	Measure	Assessment	Points	Comments	Notes
A. SITE	Yes	CALGreen Res (REQUIRED)	4	1	1
	No	A1. Construction Footprint	0		Previously developed. New design uses 67% of lot
	TBD	A2. Job Site Construction Waste Diversion		2	Mobile, to be confirmed after construction
	Yes	A2.2 60% C&D Waste Diversion (Excluding Alternative Daily Cover)	2	2	Arch needs to add note into drawings
	No	A2.3 Recycling Rates from Third-Party Verified Used-Waste Facility	0	1	Only if contractor uses Zanker Recycling. Probably no
	No	A3. Recycled Content Base Material	0	1	Not noted on drawings
	Yes	A4. Heat Island Effect Reduction (Roof-Ret)	1	1	1.5. Covered parking and permeable paving in at least 50% of site
	Yes	A5. Construction Environmental Quality Management Plan Including Flush-Out	1	1	Arch needs to add note into drawings
	Yes	A6. Stormwater Control: Prescription Path			
	Yes	A6.1 Permeable Paving Material	1	1	1.5. At least 25% of hardscape is permeable
B. FOUNDATION	No	A6.2 Retention and/or Retention Features	0	1	No retention or other Retention Features are noted on site
	No	A6.3 Non-Leaching Roofing Materials	0	1	SPDM roofing, but probable not from recycled sources
	Yes	A6.4 Smart Stormwater Street Design	1	1	Water flows through landscaped areas before reaching the street
	Yes	A7. Stormwater Control: Performance Path	0	3	Soil testing performed, but not focused on stormwater control
	No	B1. Fly Ash and/or Slag in Concrete	0	1	Need at least 30% in all structural concrete. No by structural engineer
	No	B2. Radon-Resistant Construction	0	2	
	No	B3. Foundation Drainage System	0	2	No by structural engineer
	No	B4. Basement Radon Gas Mitigation	0	1	No on drawings on this project
	No	B5. Structural Pest Control	0	1	
	No	B6.1 Termites Shields and Separated Exterior Wood-to-Concrete Connections	0	1	None in drawings. No by structural engineer
C. LANDSCAPE	No	B6.2 Plant Trees, Shrubs, or Stems at Least 24 Inches from the Foundation	0	1	Plants specified too close to perimeter walls
	10-20%	Enter the landscape area percentage			Site 10,281 sq. ft. of lawn. 230 sq. ft. of lawn
	C1. Plants Grouped by Water Needs (Hydrozoning)	1	1	Hydrozoning noted on site	
	No	C2. Three Inches or More in Planting Beds	0	1	None specified in Landscaping drawings
	Yes	C3.1 New Irrigation System Listed by CalIPC	1	1	1
	Yes	C3.2 Plants Chosen and Located to Drive in Natural Site	1	1	Yes, note in L.A. plant list
	Yes	C3.3 Grouping Plants, California Native Plants, Mediterranean Species, or Other Appropriate Species	1	1	
	Yes	C4. Minimal Turf in Landscaping	0	2	No turf
	Yes	C4.1 No Turf or Turf Exceeding 10% and No Outdoor Spillways Installed in Areas Less Than Eight Feet Wide	0	2	
	No	C4.2 Turf as a Small Percentage of Landscaped Area	0	2	
D. PLUMBING	No	C5. Trees to Moderate Building Temperature	0	1	1
	No	C6. High-Efficiency Refrigeration System	0	2	
	No	C7. One Inch of Compact in the Top Two to Twelve Inches of Soil	0	2	
	No	C8. Rainwater Harvesting System	0	3	
	No	C9. Recycled Wastewater Irrigation System	0	2	
	No	C10. On-Site or Off-Site Water for Landscape Irrigation	0	2	
	No	C11. Landscape Water Budget	0	2	
	No	C12. Environmentally Preferable Materials for Site	0	1	1
	No	C13. Environmentally Preferable Materials for 75% of Non-Plant Landscaping (Drainage and Fencing)	0	1	1
	TBD	C14. Reduced Light Pollution	0	1	1
E. EXTERIOR	Yes	C15. Large Storm Drainage	1	1	1
	Yes	C16. Third-Party Landscape Program Certification	1	1	1
	No	D1. Exterior Finish	0	1	1
	No	D2. Exterior Finish	0	1	1
	No	D3. Exterior Finish	0	1	1
	No	D4. Exterior Finish	0	1	1
	No	D5. Exterior Finish	0	1	1
	No	D6. Exterior Finish	0	1	1
	No	D7. Exterior Finish	0	1	1
	No	D8. Exterior Finish	0	1	1

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GreenPoint Rated New Home Multifamily Checklist Version 7.0

## NEW HOME RATING SYSTEM, VERSION 7.0

### MULTIFAMILY CHECKLIST

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June 27, 2017  
Multifamily Development, 5817 Shattuck Ave, Oakland, CA 94609  
Prepared by: Architecture Rodriguez, GreenPoint Rated No. 160508  
[www.architecturerod.com](http://www.architecturerod.com)

Points  
This Project: **94**

Certification Level: **Silver**

Minimum Points: **50**

Targeted Points: **50**

Points Required: **94**

Measures		Assessment	Points	Comments	Notes
Category	Measure	Assessment	Points	Comments	Notes
A. SITE	Yes	CALGreen Res (REQUIRED)	4	1	1
	No	A1. Construction Footprint	0		Previously developed. New design uses 67% of lot
	TBD	A2. Job Site Construction Waste Diversion		2	Mobile, to be confirmed after construction
	Yes	A2.2 60% C&D Waste Diversion (Excluding Alternative Daily Cover)	2	2	Arch needs to add note into drawings
	No	A2.3 Recycling Rates from Third-Party Verified Used-Waste Facility	0	1	Only if contractor uses Zanker Recycling. Probably no
	No	A3. Recycled Content Base Material	0	1	Not noted on drawings
	Yes	A4. Heat Island Effect Reduction (Roof-Ret)	1	1	1.5. Covered parking and permeable paving in at least 50% of site
	Yes	A5. Construction Environmental Quality Management Plan Including Flush-Out	1	1	Arch needs to add note into drawings
	Yes	A6. Stormwater Control: Prescription Path			
	Yes	A6.1 Permeable Paving Material	1	1	1.5. At least 25% of hardscape is permeable
B. FOUNDATION	No	A6.2 Retention and/or Retention Features	0	1	No retention or other Retention Features are noted on site
	No	A6.3 Non-Leaching Roofing Materials	0	1	SPDM roofing, but probable not from recycled sources
	Yes	A6.4 Smart Stormwater Street Design	1	1	Water flows through landscaped areas before reaching the street
	Yes	A7. Stormwater Control: Performance Path	0	3	Soil testing performed, but not focused on stormwater control
	No	B1. Fly Ash and/or Slag in Concrete	0	1	Need at least 30% in all structural concrete. No by structural engineer
	No	B2. Radon-Resistant Construction	0	2	
	No	B3. Foundation Drainage System	0	2	No by structural engineer
	No	B4. Basement Radon Gas Mitigation	0	1	No on drawings on this project
	No	B5. Structural Pest Control	0	1	
	No	B6.1 Termites Shields and Separated Exterior Wood-to-Concrete Connections	0	1	None in drawings. No by structural engineer
C. LANDSCAPE	No	B6.2 Plant Trees, Shrubs, or Stems at Least 24 Inches from the Foundation	0	1	Plants specified too close to perimeter walls
	10-20%	Enter the landscape area percentage			Site 10,281 sq. ft. of lawn. 230 sq. ft. of lawn
	C1. Plants Grouped by Water Needs (Hydrozoning)	1	1	Hydrozoning noted on site	
	No	C2. Three Inches or More in Planting Beds	0	1	None specified in Landscaping drawings
	Yes	C3.1 New Irrigation System Listed by CalIPC	1	1	1
	Yes	C3.2 Plants Chosen and Located to Drive in Natural Site	1	1	Yes, note in L.A. plant list
	Yes	C3.3 Grouping Plants, California Native Plants, Mediterranean Species, or Other Appropriate Species	1	1	
	Yes	C4. Minimal Turf in Landscaping	0	2	No turf
	Yes	C4.1 No Turf or Turf Exceeding 10% and No Outdoor Spillways Installed in Areas Less Than Eight Feet Wide	0	2	
	No	C4.2 Turf as a Small Percentage of Landscaped Area	0	2	
D. PLUMBING	No	C5. Trees to Moderate Building Temperature	0	1	1
	No	C6. High-Efficiency Refrigeration System	0	2	
	No	C7. One Inch of Compact in the Top Two to Twelve Inches of Soil	0	2	
	No	C8. Rainwater Harvesting System	0	3	
	No	C9. Recycled Wastewater Irrigation System	0	2	
	No	C10. On-Site or Off-Site Water for Landscape Irrigation	0	2	
	No	C11. Landscape Water Budget	0	2	
	No	C12. Environmentally Preferable Materials for Site	0	1	1
	No	C13. Environmentally Preferable Materials for 75% of Non-Plant Landscaping (Drainage and Fencing)	0	1	1
	TBD	C14. Reduced Light Pollution	0	1	1
E. EXTERIOR	Yes	C15. Large Storm Drainage	1	1	1
	Yes	C16. Third-Party Landscape Program Certification	1	1	1
	No	D1. Exterior Finish	0	1	1
	No	D2. Exterior Finish	0	1	1
	No	D3. Exterior Finish	0	1	1
	No	D4. Exterior Finish	0	1	1
	No	D5. Exterior Finish	0	1	1
	No	D6. Exterior Finish	0	1	1
	No	D7. Exterior Finish	0	1	1
	No	D8. Exterior Finish	0	1	1

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GreenPoint Rated New Home Multifamily Checklist Version 7.0

## NEW HOME RATING SYSTEM, VERSION 7.0

### MULTIFAMILY CHECKLIST

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Prepared by: Architecture Rodriguez, GreenPoint Rated No. 160508  
[www.architecturerod.com](http://www.architecturerod.com)

Points  
This Project: **94**

Certification Level: **Silver**

Minimum Points: **50**

Targeted Points: **50**

Points Required: **94**

Measures		Assessment	Points	Comments	Notes
Category	Measure	Assessment	Points	Comments	Notes
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	No	A2.3 Recycling Rates from Third-Party Verified Used-Waste Facility	0	1	Only if contractor uses Zanker Recycling. Probably no
	No	A3. Recycled Content Base Material	0	1	Not noted on drawings
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	No	A6.3 Non-Leaching Roofing Materials	0	1	SPDM roofing, but probable not from recycled sources
	Yes	A6.4 Smart Stormwater Street Design	1	1	Water flows through landscaped areas before reaching the street
	Yes	A7. Stormwater Control: Performance Path	0	3	Soil testing performed, but not focused on stormwater control
	No	B1. Fly Ash and/or Slag in Concrete	0	1	Need at least 30% in all structural concrete. No by structural engineer
	No	B2. Radon-Resistant Construction	0	2	
	No	B3. Foundation Drainage System	0	2	No by structural engineer
	No	B4. Basement Radon Gas Mitigation	0	1	No on drawings on this project
	No	B5. Structural Pest Control	0	1	
	No	B6.1 Termites Shields and Separated Exterior Wood-to-Concrete Connections	0	1	None in drawings. No by structural engineer
C. LANDSCAPE	No	B6.2 Plant Trees, Shrubs, or Stems at Least 24 Inches from the Foundation	0	1	Plants specified too close to perimeter walls
	10-20%	Enter the landscape area percentage			Site 10,281 sq. ft. of lawn. 230 sq. ft. of lawn
	C1. Plants Grouped by Water Needs (Hydrozoning)	1	1	Hydrozoning noted on site	
	No	C2. Three Inches or More in Planting Beds	0	1	None specified in Landscaping drawings
	Yes	C3.1 New Irrigation System Listed by CalIPC	1	1	1
	Yes	C3.2 Plants Chosen and Located to Drive in Natural Site	1	1	Yes, note in L.A. plant list
	Yes	C3.3 Grouping Plants, California Native Plants, Mediterranean Species, or Other Appropriate Species	1	1	
	Yes	C4. Minimal Turf in Landscaping	0	2	No turf
	Yes	C4.1 No Turf or Turf Exceeding 10% and No Outdoor Spillways Installed in Areas Less Than Eight Feet Wide	0	2	
	No	C4.2 Turf as a Small Percentage of Landscaped Area	0	2	
D. PLUMBING	No	C5. Trees to Moderate Building Temperature	0	1	1
	No	C6. High-Efficiency Refrigeration System	0	2	
	No	C7. One Inch of Compact in the Top Two to Twelve Inches of Soil	0	2	
	No	C8. Rainwater Harvesting System	0	3	
	No	C9. Recycled Wastewater Irrigation System	0	2	
	No	C10. On-Site or Off-Site Water for Landscape Irrigation	0	2	
	No	C11. Landscape Water Budget	0	2	
	No	C12. Environmentally Preferable Materials for Site	0	1	1
	No	C13. Environmentally Preferable Materials for 75% of Non-Plant Landscaping (Drainage and Fencing)	0	1	1
	TBD	C14. Reduced Light Pollution	0	1	1
E. EXTERIOR	Yes	C15. Large Storm Drainage	1	1	1
	Yes	C16. Third-Party Landscape Program Certification	1	1	1
	No	D1. Exterior Finish	0	1	1
	No	D2. Exterior Finish	0	1	1
	No	D3. Exterior Finish	0	1	1
	No	D4. Exterior Finish	0	1	1
	No	D5. Exterior Finish	0	1	1
	No	D6. Exterior Finish	0	1	1
	No	D7. Exterior Finish	0	1	1
	No	D8. Exterior Finish	0	1	1

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GreenPoint Rated New Home Multifamily Checklist Version 7.0

### GENERAL NOTES:

- CONSTRUCTION DEBRIS, RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. CONSIDER ZANKER RECYCLING (WWW.ZANKERRECYCLING.COM) FOR 1 ADDITIONAL GPR POINT. ZANKER IS THE ONLY FACILITY APPROVED BY THE RECYCLING CERTIFICATION INSTITUTE IN THE AREA.
- ROOFS AND ASSEMBLIES MUST HAVE: CLASS A FIRE RATING, PER ASTM E-108 OR UL-790; AND A MINIMUM OF A 10-YEAR MATERIAL WARRANTY AND A 3-YEAR WORKMANSHIP/INSTALLATION WARRANTY.
- MECHANICAL VENTILATION MUST MEET THE ASHRAE STANDARD 62.2-2010 MINIMUM VENTILATION REQUIREMENTS. HERS FIELD VERIFICATION IS REQUIRED FOR MINIMUM VENTILATION AIR FLOW AND CENTRAL AIR HANDLER FAN WATT DRAW. THIS MEASURE INCLUDES WHOLE HOUSE MECHANICAL VENTILATION AS WELL AS VENTILATION FOR BATHROOM AND KITCHENS. FOR KITCHEN VENTILATION THE FAN MUST BE SET UP FOR EXHAUST TO THE EXTERIOR (RECIRCULATING IS NOT PERMITTED); IF THE FAN IS NOT HVF CERTIFIED, THEN THE MINIMUM AIR FLOW MUST BE 300 CFM.
- CONTRACTOR TO PREPARE AND IMPLEMENT A CONSTRUCTION ENVIRONMENTAL QUALITY MANAGEMENT PLAN, INCLUDING AT A MINIMUM: PROTECTION OF MATERIALS FROM WATER DAMAGE; COVER/SEAL VENTILATION DUCTS DURING CONSTRUCTION; CLEAN DUCTS AND BOOTS IF EXPOSED; INSTANT WET AND ODOROUS MATERIALS (SUCH AS CARPETS AND FABRICS); OPEN WINDOWS AND DOORS AT LEAST 80 HOURS BEFORE OCCUPANCY.
- DO NOT INCLUDE COPPER, LEAD, OR LEAD SOLDER IN FLASHING, GUTTERS, OR DOWNSPOUTS.
- PRE-PLUMBING FOR SOLAR WATER HEATERS MUST INCLUDE ALL OF THE FOLLOWING PRACTICES:
  - INSTALL ONE OF THE FOLLOWING: A) TWO INSULATED PLUMBING PIPES (AT LEAST 3/4" COPPER OR STAINLESS) FROM THE ROOF/ATTIC AREA TO THE BUILDING'S MAIN WATER HEATER AREA, OR B) AN ACCESSIBLE STRAIGHT CHASE, CONDUIT, OR SLEEVE WITH AN INTERNAL DIAMETER OF AT LEAST THREE INCHES (THAT IS, LARGE ENOUGH FOR A ONE-INCH PIPE PLUS ONE INCH OF INSULATION). THE CHASE SHOULD BE CAPPED OFF AND AIRTIGHT.
  - INSTALL ELECTRICAL CONDUIT (MINIMUM ONE INCH) FROM THE ROOF/ATTIC AREA TO A JUNCTION BOX NEXT TO THE WATER HEATER IN PREPARATION FOR PUMP POWER AND CONTROLLER WIRING.
  - ROOF STRUCTURE CAPABLE TO HANDLE AN ADDITIONAL LOAD OF FIVE POUNDS PER SQUARE FOOT BEYOND THAT OF THE ANTICIPATED LOAD FOR THE ROOFING MATERIAL.
  - ENSURE



BASIS OF ELEVATION

CITY OF OAKLAND BENCHMARK #2821  
FIELD BOOK: BL 47 PAGE 19, ELEVATION 104.317  
SQUARE CUT IN CONCRETE CURB, MID RETURN SOUTHWEST  
CORNER OF AILEEN AND SHATTUCK STREET.

BASIS OF BEARING

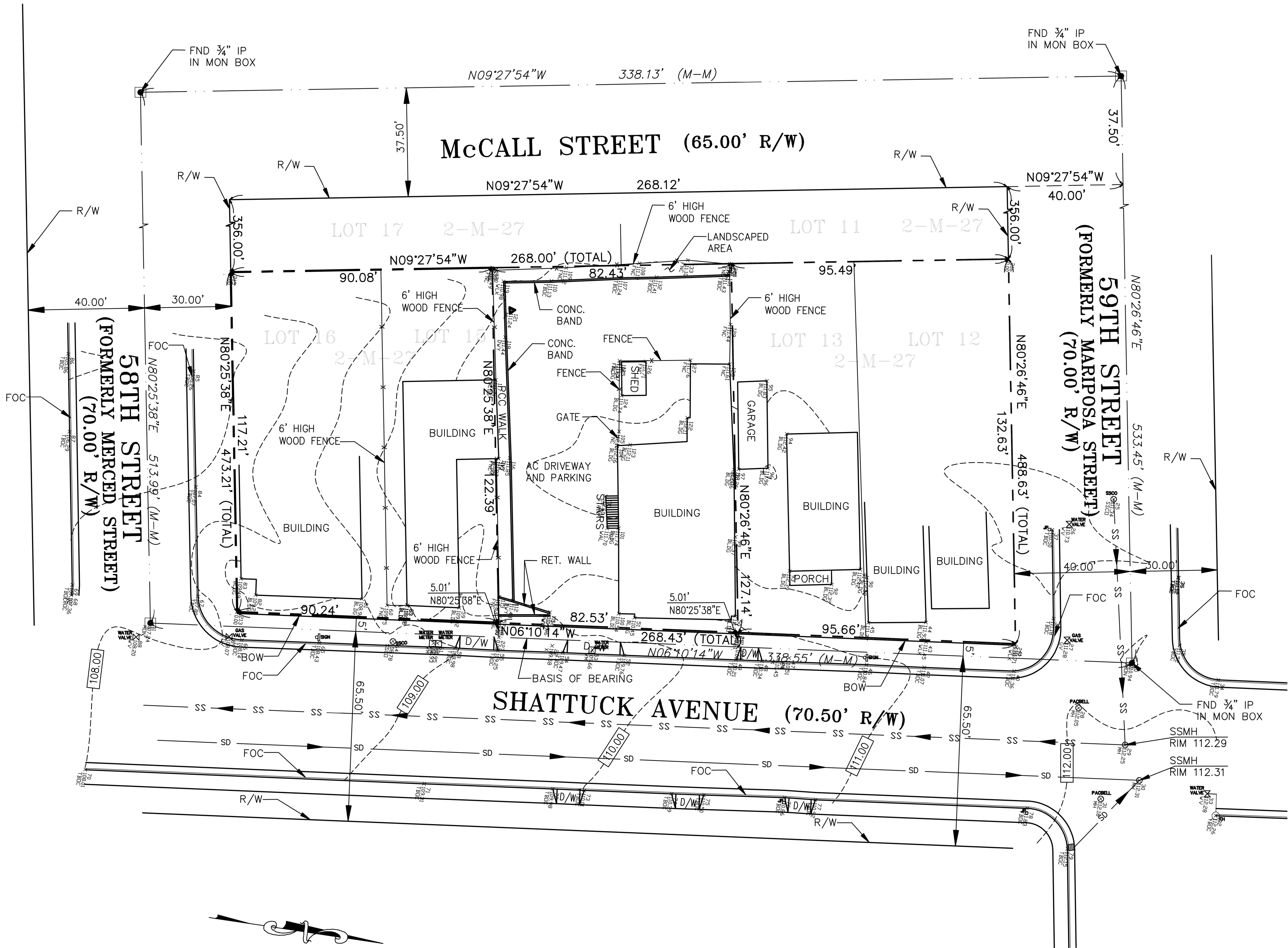
MONUMENT LINE OF SHATTUCK AVENUE N06°10'14"W AS SHOWN  
UPON PARCEL MAP NO. 10132 FILED FOR RECORD IN BOOK 326  
AT PAGE 35, IS USED AS BASIS OF BEARING FOR THIS MAP.

LEGAL DESCRIPTION

LOT 14 AND THOSE PORTIONS OF LOTS 13 AND 15, BLOCK B, "REDIVISION  
MAP OF THAT PORTION OF THE BRUMAGIM TRACT, LYING WEST OF SHATTUCK  
AVENUE", FILED APRIL 2, 1877, MAP BOOK 2, PAGE 27, ALAMEDA COUNTY  
RECORDS.  
NET AREA: 10281 SF  
0.236 AC±

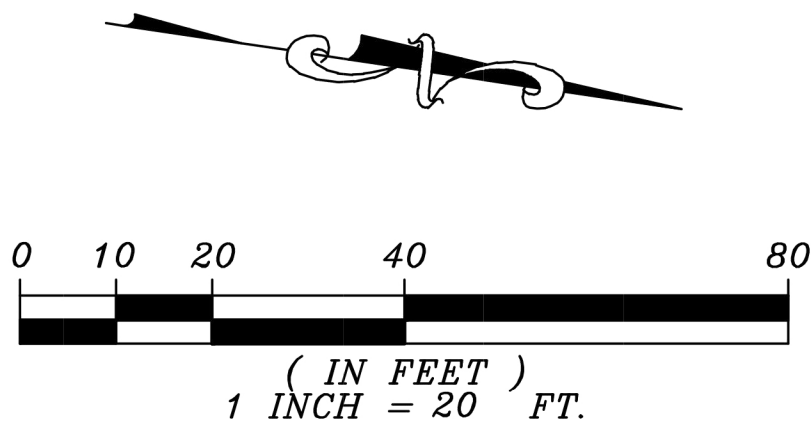
ABBREVIATIONS

A.B.	AGGREGATE BASE	MIN.	MINIMUM
A.C.	ASPHALT CONCRETE	M.V.C.	MIDDLE OF VERTICAL CURVE
B.C.	BEGINNING OF CURVE(HORIZONTAL)	M.W.	MONITORING WELL
BLDG	BUILDING	NO.	NUMBER
BOW/BWLK	BACK OF WALK	N.T.S.	NOT TO SCALE
B.V.C.	BEGINNING OF VERTICAL CURVE	P.C.C.	PORTLAND CEMENT CONCRETE
C.B.	CATCH BASIN	P.C.R.	POINT OF CURB RETURN
CLF	CHAIN LINK FENCE	P.P.B.	PEDESTRIAN PUSH BUTTON
C.O.	CLEAN OUT	PP&T	PLASTIC PLUG & TACK
CONT.	CONTINUOUS	P.V.C.	POLYVINYL CHLORIDE
D.I.	DRAINAGE INLET	P.V.I.	POINT OF VERTICAL INTERSECTION
D/W	DRIVEWAY	R	RADIUS
E.C.	END OF CURVE(HORIZONTAL)	R.C.P.	REINFORCED CONCRETE PIPE
ELEV.	ELEVATION	R/W	RIGHT-OF-WAY
EXIST.	EXISTING	S	SLOPE
E.V.C.	END OF VERTICAL CURVE	S.D.	STORM DRAIN
F.F.	FINISHED FLOOR ELEVATION	S.D.M.N	STORM DRAIN MANHOLE
F.G.	FINISHED GRADE	S.F.	SQUARE FEET
F.H.	FIRE HYDRANT	SHT.	SHEET
F.C.	FACE OF CURB	S.S.M.H.	SANITARY SEWER MANHOLE
F.L.	FLOW LINE	S.S.	SANITARY SEWER
FOC	FACE OF CURB	S/W	SIDEWALK
F.S.	FINISHED SURFACE	T.C.	TOP OF CURB
G.B.	GRADE BREAK	TFOC	TOP FACE OF CURB
G.V.	GATE VALVE	TYP.	TYPICAL
H.P.	HIGH POINT	U.O.N.	UNLESS OTHERWISE NOTED
I.D.	INSIDE DIAMETER	V.C.	VERTICAL CURVE
INV.	INVERT	V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
J.P.	JOINT POLE	W	WATER
L.F.	LINEAL FEET	W.M.	WATER METER
L.P.	LOW POINT	W.V.	WATER VALVE
L&T	LEAD & TACK		
MAX.	MAXIMUM		
M.H.	MANHOLE		



LEGEND

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER		
STORM SEWER		
CENTER LINE		
PROPERTY LINE		
MONUMENT LINE		
MATCH LINE		
GAS LINE		
WATER LINE		
JOINT TRENCH		
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		



ADVANCED DEVELOPMENT

2933 BENJAMIN COURT  
SAN JOSE, CALIFORNIA 95124  
(408) 376-0670  
JACOB SAIDIAN - CIVIL ENGINEER

TOPOGRAPHICAL & RECORD BOUNDARY SURVEY  
FOR: APN 015-137-011  
5817 SHATTUCK AVENUE  
OAKLAND, CALIFORNIA

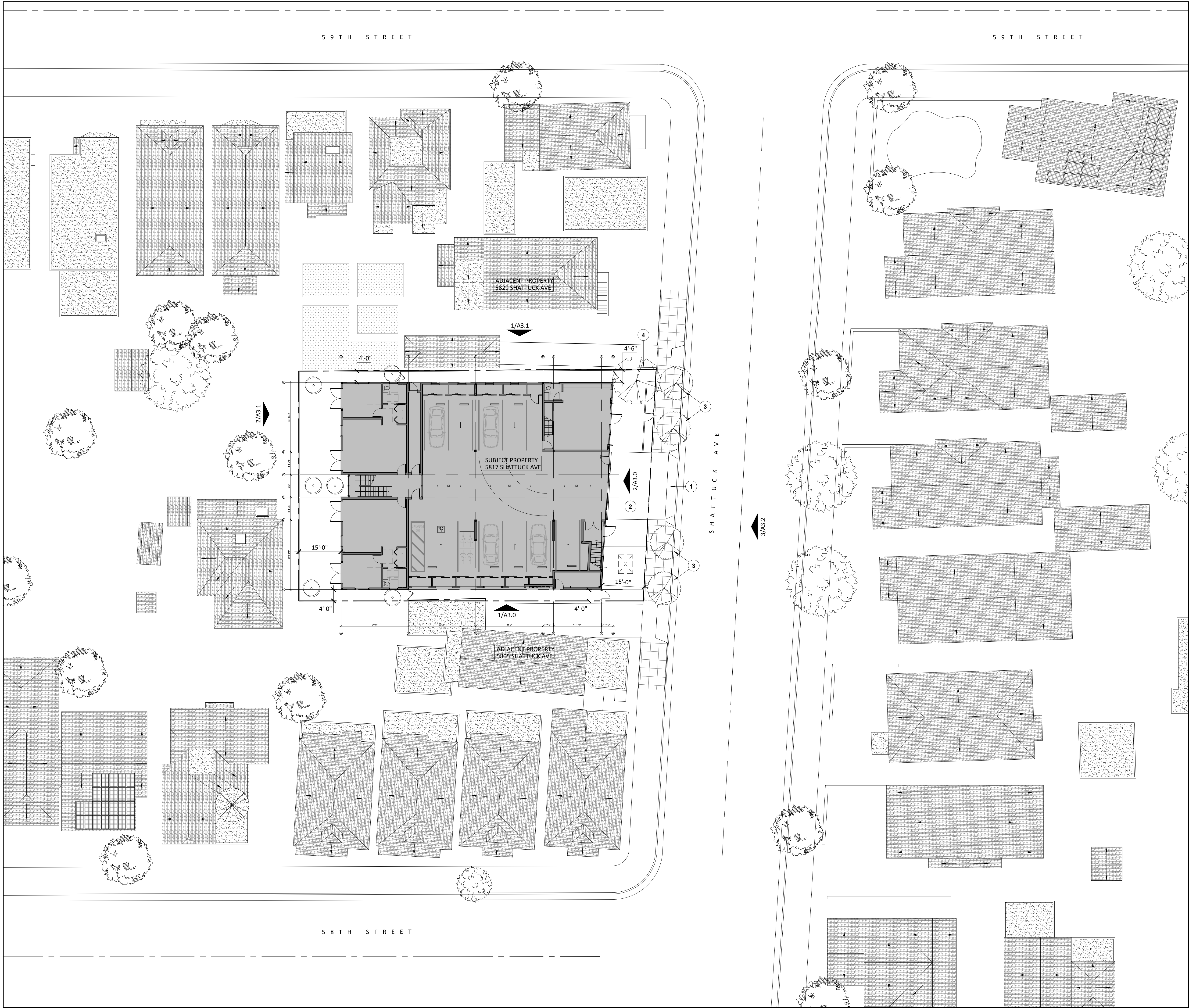
PROFESSIONAL ENGINEER  
JACOB SAIDIAN  
No. 33503  
Exp. 06/30/16  
STATE OF CALIFORNIA

APPROVED BY:  
JACOB SAIDIAN  
[Signature]  
R.C.E. NO. 33509  
EXPIRES 06/30/16

Checked: JS  
Drawn: AC  
Designed: JS  
Surveyed: JS  
Scale: 1"=20'  
Date: 04-17-16

Sheet No.  
1  
of 1  
Job No. 341





- KEY NOTES:
- 1 (N) CURB
  - 2 (N) DRIVEWAY
  - 3 (N) TREE ON SIDEWALK
  - 4 (N) TREE ON PROPERTY FOR PRIVACY

GENERAL NOTES:

-SEE A3.0 STREET CONTEXT ELEVATIONS TO UNDERSTAND NEIGHBORHOOD FABRIC

LARSON  
SHORES  
ARCHITECTURE  
AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

OWNER:  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:		
#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

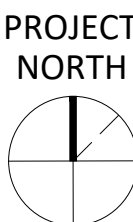
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SHEET TITLE:

PROPOSED  
SITE PLAN

SHEET NUMBER:

A1.1



1 PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"





DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

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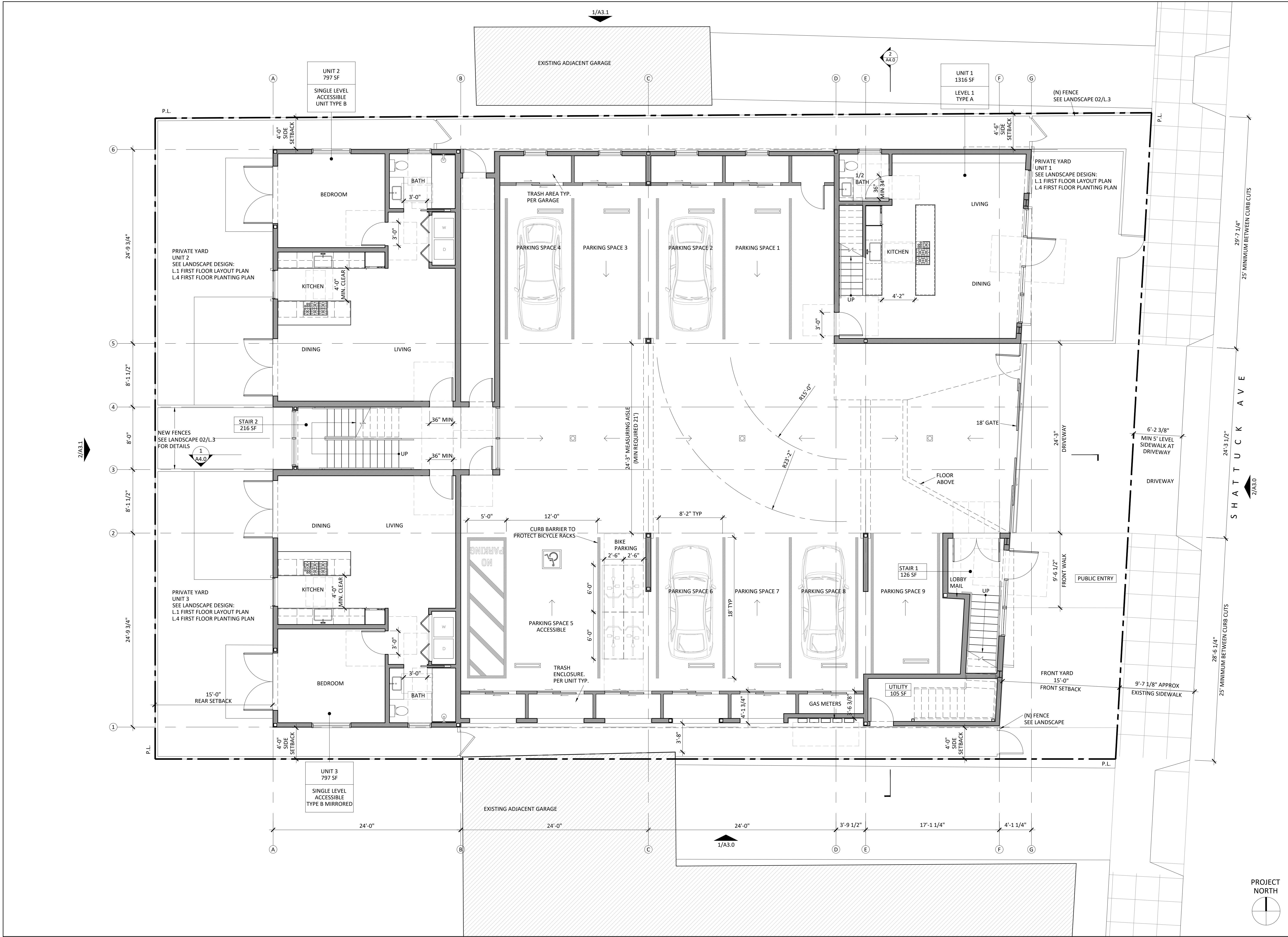
SHEET TITLE:

PROPOSED  
OVERALL FIRST  
FLOOR PLAN

SHEET NUMBER:

A2.1

DATE OF LATEST UPDATE: April 15, 2019



1 PROPOSED OVERALL FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"





DEVELOPMENT  
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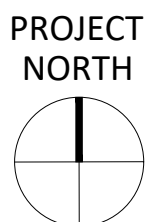
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SHEET TITLE:

PROPOSED  
OVERALL SECOND  
FLOOR PLAN

SHEET NUMBER:

A2.2







DEVELOPMENT  
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OAKLAND, CA 94609

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APRIL 2019

REVISIONS:		
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1	04/18/2019	PLAN MODIFICATIONS

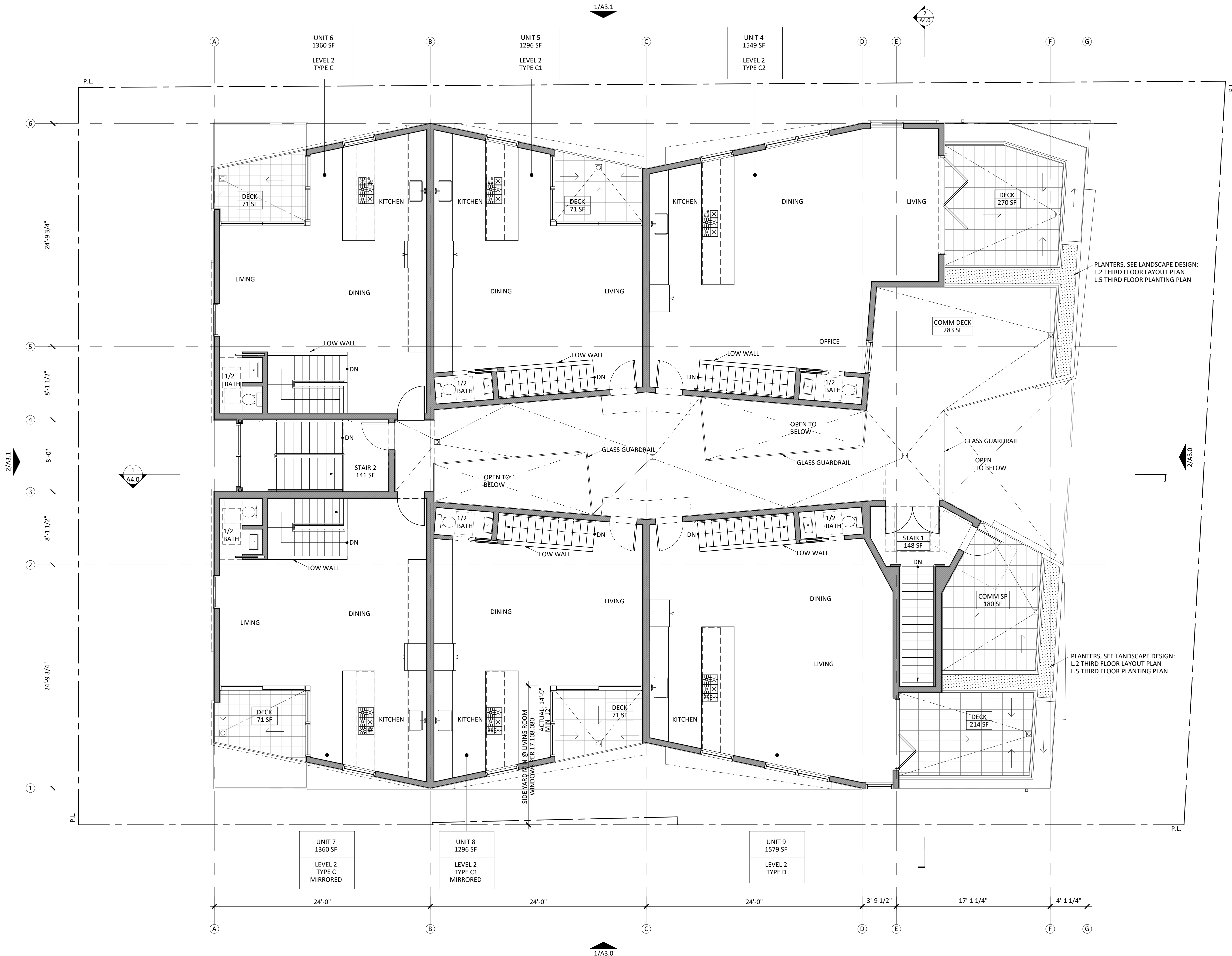
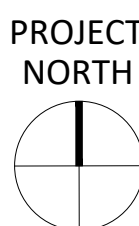
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SHEET TITLE:

PROPOSED  
OVERALL THIRD  
FLOOR PLAN

SHEET NUMBER:

A2.3







DEVELOPMENT  
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APRIL 2019

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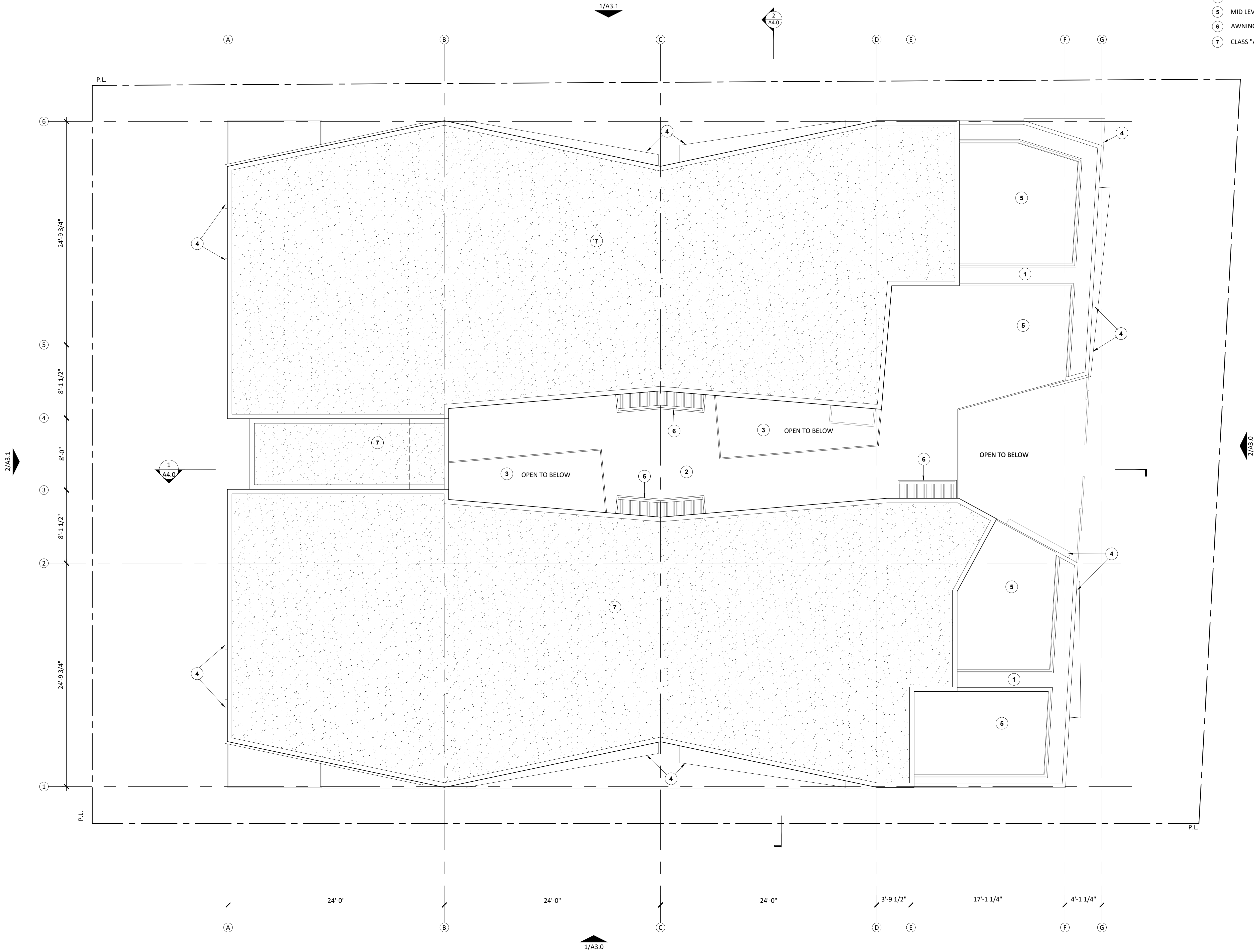
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SHEET TITLE:

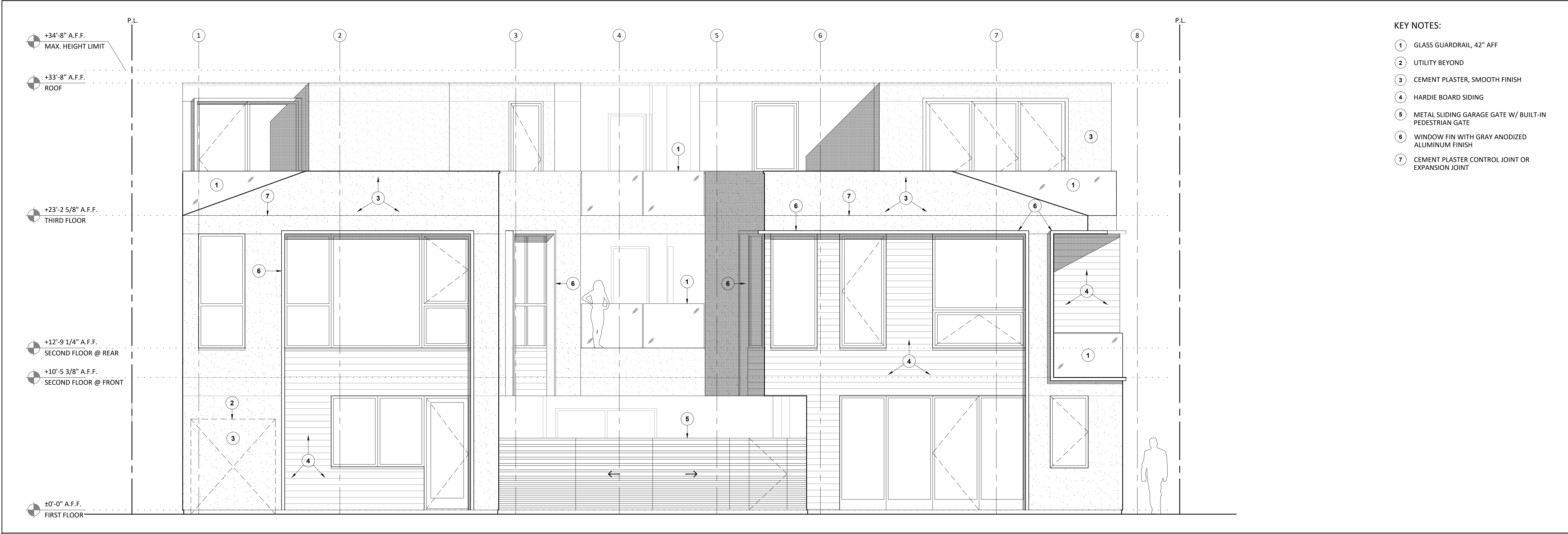
PROPOSED  
ROOF PLAN

SHEET NUMBER:  
A2.4

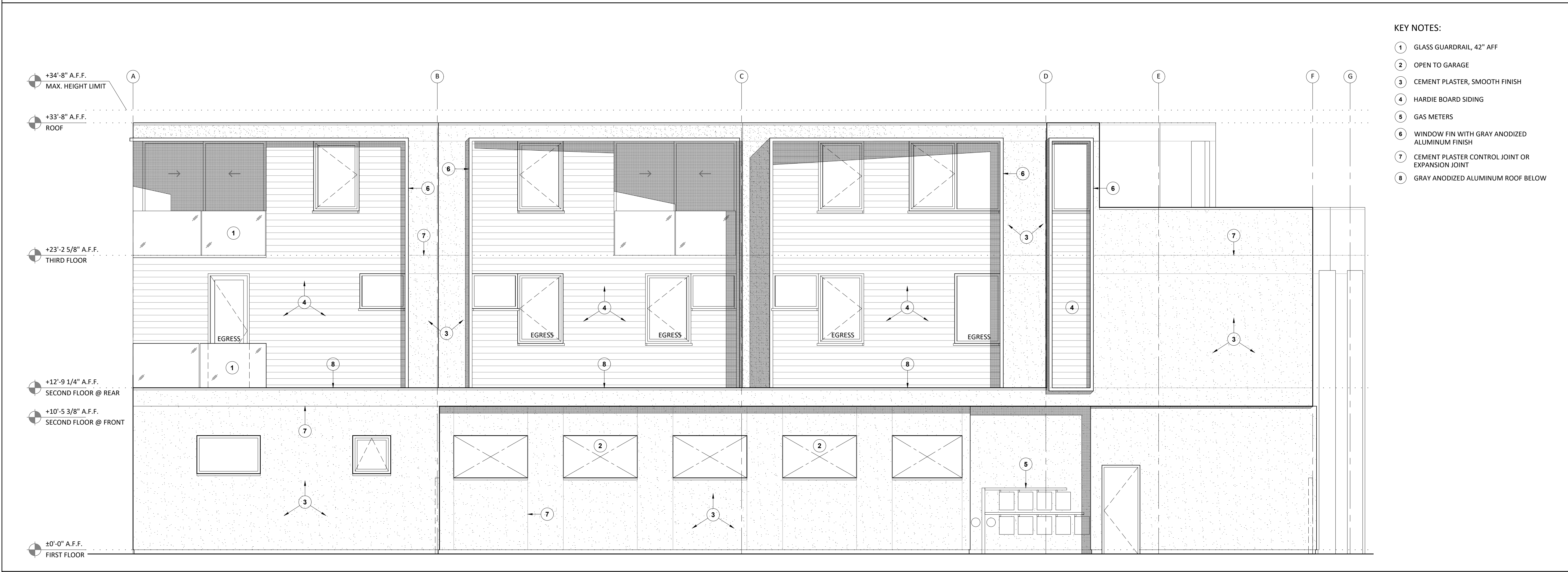
- KEYNOTES
- 1 ROOFTOP PLANTER, SEE LANDSCAPE L.2 & L.5
  - 2 MID LEVEL OPEN BREEZEWAY
  - 3 LIGHT WELL TO LOWER OPEN CORRIDOR
  - 4 WINDOW TRIM / FINS
  - 5 MID LEVEL TERRACE
  - 6 AWNING
  - 7 CLASS "A" ROOF







**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

# LARSON SHORES ARCHITECTURE AND INTERIORS

**ARCHITECT:**  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

**OWNER:**  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



## DEVELOPMENT 5817 SHATTUCK AVE OAKLAND, CA 94609

**SUBMITTAL:**  
PLANNING PERMIT SET  
APRIL 2019

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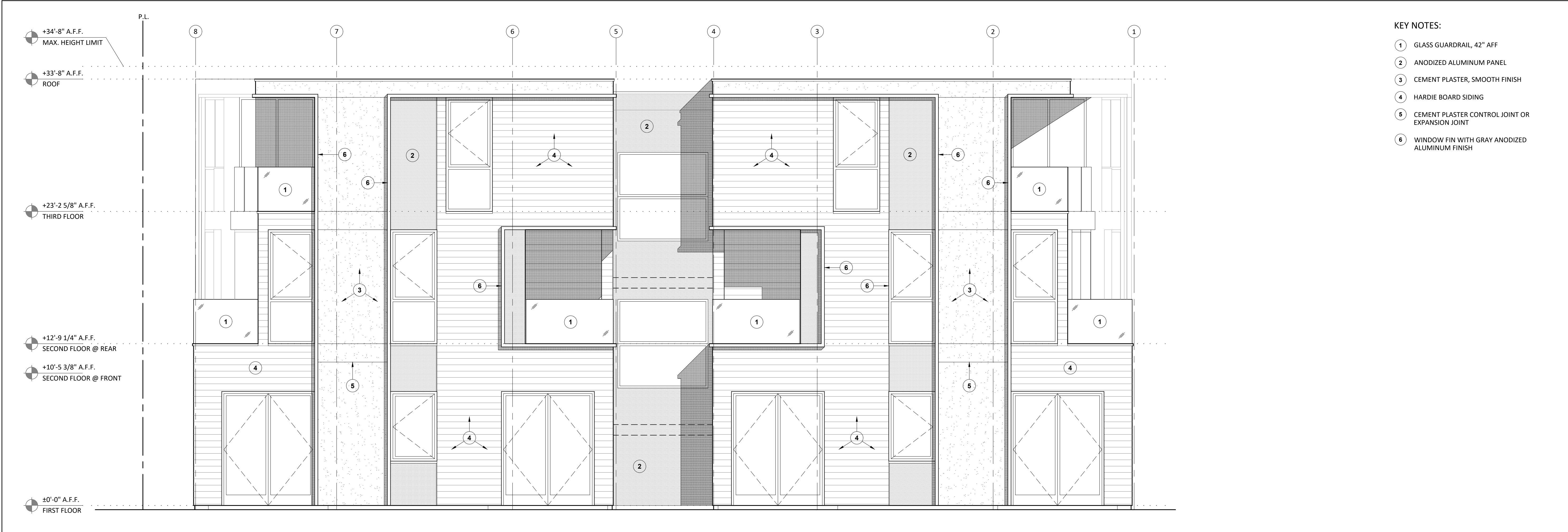
**SHEET TITLE:**

## PROPOSED EXTERIOR ELEVATIONS

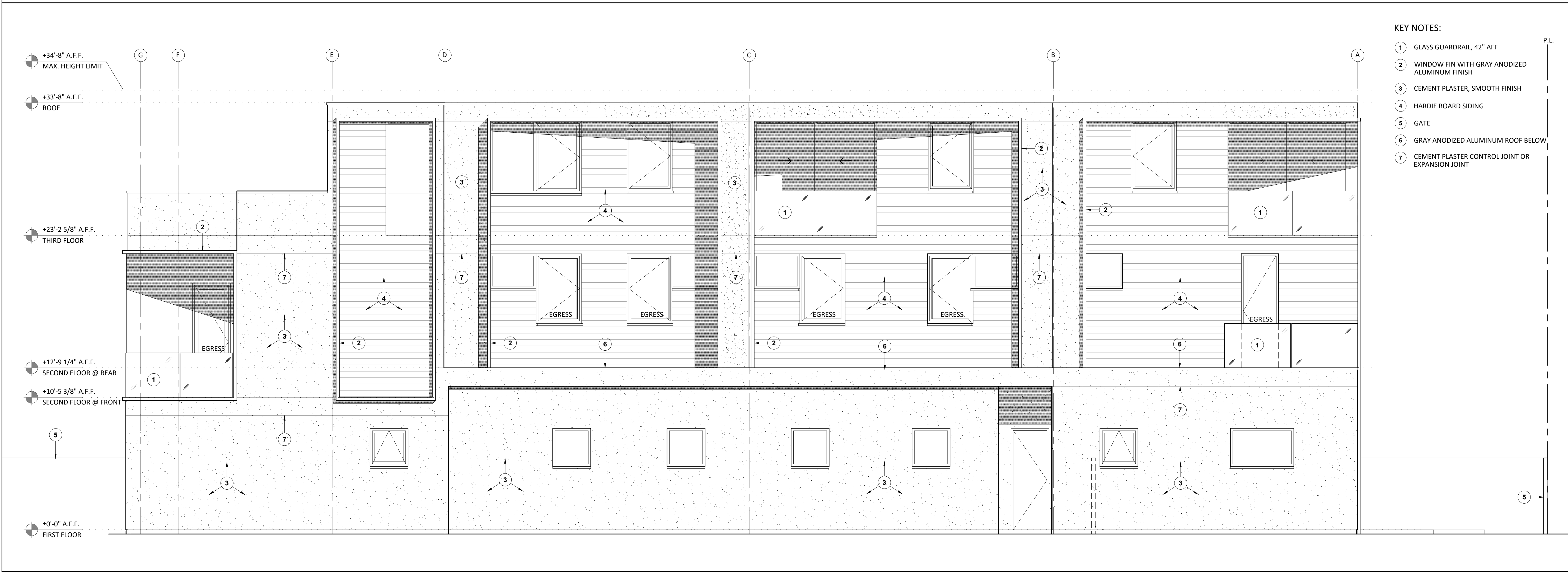
**SHEET NUMBER:**

# A3.0





**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

- KEY NOTES:
- 1 GLASS GUARDRAIL, 42" AFF
  - 2 ANODIZED ALUMINUM PANEL
  - 3 CEMENT PLASTER, SMOOTH FINISH
  - 4 HARDIE BOARD SIDING
  - 5 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
  - 6 WINDOW FIN WITH GRAY ANODIZED ALUMINUM FINISH

**ARCHITECT:**  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

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JIM@DILLERCAPITAL.COM



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

**SUBMITTAL:**  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:		
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**SHEET TITLE:**

**PROPOSED**  
**EXTERIOR**  
**ELEVATIONS**

**SHEET NUMBER:**

**A3.1**





DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITAL:  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:		
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SHEET TITLE:

STREET CONTEXT  
ELEVATIONS

SHEET NUMBER:

A3.2

DATE OF LATEST UPDATE: April 16, 2019

THE EDGES OF THE FAÇADE ARE FOLDED DOWN TO AT THE OUTSIDE CORNER TO MIMIC THE ADJACENT HIPS AND GABLE ROOF FORMS. THIS ARTICULATION IS INTENDED TO VISUALLY REDUCE THE OVERALL MASS OF THE FAÇADE AND REPEAT THE EXISTING NEIGHBORHOOD TYPOLOGY.



3 PROPOSED STREET CONTEXT ELEVATION- OPTION 3  
SCALE: 3/32" = 1'-0"

THE ANGLES CREATED ON THE FAÇADE AT MATERIAL CHANGE BETWEEN BOARD AND STUCCO SIDING ARE THE EXACT ANGLES CREATED BY THE ROOF LINES OF THE ADJACENT HOUSES.



2 PROPOSED STREET CONTEXT ELEVATION- OPTION 2  
SCALE: 3/32" = 1'-0"

THE ANGLES AT THE INSIDE EDGE OF THE FAÇADE ARE A NOD TO THE ADJACENT ROOF LINES. BY ANGling THE INSIDE CORNERS, THE FORM VISUALLY REDUCES THE OVERALL SCALE OF THE FAÇADE ELEMENTS AND EMPHASIZES THEIR SEPARATION CREATING A SCALE THAT IS SIMILAR TO THE ADJACENT BUILDINGS. THIS ARTICULATION ALSO REINFORCES THE BUILDING ENTRY POINT.



1 PROPOSED STREET CONTEXT ELEVATION- OPTION 1  
SCALE: 3/32" = 1'-0"





DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:		
#	DATE	DESCRIPTION
1	04/18/2019	PLAN MODIFICATIONS

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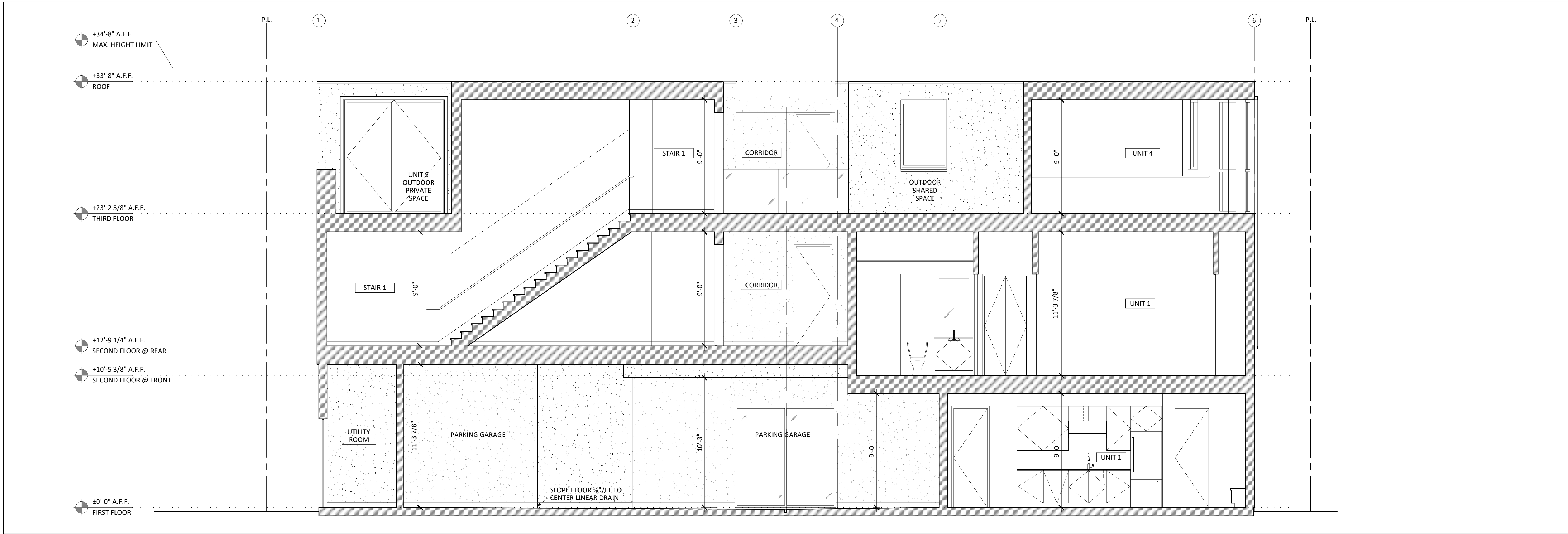
SHEET TITLE:

PROPOSED  
BUILDING  
SECTIONS

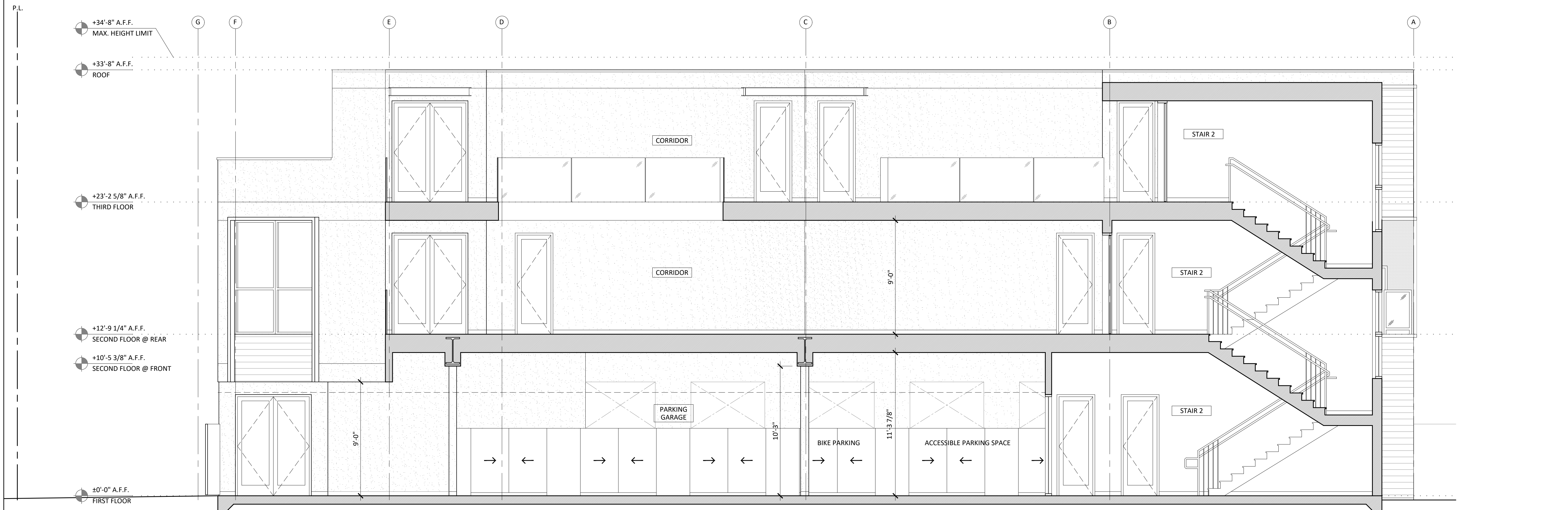
SHEET NUMBER:

A4.0

DATE OF LATEST UPDATE: April 9, 2019



2 NORTH-SOUTH BUILDING SECTION  
SCALE: 1/4" = 1'-0"



1 EAST-WEST BUILDING SECTION  
SCALE: 1/4" = 1'-0"





DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:

#	DATE	DESCRIPTION

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SHEET TITLE:

FIRST FLOOR  
LAYOUT PLAN

SHEET NUMBER:

L.1





DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:  
PLANNING PERMIT SET  
APRIL 2019

REVISIONS:

#	DATE	DESCRIPTION

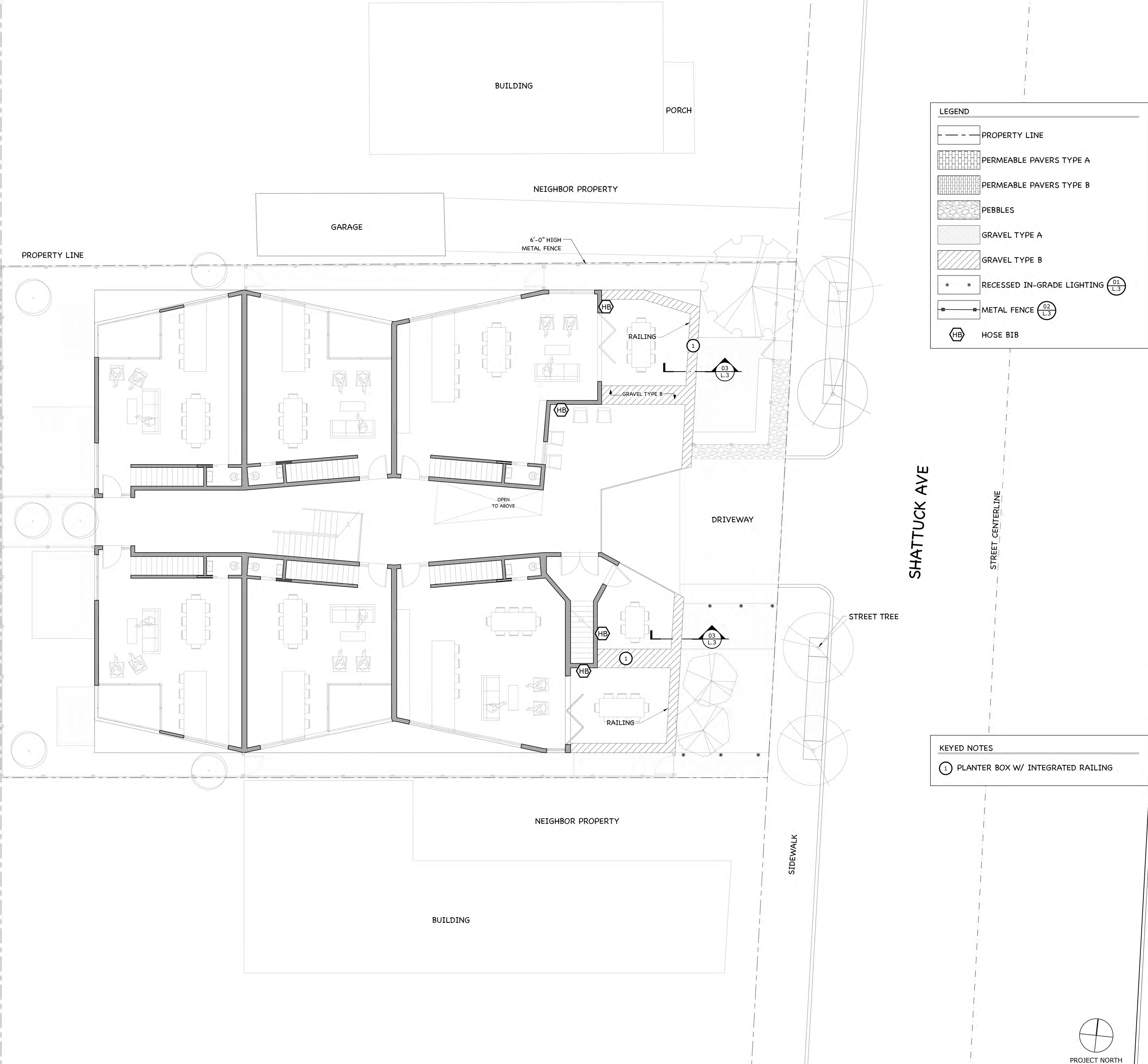
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SHEET TITLE:

THIRD FLOOR  
LAYOUT PLAN

SHEET NUMBER:

L.2





GENERAL CONDITIONS NOTES:

1.

WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES AND REGULATIONS.

2.

LOCATION OF PROPERTY LINES AND CORNERS ARE THE RESPONSIBILITY OF PROPERTY OWNER, CONTRACTOR, OR SURVEYOR.

3.

CONTACT LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION, PRIOR TO COMMENCING WORK. **CALL 811 TO KNOW UTILITY LINES LOCATION.**

4.

PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY.

LAYOUT NOTES:

1.

ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGE SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.

2.

FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDINGS AND RELATED WORK, REFER TO ARCHITECTURAL DRAWINGS.

3.

WHERE DIMENSIONS ARE CALLED AS QUAL (EQ), SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.

4.

MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINE IS AS INDICATED.

5.

INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.

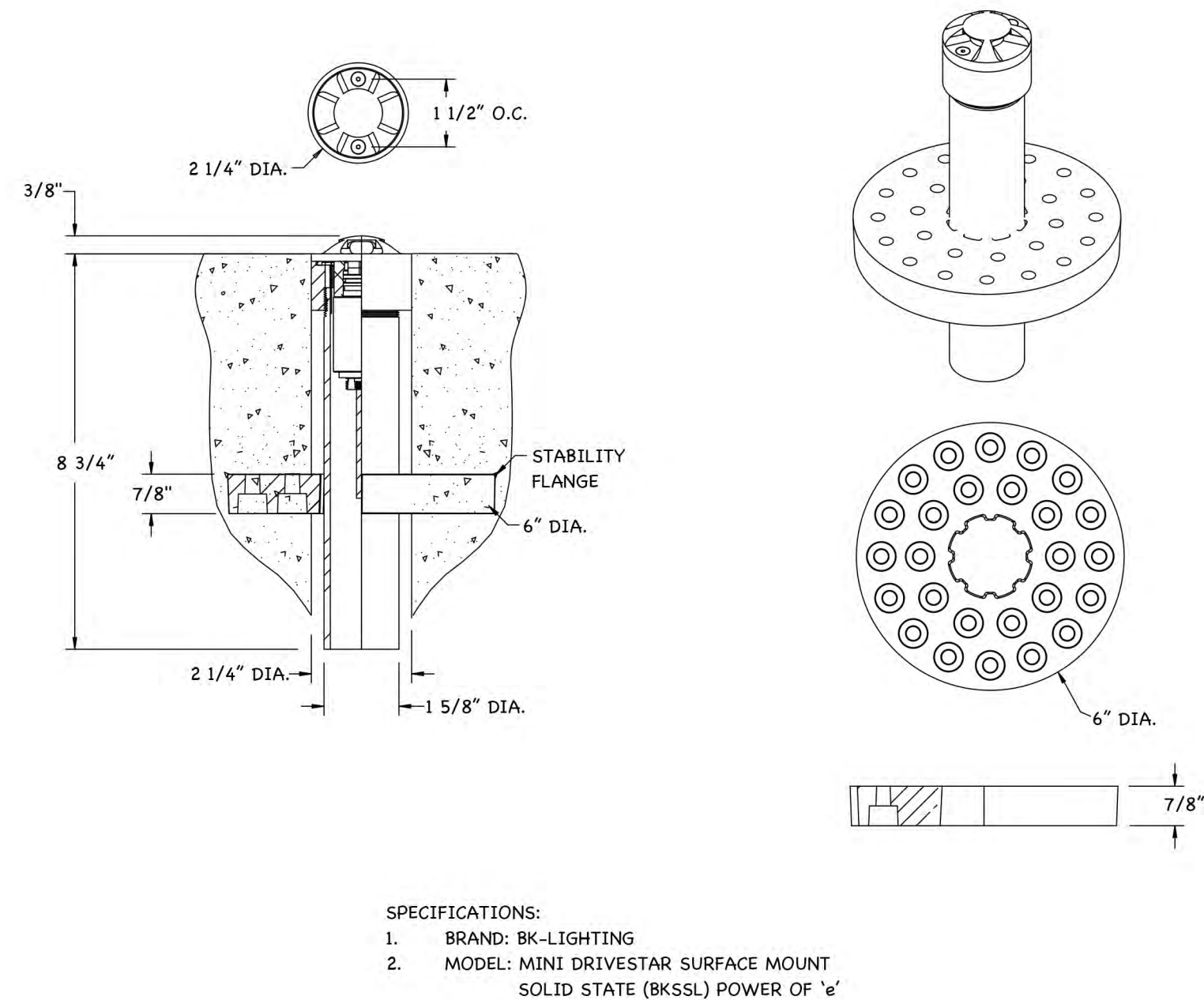
LIGHTING NOTES:

1.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT & DESIGN OF LOW-VOLTAGE WIRE NUTS.

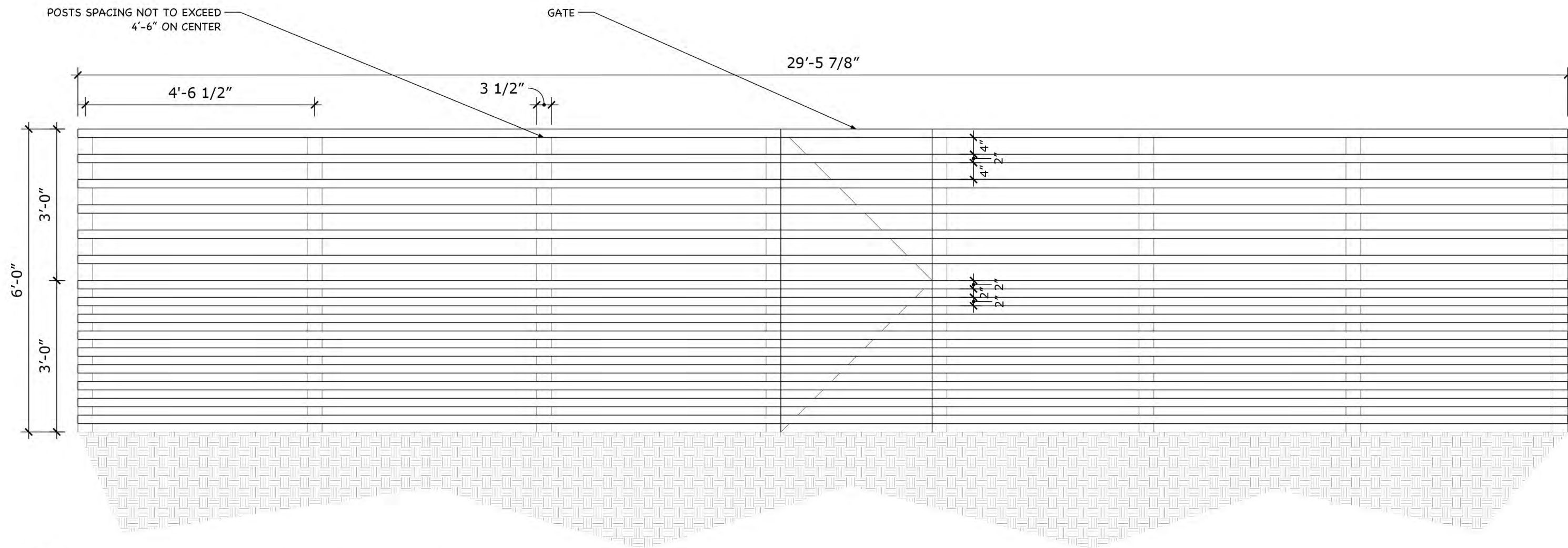
2.

IN-GRADE RECESSED LIGHTS TO BE INSTALL IN THE SAME SYSTEM AS EXTERIOR WALL LIGHT IN FRONT FAÇADE. CONTRACTOR TO PROVIDE SLEEVE. REFER TO ARCHITECTURAL DRAWINGS FOR ELECTRICAL PLAN.

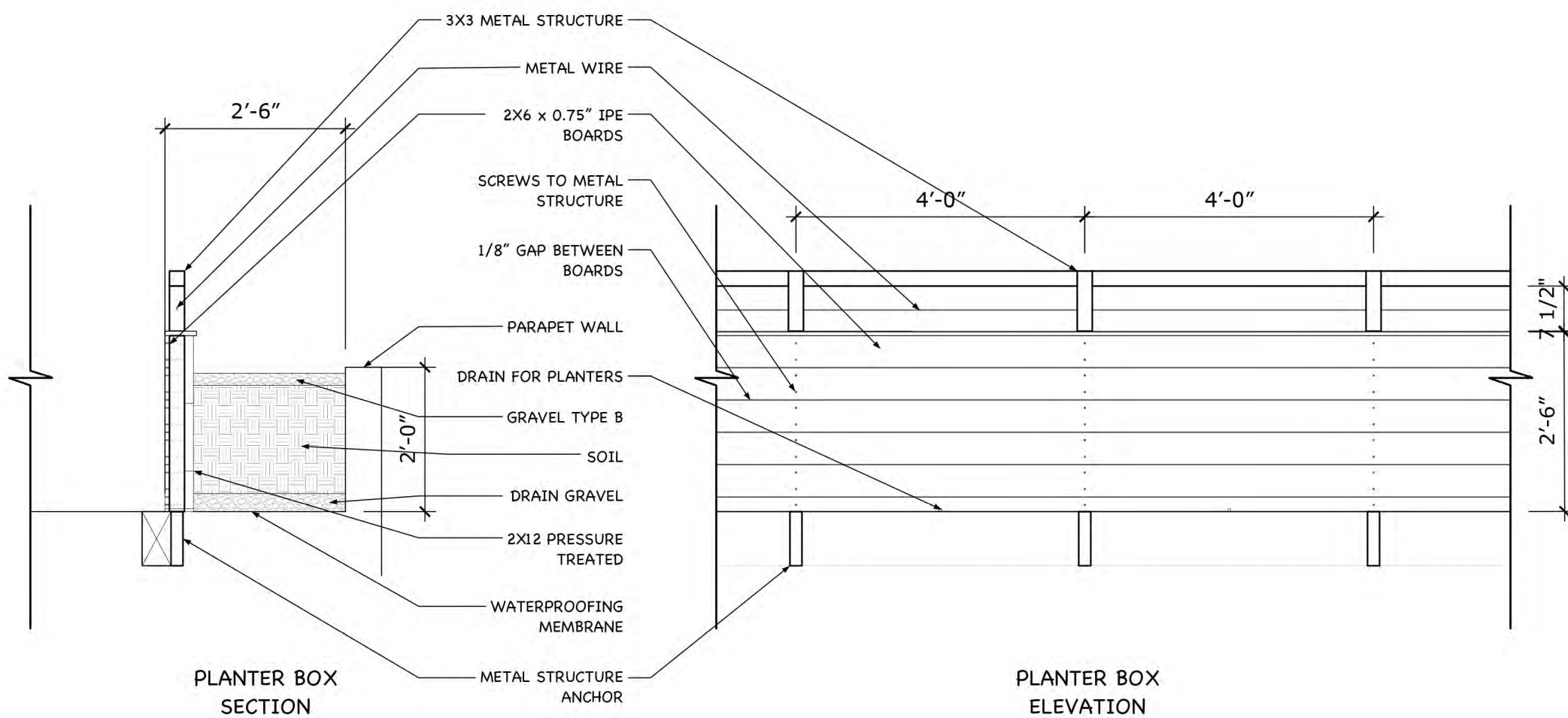


- SPECIFICATIONS:
1. BRAND: BK-LIGHTING
  2. MODEL: MINI DRIVESTAR SURFACE MOUNT SOLID STATE (BKSSL) POWER OF 1/2

01 RECESSED IN-GRADE LIGHTING  
1/2" = 1'-0"



02 BLACK POWDER COATED METAL FENCE AND GATE - TYP  
1/2" = 1'-0"



03 PLANTER BOX SECOND AND THIRD FLOOR  
1/2" = 1'-0"

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PROJECT ARCHITECT: CARRIE SHORES DILLER

OWNER:  
DILLER CAPITAL  
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APRIL 2019

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SHEET TITLE:

LAYOUT NOTES  
AND DETAILS

SHEET NUMBER:

L.3



PLANT LIST FIRST FLOOR

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
POGL		PODOCARPUS GLAUCILIOR	FERN PINE	4	24" BOX		20-60	10-20
SCMO		SCHINUS MOLLE	CALIFORNIA PEPPER TREE	1	24" BOX		25-40	25-40
ACVE		ACACIA VESTITA	HAIRY WATTLE	2	24" BOX		12-20	10-15
CIME		CITRUS X MEYERI	MEYER LEMON	6	15 GAL		12-18	8-12
PITE		PITTOSPORUM TENUIFOLIUM 'KRISTIE'	KRISTIE KOHUHU	81	5 GAL	30	4-6	4-6

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
PHHY		PHORMIUM HYBRIDS 'DARK DELIGHT'	DARK DELIGHT FLAX	10	15 GAL		4	6
CEPE15		CEREUS PERUVIANUS	HEDGE CACTUS	20	15 GAL	48	8-10	4
CEPE5		CEREUS PERUVIANUS	HEDGE CACTUS	24	5 GAL	48	8-10	4
AGPA15		AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	3	15 GAL		2-3	2-3
AGPA5		AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	6	5 GAL		2-3	2-3

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
ECGR15		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	15 GAL	40	1-4	1-4
ECGR5		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	5 GAL	40	1-4	1-4
ECGR1		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	1 GAL	40	1-4	1-4
AGAT		AGAVE ATTENUATA	FOXTAIL AGAVE	15	5 GAL		4-5	6
LOLO		LOMANDRA LONGIFOLIA	BREEZE DWARF MAT RUSH	25	5 GAL		2-3	3-4

NEIGHBOR PROPERTY

PROPERTY LINE

GARAGE

NEIGHBOR PROPERTY

6'-0" HIGH METAL FENCE

PITE

SCMO

CEPE

AGAT

PHHY

LOLO

PITE

LOLO

CIME

AGAT

PHHY

BUILDING

GARAGE

OPEN TO ABOVE

DRIVEWAY

SHATTUCK AVE

STREET CENTERLINE

ECGR

AGPA

ACVE

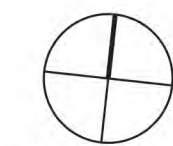
POGL

NEIGHBOR PROPERTY

BUILDING

NEIGHBOR PROPERTY

BUILDING



PROJECT NORTH

ARCHITECT:

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SHEET TITLE:

FIRST FLOOR  
PLANTING PLAN

SHEET NUMBER:

L.4



PLANTING NOTES:

A. SOIL PREPARATION:

- SOIL PREPARATION IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG-LASTING LANDSCAPE. REMOVE EXISTING TOP SOIL WHEN REMOVING PAVED AREAS IF ANY AND STOCKPILE ON SITE. TOPSOIL TO BE INCORPORATE BACK INTO THE SOIL AT A LATER DATE.
- PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
- CONTRACTOR TO DE-COMPACT SOILS IN PLANTING AREAS BY ROTO-TILLING, DISKING OT RIPPING TO A DEPTH OF 6-8" MINIMUM AND PREFERABLY AT A DEPTH OF 12-18". DE-COMPACTION OF SOME PLANTING AREAS, SUCH AS THOSE IN THE DRIVEWAY AND PARKING LOT, MAY REQUIRE THE REMOVAL OF THE COMPACTED SOIL TO A DEPTH OF 18" OR MORE AND THEN RE-INSTALLED LOOSELY W/ REQUIRED AMENDMENTS.
- ALWAYS REMOVE DEBRIS OVER 2" IN SIZE FROM THE SOIL.
- WHEN PERFORMING SOIL DE-COMPACTION, MULTIPLE PASSES ACROSS THE AREA WILL BE REQUIRED AND, WHEN POSSIBLE, SHOULD BE AT VARYING ANGLES TO ENSURE ADEQUATE COVERAGE. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE W/ A ROTOTILLING TO BREAK UP ANY LARGER CLUMPS TO MAKE FINAL GRADING EASIER
- AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY W/ EXISTING SOIL.
- DURING THE REMAINDER OF THE LANDSCAPE INSTALLATION, VARIOUS AREAS OF THE SITE MAY BE RE-COMPACTED DUE TO THE USE OF EQUIPMENT AND VEHICLES. THS COMPACTION IS TYPICALLY LIMITED TO THE UPPER 4-6" OF THE SOIL. PRIOR TO THE INSTALLATION OF PLANT MATERIAL IN THESE AREAS, THE COMPACTION SHALL BE REDUCED TO 80% OR LESS USING PREVIOUSLY DESCRIBED METHODS.

B. SOIL AMENDMENS:

- SITE SOIL SHALL BE CAPABLE OF SUSTAINING HEALTHY PLANT LIFE BUT ADDITION OF SOME SUBSOIL MAY BE REQUIRED. EVALUATION OF SOIL FROM LANDSCAPE CONTRACTOR SHOULD BE PERFORMED AFTER EXISTING ASPHALT AND CONCRETE ARE REMOVED.
- SOIL AMENDMENT: NITROLIZED REDWOOD SAWDUST. ADD 6 CUBIC YARDS PER 1000 SQ FT.
- GYP SUM. ADD 50 LBS PER 1000 SQ FT.
- FERTILIZER. APPLY AT A RATE THAT SUPPLIES 1 LB OF NITROGEN PER 1000 SQ FT.

C. PLANT INSTALLATION:

- VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS.
- PLACE TREES, SHRUBS, GRASSES AND GROUNDCOVER IN LOCATIONS SHOWN ON PLANS.
- DIG PITS AS DETAILED ON DRAWINGS. AFTER PITS ARE DUG, BREAK SIDES TO OPEN WALL OF PIT FOR ROOT PENETRATION.
- BACKFILL BOTTOM 1/3 OF HOLE CONTAINING ROOTBALL W/ LOOSE SITE SOIL IN A FINELY DIVIDED CONDITION FREE FROM ROCKS OR CLODS. TOP 2/3 OF BACKFILL SHALL USED AMENDED SIT SOIL.
- FOR TREES: SET TOP OF ROOT BALL 2" ABOVE FINISH GRADE. SHRUBS TO BE SET 1" ABOVE GRADE. THOROUGHLY STAURE BACKFILL SOIL AND ROOTBALL TO FULL DEPTH.
- PROVIDE MATCHING FORMS AND SIZES FOR PLANTS MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.

D. ESTABLISHMENT PERIOD:

- ESTABLISHMENT PERIOD SHALL INCLUDE ALL PLANTING WORK AND EXTEND 60 CALENDAR DAYS AFTER WRITTEN APPROVAL AT TIME OF PRELIMINARY REVIEW.
- MAINTAIN CONSTANT MOISTURE TO AN 8" DEPTH.
- KEEP AREAS FREE OF UNDESIRABLE WEEDS BY HAND PULLING.
- MAINTAIN IRRIGATION SYSTEMS IN FULL OPERATING ORDER, AND REPAIR AND REPLACE ALL DAMAGED IRRIGATION EQUIPMENT AS NECESSARY FOR COMPLETE OPERATION OF THE SYSTEM.
- MAINTAIN TREES IN BEST CONDITIONS BY SPRAYING, PRUNING, WATERING, ETC. AS NECESSARY.
- MAINTAIN TREE BASINS, AND STAKING FOR TREES.

PLANT LIST THIRD FLOOR

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
AGFL		AGONIS FLEXUOSA 'JERVIS BAY AFTERDARK'	AFTERDARK PEPPERMINT TREE	7	15 GAL		12	6-10
PHHY		PHORMIUM HYBRIDS 'SEA JADE'	SEA JADE FLAX	16	5 GAL		4-5	5-6
AGAT		AGAVE ATTENUATA	FOXTAIL AGAVE	17	5 GAL		4-5	6
LOLO		LOMANDRA LONGIFOLIA	BREEZE DWARF MAT RUSH	46	5 GAL		2-3	3-4
ROOF		ROSMARINUS OFFICINALIS 'PROSTATUS'	TRAILING ROSEMARY	17	5 GAL	24	2	4-8



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SHEET TITLE:

THIRD FLOOR  
PLANTING PLAN

SHEET NUMBER:





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SHEET TITLE:

FIRST FLOOR  
IRRIGATION PLAN  
1/2

SHEET NUMBER:

L.6

HYDROZONES			
NUMBER	SYMBOL	NAME	AREA (SQ FT)
1		STREET AND ENTRANCE	411.1
2		NE UNIT	138.8
3		NW UNIT	126.9
4		SW UNIT	126.9
5		COMMON INTERIOR	10.8
6		THIRD FLOOR	172.9

NEIGHBOR PROPERTY

PROPERTY LINE

GARAGE

6'-0" HIGH  
METAL FENCE

HB

PAVED PATIO

PAVED PATIO

HB

GARAGE

HB

OPEN  
TO ABOVE

DRIVEWAY

PATHWAY

PATHWAY

NEIGHBOR PROPERTY

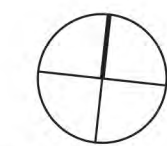
BUILDING

SHATTUCK AVE

STREET CENTERLINE

STREET TREE

SIDEWALK



PROJECT NORTH

BUILDING

NEIGHBOR PROPERTY

BUILDING





DEVELOPMENT  
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SHEET TITLE:

FIRST FLOOR  
IRRIGATION PLAN  
2/2

SHEET NUMBER:

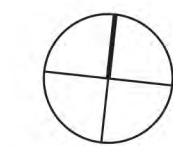
L.7

IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE W/ 1" PRESSURE REGULATING FILTER AT 40PSI AND MDCF FITTING. 3GPM-15GPM	5
ⓕ	RAIN BIRD MDCFAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	13
Ⓐ	RAIN BIRD ARV075 3/4" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX. USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE. AREA TO RECEIVE SUBSURFACE DRIPLINE	5
■	RAINBIRD XFS-06-18-500 PRESSURE AT 8.5 TO 60PSI	250 LF
■	AREA TO RECEIVE PRESSURE COMPENSATING MODULES. RAINBIRD PC-05 PRESSURE AT 10 TO 50 PSI	
	Emitter Notes: 1 gal plant to receive 1 emitter 5 gal plant to receive 2 emitters 15 gal plant to receive 3 emitters 24" box to receive 4 emitters.	
	RAINBIRD DRIPLINE STRIPE TUBING XBS500B TO CONNECT IRRIGATION AREAS AND INSTALLATING RAINBIRD PC-05	500 LF
⚡	NIBCO T-580-56-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	5
Ⓜ	GRISWOLD 2160LE 2" 2" SOLENOID, NORMALLY OPEN MASTER VALVE. EPOXY COATING. CAST IRON AND BRONZE MATERIAL. NPT END CONNECTION.	1
Ⓟ	FEBCO 825YA 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	1
Ⓐ	RAINBIRD ESP4SMTE MODULAR OUTDOOR CONTROLLER W/ RAIN CHECK INCLUDED	1
Ⓜ	HOSE BIB	5
Ⓜ	WATER METER 1"	1
—	IRRIGATION LATERAL LINE. PVC SCHEDULE 40 IRRIGATION PIPE	
----	PIPE SLEEVE: PVC SCHEDULE 40	
	VALVE BOXES: BROOKS OR EQUAL, BLACK COLOR.	FOR DRIP CONTROLS & AIR VALVES

SHA  
STRI

STREET TREE

SIDEWALK



PROJECT NORTH

NEIGHBOR PROPERTY

PROPERTY LINE

GARAGE

6'-0" HIGH METAL FENCE

PAVED PATIO

DRIVEWAY

OPEN TO ABOVE

PATHWAY

PATHWAY

TO THIRD FLOOR

NEIGHBOR PROPERTY

BUILDING

BUILDING

NEIGHBOR PROPERTY

BUILDING





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SHEET TITLE:

THIRD FLOOR  
IRRIGATION PLAN

SHEET NUMBER:

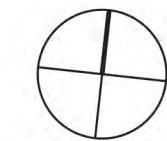
L.8

IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT. 1" DV VALVE W/ 1" PRESSURE REGULATING FILTER AT 40PSI AND MDCF FITTING. 3GPM-15GPM	1
	RAIN BIRD MDCFAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	2
	RAIN BIRD ARV075 3/4" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX. USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE. AREA TO RECEIVE SUBSURFACE DRIPLINE	2
	RAINBIRD XFS-06-18-500 PRESSURE AT 8.5 TO 60PSI	125 LF
	AREA TO RECEIVE PRESSURE COMPENSATING MODULES. RAINBIRD PC-05 PRESSURE AT 10 TO 50 PSI	
	Emitter Notes: 1 gal plant to receive 1 emitter 5 gal plant to receive 2 emitters 15 gal plant to receive 3 emitters 24" box to receive 4 emitters.	
	RAINBIRD DRIPLINE STRIPE TUBING XBS500B TO CONNECT IRRIGATION AREAS AND INSTALLATING RAINBIRD PC-05	
	NIBCO T-580-56-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	1
	HOSE BIB	2
	IRRIGATION LATERAL LINE. PVC SCHEDULE 40 IRRIGATION PIPE	
	PIPE SLEEVE: PVC SCHEDULE 40	
	VALVE BOXES: BROOKS OR EQUAL, BLACK COLOR.	FOR DRIP CONTROLS & AIR VALVES

SHATTUCK AVE

STREET CENTERLINE

SIDEWALK



PROJECT NORTH





IRRIGATION CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE

MAWA = (ETo) x 0.62 X [(0.7 x LA) + (0.3 x SLA)]

MAWA: Maximum Applied Water Allowance  
ETo: Evapotranspiration in inches per year  
0.62: Conversion factor to gallons per square foot  
0.7: ET adjustment factor for plant factors and irrigation efficiency (ETAF)  
LA: Landscape Area  
SLA: Portion of the landscape area identified as a special landscape area in sq ft.

PROJECT SITE: OAKLAND, CA in USDA ZONE 10b (41.80" Annual ETo)  
TOTAL LANDSCAPE AREA: 987.4 SF  
TOTAL SPECIAL LANDSCAPE AREA: 0 SF

MAWA = 41.80 x 0.62 x [(0.7 x 987.4) + (0.3 x 0)]  
= 25,916 x [691.18 + 0]  
= 17,912.6 GALLON PER YEAR

MAWA = 17,912.6 GALLON PER YEAR

ESTIMATED TOTAL WATER USE

ETWU = (ETo) x 0.62 X [(PF x HA) / IE + SLA]

ETWU: Estimated Total Water Use in gallons per year  
ETo: Evapotranspiration in inches per year  
0.62: Conversion factor to gallons per square foot  
PF: Plant Factor from WUCOLS  
HA: Hydrozone area in sq ft. Each HA shall be classified based upon the data included in the landscape and irrigation plan as high, medium or low water use.  
IE: Irrigation efficiency of the irrigation method used in the hydro zone.  
SLA: Special landscape area in sq ft.

PROJECT SITE: OAKLAND, CA in USDA ZONE 10b (41.80" Annual ETo)  
LANDSCAPE AREA: 987.4 SF  
TOTAL SPECIAL LANDSCAPE AREA: 0 SF  
TOTAL WATER FEATURE AREA: 0 SF  
TOTAL LANDSCAPE AREA: 987.4 SF

HYDROZONE	SYSTEM	PLANT WATER USE TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA) IN SQ FT	IE	(PF x HA) / IE
1	DRIP	VERY LOW	0.1	411.1	0.9	45.7
2	DRIP	LOW-MODERATE	0.38	138.8	0.9	58.6
3	DRIP	LOW-MODERATE	0.38	126.9	0.9	48.2
4	DRIP	LOW-MODERATE	0.38	126.9	0.9	48.2
5	DRIP	MODERATE	0.5	10.8	0.9	6.0
6	DRIP	LOW	0.2	172.9	0.9	38.4

ETWU = 41.80 x 0.62 x [45.7 + 58.6 + 48.2 + 48.2 + 6.0 + 38.4 + 0]  
= 25,916 x 245.1  
= 6,352.01 GALLON PER YEAR

Project Total ETWU = 6,352.01 GALLON PER YEAR

GENERAL IRRIGATION NOTES:

- THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DIFFERENCES BETWEEN THE DESIGN WATER PRESSURE AND THE ACTUAL WORKING PRESSURE READING AT THE IRRIGATION P.O.C. TO OWNER'S REPRESENTATIVE
- THIS DESIGN IS DIAGRAMMATIC. THESE DRAWINGS ARE INTENDED TO BE A SCHEMATIC REPRESENTATION OF THE FINISHED IRRIGATION SYSTEM. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING, AND ARCHITECTURAL FEATURES. CONTRACTOR SHALL MAKE ALL NECESSARY FIELD ADJUSTMENTS TO ACCOMMODATE ACTUAL SITE CONDITIONS.
- CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THESE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THESE DRAWINGS WHEN IT IS OBVIOUS THAT FIELD OBSTRUCTIONS AND/OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MAY NOT HAVE BEEN CONSIDERED IN THE SYSTEM ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- CONTRACTOR TO COORDINATE SLEEVEING UNDER ALL PAVING WITH OTHER TRADES AS NECESSARY. NO TEES OR ELLS SHALL BE INSTALLED UNDER PAVING. ALL SLEEVES SHALL EXTEND A MINIMUM OF TWENTY-FOUR INCHES (24") BEYOND EDGE OF PAVING. ALL SLEEVES LOCATED UNDER PAVING SHALL BE TWO (2) TIMES THE OUTSIDE DIAMETER OF THE PIPE TO BE SLEEVED, MINIMUM TWO-INCH (2") DIAMETER. CONTRACTOR TO INSTALL METALLIC BACKED TAPE ALONG THE ENTIRE LENGHT OF THE SLEEVE, TWELVE INCHES (12") DIRECTLY ABOVE THE SLEEVE. TAPE SHALL BE MARKED 'IRRIGATION' IN TWO INCH (2") CAPITAL LETTERS EVERY THREE FEET (3') ALONG THE TAPE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO OPERATE AT A WATER VELOCITY NOT TO EXCEED FIVE (5) FEET PER SECOND.
- REMOTE CONTROL VALVES SHALL BE INSTALL ADJACENT TO WALKWAY, IN PLANTING AREAS UNLESS OTHERWISE NOTED.
- QUICK COUPLERS SHALL BE LOCATED AT A MAXIMUM SPACING OF 100' O.C.
- CONTRACTOR SHALL FLUSH ALL MAIN LINES PRIOR TO INSTALLATION OF THE VALVES, AND SHALL FLUSH ALL LATERAL LINES PRIOR TO INSTALLATION OF THE DRIP SYSTEM.
- CONTRACTOR SHALL ADJUST ALL SYSTEMS FOR OPTIMUM PERFORMANCE. THIS INCLUDES ADJUSTMENT OF THE FLOW CONTROL STEM AT EACH REMOTE CONTROL VALVE (TO OBTAIN THE OPTIMUM OPERATING FLOW/PRESSURE FOR THAT SYSTEM).
- COORDINATE IRRIGATION WORK WITH PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS. SPECIMEN TREE LOCATION TAKE PRECEDENCE OVER IRRIGATION PIPING. LOCATE SPECIMEN TREES PRIOR TO TRENCHING FOR IRRIGATION PIPING.
- TRENCH MARKER. ALL DIRECT BURIAL WIRES SHALL BE MARKED WITH A CONTINUOUS RED COLORED TRENCH MARKER TAPE PLACED NINE INCHES (9") BELOW FINISH GARDE DIRECTLY ABOVE THE BURIED WIRES. MARKER TAPE SHALL BE EQUAL TO "ALARM TAPE" AS MANUFACTURED BY PAUL POTTER WARNING TAPE INC. SHALL BE FOUR INCHES (4") WIDE.
- IRRIGATION SYSTEMS ARE TO BE INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE CRITERIA AND APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER LOCAL CODE. CONTRACTORS SHALL SECURE ALL NECESSARY PERMITS.
- FOR REMOTE CONTROL VALVE MANIFOLDS, BALL VALVE SIZE SHALL EQUAL THE SIZE OF THE LARGEST REMOTE CONTROL VALVE IN THE MANIFOLD.
- PROVIDE PULL BOXES FOR CONTROL WIRING AT ALL CHANGES IN DIRECTION GREATER THAN FORTY-FIVE (45) DEGREES AND WHERE WIRE RUNS EXCEED THREE-HUNDRED FEET (300') IN LENGHT. IN-LINE WIRE SPLICES SHALL BE MADE ONLY IN PULL BOXES, WITH WATERPROOF CONNECTORS.
- CONTRACTOR SHALL PROVIDE ONE (1) SET OF EXTRA CONTROL WIRES PER MANIFOLD. BUNDLE AND TAPE 10' OF ADDITIONAL WIRE AND INSTALL IN A PULL BOX ADJACENT TO THE VALVE MANIFOLD.
- NO WIRE SPLICES SHALL BE ALLOWED ON RUNS OF LESS THAN 500'. ON RUNS GREATER THAN 500', SPLICES ARE TO BE MADE WITH AN APPROVED SPLICED UNIT, AND TO BE INSTALLED IN A CONCRETE PULL BOX.
- BACKFILL MATERIALS SHALL BE CLEAN AND FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), AND OBJECTS WITH SHARP EDGES.
- CONTRACTOR SHALL INSTALL IN-LINE ANTI-DRAIN VALVES AS WARRANTED BY THE SITE CONDITIONS TO ALLEVIATE LOW-HEAD DRAINAGE.
- CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING IRRIGATION SYSTEM EQUIPMENT WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION.

ARCHITECT:

LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES DILLER

OWNER:

DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:

PLANNING PERMIT SET  
APRIL 2019

REVISIONS:

#	DATE	DESCRIPTION

These drawings, specifications, ideas, designs, and arrangements presented thereby are and shall remain the property of Larson Shores Architecture + Interiors. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they were prepared and developed without the written consent of Larson Shores Architecture + Interiors. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

SHEET TITLE:

IRRIGATION  
CALCULATIONS  
AND NOTES

SHEET NUMBER:

L.9



**Case File Number: PLN17-052****May 3, 2017**

<b>Location:</b>	<b>5817 Shattuck Avenue</b>
<b>Assessors Parcel Number:</b>	<b>015-1370-011-00</b>
<b>Proposal:</b>	To demolish existing structure (Dorsey's Locker) and construct a new 9-unit apartment development.
<b>Owner:</b>	Diller Capital
<b>Applicant:</b>	Jim Diller (650)269-4027
<b>Case Number:</b>	<b>PLN17-052</b>
<b>Planning Permits Required:</b>	Major Conditional Use Permit for nine (9) residential units in the RM-4 Zone; and Design Review for new construction.
<b>General Plan:</b>	Mixed Housing Residential
<b>Zoning:</b>	RM-4 Mixed Housing Residential Zone
<b>Environmental Determination:</b>	Exempt Section 15332 (Infill development projects) of the CEQA Guidelines; and Section 15183 (projects consistent with a community plan, general plan, or zoning).
<b>Historic Status:</b>	Not a Potentially Designated Historic Property (PDHP); Survey Rating: N/A
<b>City Council District:</b>	1
<b>Status:</b>	Pending
<b>Finality of decision:</b>	Appealable to City Council within 10 days
<b>Action to be Taken:</b>	Decision based on staff report.
<b>For Further Information:</b>	Contact case planner Maurice Brenyah-Addow at (510) 238-6342 or by email at <a href="mailto:mbrenyah@oaklandnet.com">mbrenyah@oaklandnet.com</a>

## **SUMMARY**

Diller Capital has filed an application with the Bureau of Planning to demolish an existing structure, formerly used as a restaurant (Dorsey's Locker), and construct a new three-story, nine-unit apartment building. The subject 0.23-acre (10,077 sq. ft.) site is located midblock on Shattuck Avenue between 58<sup>th</sup> Street and 59<sup>th</sup> Street and within a block from Bushrod Park.

Pursuant to Section 17.17.050(A) of the Oakland Municipal Code (O.M.C), a Conditional Use Permit (CUP) is required for five or more residential units. Under Section 17.134.020(A.1)(c)(ii), the CUP becomes a Major CUP for seven or more units in the RM-4 Zone. Pursuant to Section 17.17.020 Regular Design Review is also required for demolition of the existing structure and construction of the new project.

The proposed project is a well-designed contemporary residential facility, designed to fit in with the existing context which is a mixture of small to medium scale housing types. The new nine-unit apartment development complies with the CUP and Design Review criteria and all the other applicable regulations and development standards for the RM-4 Zone. The proposed development will enhance the Shattuck Avenue corridor with a new contemporary design. Staff recommends that the Planning Commission approve the project, subject to the attached conditions of approval.



# CITY OF OAKLAND PLANNING COMMISSION



0 100 200 400 600 800 Feet



Case File: PLN17052

Applicant: Jim Diller

Address: 5817 Shattuck Avenue

Zone: RM-4



## **PROPERTY DESCRIPTION**

The subject 0.23-acre (10,077 sq. ft.) site is located midblock on Shattuck Avenue between 58<sup>th</sup> Street and 59<sup>th</sup> Street in North Oakland. The site contains a non-descript two-story building with surface parking that was previously used as a restaurant and bar (Dorsey's Locker) with an upper floor residential unit at some point in time. The vicinity has a variety of detached single-family and multi-family homes as well as incidental civic facilities such as a public park (Bushrod Park), an elementary school (Sankofa Academy) and commercial uses such as corner stores, medical offices, and book publishing (New Harbinger Publications). The former use has often been the subject of complaints from the nearby neighborhood for noise and nuisances associated with the bar.

## **PROJECT DESCRIPTION**

The proposed project involves the demolition of the existing two-story building formerly used as a restaurant (Dorsey's Locker), and construction of a new three-story, nine-unit apartment building. The proposed design involves a ground level podium that contains an entry lobby and accessways, a motor court and living space. The two upper levels contain living spaces and group and private open spaces. The building mass is split into two wings linked by a central circulation area. This composition breaks up the bulk of the front elevation to achieve moderately-scaled building volumes similar in scale and proportion to the immediate detached residential structures. The main exterior materials of the project include cement plaster, hardie board siding, metal and glass. The design incorporates various elements and detailing including projecting, recessed, angled wall planes, a series of grouped fenestration, a rhythm of shapes and forms, and material changes, to achieve a visually attractive development that features distinctive elements that come together as a unified whole.

## **CEQA ANALYSIS**

The project qualifies for Categorical Infill Exemption under Section 15332 of the state Environmental Quality Act (CEQA) Guidelines because: a) it is consistent with the Oakland General Plan; b) it occurs within city limits on a site less than 5 acres; c) the site has no value as habitat or endangered species; d) the project would not have significant effects on traffic, noise air quality or water quality; and, e) the site can be adequately served by required utilities and public services. On a separate and independent basis, the project qualifies under Section 15183 of the CEQA Guidelines for projects consistent with a community plan, general plan, or zoning.

## **GENERAL PLAN ANALYSIS**

The subject site is located in the Mixed Housing Type Residential classification of the Land Use and transportation element (LUTE) of the Oakland General Plan which is intended to create, maintain, and enhance residential areas typically located near the City's major arterials and characterized by a mix of single family homes townhouses, small multi-unit buildings and neighborhood businesses where



appropriate. The proposed project is a small multi-unit development located along Shattuck Avenue, which is a major transit corridor in Oakland, and is therefore, consistent with the character of the Mixed Housing Type Residential classification. The proposed project is consistent in all significant respects with the following LUTE objectives and policies:

- Objective N3: Encourage the construction, conservation, and enhancement of housing resources in order to meet the current and future housing needs of the Oakland community. The project will provide the North Oakland community with nine new housing units.
- Policy N3.1, Facilitating Housing Construction: *Facilitating the construction of housing units should be considered a high priority for the City of Oakland.* The City of Oakland's Bureau of Planning staff have streamlined its systems in order to facilitate the construction of new homes and assist developers with navigating the permitting process smoothly and in a timely manner. Staff met with the applicant on several occasions to provide information and direction during the design development of the project.
- Policy N3.2, Encouraging Infill Development: *In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City Oakland.* The project is proposed for a site located in North Oakland. The new development will be an infill development for the currently underutilized site.

## ZONING ANALYSIS

The subject site is located in the RM-4 Zone which is intended to create, maintain, and enhance residential areas typically located on or near the City's major arterials and characterized by a mix of single family homes, townhouses, small multi-unit buildings at somewhat higher densities than RM-3, and neighborhood businesses where appropriate. The project requires Regular Design Review for the demolition of the existing structure and construction of the project pursuant to Section 17.17.020 of the Oakland Municipal Code (O.M.C.) Furthermore and pursuant to Sections 17.17.050(A) and 17.134.020(A.1)(c)(ii) of the O.M.C., a Conditional Use Permit (CUP) is required for five or more residential units and a Major CUP is required for seven or more units in the RM-4 zone.

The project complies with the applicable development standards as follows:

### Development Standards

Development Standard	Required	Proposed
Max. Residential Density	9 units (1,100 sq. ft./unit)	9 units
Max. Height	35 ft.	30 ft.
Min. setbacks	15ft. front; 4 ft. sides; 15 ft. rear	15 ft. front; 4 ft. sides; 15 ft. rear
Min. useable open space	1,575 sq. ft. (175 sq. ft./unit)	6,778 sq. ft./unit
Reqd. Bicycle Parking	2 Long term(LT)1/10 units 2 Short Term(ST) 1/20 units	2 LT 2 ST
Reqd. off-street parking	9 spaces	9 spaces



## **KEY ISSUES AND IMPACTS**

Overall, the proposed project site plan and design is successful and consistent with the goal of creating a befitting medium-density housing development in North Oakland. The key issues and impacts are discussed below:

### **New housing in North Oakland**

The proposed nine-unit housing development is located on Shattuck Avenue, which is a major transit corridor. The new housing will provide more housing stock and help ease the housing crises in Oakland. The setting provides opportunities for convenient accommodations with easy access to neighborhood shops, services and public transit.

### **Automobile Parking**

The project provides nine off-street parking spaces within a ground level motor court that has a combination of four individual garages and five (5) open parking stall spaces.

### **Site Plan, Building Design and Landscaping**

The site plan presents a medium-density development that responds to the context of urbanized development in the vicinity. The design achieves a visually attractive development that features distinctive elements that come together as a unified whole. The proposed landscaping include trees, shrubs, ground cover, as well as hardscape such as decorative pavers, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

### **Useable Open Space**

The RM-4 zone requires 175 square feet of useable open space per dwelling unit and a total of 1,575 square feet for the entire development. The project provides a total of 6,778 square feet. The project also incorporates landscaping (softscape and hardscape) to enhance the open areas to achieve a net reduction of peak flow stormwater run-off.

## **RECOMMENDATIONS:**

Based on the analysis contained in this report, the findings, and the conditions of approval attached to this report and elsewhere within the administrative record, staff believes that the proposed project is an appropriate development that will further the overall objectives of the Oakland General Plan, particularly related to encouraging new infill housing. Thus, staff recommends that the Commission:


1. Affirm staff's CEQA determination; and
2. Approve the Design Review subject to the attached Findings and Conditions of Approval.



Prepared by:

  
\_\_\_\_\_  
MAURICE BRENYAH-ADDOW - Planner III

Reviewed by:

  
\_\_\_\_\_  
SCOTT MILLER - Zoning Manager

Approved for forwarding to the  
City Planning Commission:

  
\_\_\_\_\_  
DARIN RANELLETTI – Interim Director  
Planning and Building Department

**ATTACHMENTS:**    A. Project Plans



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**ATTACHMENT A: FINDINGS**

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This proposal meets the required findings and standards under Sections 17.134.050, *Conditional Use Permit* and 17.136.050, *Regular Design Review* criteria of the Oakland Planning Code as set forth below. Required findings are shown in normal type; reasons your proposal satisfies them are shown in **bold** type.

**SECTION 17.134.050:**

- (a) That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.

**Pursuant to Sections 17.17.050(A) and 17.134.020(A.1)(c)(ii) of the Oakland Municipal Code (O.M.C), a Conditional Use Permit (CUP) is required for five or more residential units and a Major CUP is required for seven or more units in the RM-4 zone. The proposed density is appropriate for the subject site because Shattuck Avenue is a major transit corridor that calls for higher density developments. The proposed nine residential units will be compatible with the mixed housing type neighborhood in that it is similar in scale, bulk, lot coverage and density to the small multi-family buildings in the vicinity.**

- (b) That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

**The project will create a convenient and functional living environment for future residents by means of providing spacious dwelling units with useable indoor and outdoor spaces and appropriate number of off-street parking. The new units will be an improvement to the currently underutilized site.**

- (c) That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.

**The proposed project will be residential in nature and use. This will contribute to the successful operation of the surrounding area in its basic community function as a medium density residential area with incidental civic and commercial uses.**

**Further, the project meets the intent and character of the Mixed Housing Type LUTE designation.**

- (d) That the proposal conforms to all applicable design review criteria set forth in the DESIGN REVIEW PROCEDURES at Section 17.136.070(a). **The proposed**

***FINDINGS***



contemporary design applies techniques to minimize perceived bulk, scale down the building masses, and minimize potential adverse impacts on adjoining buildings and is therefore compatible with the development pattern and architectural styles in the neighborhood, and therefore, the proposal conforms to the applicable design review criteria.

- (e) That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable plan or development control map which has been adopted by the City Council. **The proposed small multi-family development, deigned to the maximum allowed density and located on a major transit corridor conforms to the Mixed Housing Type Residential General Plan which encourages the development of medium density residential units along transit corridors. Specifically, the project is consistent with LUTE Policies N3.1, N3.2. N6.1 and N7.1.**

**SECTION 17.136.050(a)**

**REGULAR DESIGN REVIEW FINDINGS:**

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures. **The proposed new development responds to the Shattuck Avenue corridor surroundings with a three-story structure that has a ground floor occupied space and parking. The design incorporates elements and materials that articulate the façades with recesses and projections to manage massing and minimize perceived bulk. The overall design relates well to the surrounding area in their setting, scale, bulk, height, materials and textures. Therefore, the proposed new project will be compatible with the surroundings in its setting, scale, bulk, height, materials and textures.**
2. That the proposed design will protect, preserve or enhance desirable neighborhood characteristics. **The proposed new housing development will result in a new and attractive building structure that will revitalize the neighborhood. The attached standard conditions of approval will ensure that all potential negative impacts have been reduced to less than significant.**
3. That the proposed design will be sensitive to the topography and landscape. **The proposed development is expected to involve minimal earthwork for foundations and other site improvements.**
4. That if situated on a hill, the design and massing of the proposed building relates to the grade of the hill. N/A
5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable district plan or development control map which has been adopted by the City council. **See Section 17.134.050(e) above.**

***FINDINGS***



**CONDITIONS OF APPROVAL****1. Approved Use**

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, Staff report and the approved plans **dated February 27, 2017 and submitted February 27, 2017**, as amended by the following conditions of approval and mitigation measures, if applicable ("Conditions of Approval" or "Conditions").

**2. Effective Date, Expiration, Extensions and Extinguishment**

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **Two Calendar Years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

**3. Compliance with Other Requirements**

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City's Bureau of Building, Fire Marshal, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

**4. Minor and Major Changes**

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent



permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

**5. Compliance with Conditions of Approval**

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the "project applicant" or "applicant") shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant's expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

**6. Signed Copy of the Approval/Conditions**

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

**7. Blight/Nuisances**

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60 days of approval, unless an earlier date is specified elsewhere.

**8. Indemnification**

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland



City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.

- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

**9. Severability**

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

**10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring**

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with the Bureau of Building, if directed by the Building Official, Director of City Planning, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

**11. Public Improvements**

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement ("p-job") permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.



**12. Construction Management Plan**

Prior to the issuance of the first construction-related permit, the project applicant and his/her general contractor shall submit a Construction Management Plan (CMP) for review and approval by the Bureau of Planning, Bureau of Building, and other relevant City departments such as the Fire Department and the Public Works Department as directed. The CMP shall contain measures to minimize potential construction impacts including measures to comply with all construction-related Conditions of Approval (and mitigation measures if applicable) such as dust control, construction emissions, hazardous materials, construction days/hours, construction traffic control, waste reduction and recycling, stormwater pollution prevention, noise control, complaint management, and cultural resource management (see applicable Conditions below). The CMP shall provide project-specific information including descriptive procedures, approval documentation, and drawings (such as a site logistics plan, fire safety plan, construction phasing plan, proposed truck routes, traffic control plan, complaint management plan, construction worker parking plan, and litter/debris clean-up plan) that specify how potential construction impacts will be minimized and how each construction-related requirement will be satisfied throughout construction of the project.

**13. Regulatory Permits and Authorizations from Other Agencies**

Requirement: The project applicant shall obtain all necessary regulatory permits and authorizations from applicable resource/regulatory agencies including, but not limited to, the Regional Water Quality Control Board, Bay Area Air Quality Management District, Bay Conservation and Development Commission, California Department of Fish and Wildlife, U. S. Fish and Wildlife Service, and Army Corps of Engineers and shall comply with all requirements and conditions of the permits/authorizations. The project applicant shall submit evidence of the approved permits/authorizations to the City, along with evidence demonstrating compliance with any regulatory permit/authorization conditions of approval.

When Required: Prior to activity requiring permit/authorization from regulatory agency

Initial Approval: Approval by applicable regulatory agency with jurisdiction; evidence of approval submitted to Bureau of Planning

Monitoring/Inspection: Applicable regulatory agency with jurisdiction

**AESTHETICS****14. Graffiti Control**

Requirement:

- a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the



mitigation of the impacts of graffiti. Such best management practices may include, without limitation:

- i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces.
  - ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces.
  - iii. Use of paint with anti-graffiti coating.
  - iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).
  - v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.
- b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following:
- i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.
  - ii. Covering with new paint to match the color of the surrounding surface.
  - iii. Replacing with new surfacing (with City permits if required).

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

## **15. Landscape Plan**

### ***a. Landscape Plan Required***

Requirement: The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

### ***b. Landscape Installation***

Requirement: The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.



When Required: Prior to building permit final

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**c. *Landscape Maintenance***

Requirement: All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**16. Lighting**

Requirement: Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

## **AIR QUALITY**

**17. Construction-Related Air Pollution Controls (Dust and Equipment Emissions)**

Requirement: The project applicant shall implement all of the following applicable air pollution control measures during construction of the project:

- a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.



- d. Pave all roadways, driveways, sidewalks, etc. within one month of site grading or as soon as feasible. In addition, building pads should be laid within one month of grading or as soon as feasible unless seeding or soil binders are used.
- e. Enclose, cover, water twice daily, or apply (non-toxic) soil stabilizers to exposed stockpiles (dirt, sand, etc.).
- f. Limit vehicle speeds on unpaved roads to 15 miles per hour.
- g. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.
- h. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations ("California Air Resources Board Off-Road Diesel Regulations").
- i. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- j. Portable equipment shall be powered by electricity if available. If electricity is not available, propane or natural gas shall be used if feasible. Diesel engines shall only be used if electricity is not available and it is not feasible to use propane or natural gas.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**18. Asbestos in Structures**

Requirement: The project applicant shall comply with all applicable laws and regulations regarding demolition and renovation of Asbestos Containing Materials (ACM), including but not limited to California Code of Regulations, Title 8; California Business and Professions Code, Division 3; California Health and Safety Code sections 25915-25919.7; and Bay Area Air Quality Management District, Regulation 11, Rule 2, as may be amended. Evidence of compliance shall be submitted to the City upon request.

When Required: Prior to approval of construction-related permit

Initial Approval: Applicable regulatory agency with jurisdiction

Monitoring/Inspection: Applicable regulatory agency with jurisdiction



## BIOLOGICAL RESOURCES

### 19. Tree Permit

#### *a. Tree Permit Required*

Requirement: Pursuant to the City's Tree Protection Ordinance (OMC chapter 12.36), the project applicant shall obtain a tree permit and abide by the conditions of that permit.

When Required: Prior to approval of construction-related permit

Initial Approval: Permit approval by Public Works Department, Tree Division; evidence of approval submitted to Bureau of Building

Monitoring/Inspection: Bureau of Building

#### *b. Tree Protection During Construction*

Requirement: Adequate protection shall be provided during the construction period for any trees which are to remain standing, including the following, plus any recommendations of an arborist:

- i. Before the start of any clearing, excavation, construction, or other work on the site, every protected tree deemed to be potentially endangered by said site work shall be securely fenced off at a distance from the base of the tree to be determined by the project's consulting arborist. Such fences shall remain in place for duration of all such work. All trees to be removed shall be clearly marked. A scheme shall be established for the removal and disposal of logs, brush, earth and other debris which will avoid injury to any protected tree.
- ii. Where proposed development or other site work is to encroach upon the protected perimeter of any protected tree, special measures shall be incorporated to allow the roots to breathe and obtain water and nutrients. Any excavation, cutting, filing, or compaction of the existing ground surface within the protected perimeter shall be minimized. No change in existing ground level shall occur within a distance to be determined by the project's consulting arborist from the base of any protected tree at any time. No burning or use of equipment with an open flame shall occur near or within the protected perimeter of any protected tree.
- iii. No storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees shall occur within the distance to be determined by the project's consulting arborist from the base of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. No heavy construction equipment or construction materials shall be operated or stored within a distance from the base of any protected trees to be determined by the project's consulting arborist. Wires, ropes, or other devices shall not be attached to any protected tree, except as needed for support of the tree. No sign, other than a tag showing the botanical classification, shall be attached to any protected tree.



- iv. Periodically during construction, the leaves of protected trees shall be thoroughly sprayed with water to prevent buildup of dust and other pollution that would inhibit leaf transpiration.
- v. If any damage to a protected tree should occur during or as a result of work on the site, the project applicant shall immediately notify the Public Works Department and the project's consulting arborist shall make a recommendation to the City Tree Reviewer as to whether the damaged tree can be preserved. If, in the professional opinion of the Tree Reviewer, such tree cannot be preserved in a healthy state, the Tree Reviewer shall require replacement of any tree removed with another tree or trees on the same site deemed adequate by the Tree Reviewer to compensate for the loss of the tree that is removed.
- vi. All debris created as a result of any tree removal work shall be removed by the project applicant from the property within two weeks of debris creation, and such debris shall be properly disposed of by the project applicant in accordance with all applicable laws, ordinances, and regulations.

When Required: During construction

Initial Approval: Public Works Department, Tree Division

Monitoring/Inspection: Bureau of Building

**c. *Tree Replacement Plantings***

Requirement: Replacement plantings shall be required for tree removals for the purposes of erosion control, groundwater replenishment, visual screening, wildlife habitat, and preventing excessive loss of shade, in accordance with the following criteria:

- i. No tree replacement shall be required for the removal of nonnative species, for the removal of trees which is required for the benefit of remaining trees, or where insufficient planting area exists for a mature tree of the species being considered.
- ii. Replacement tree species shall consist of *Sequoia sempervirens* (Coast Redwood), *Quercus agrifolia* (Coast Live Oak), *Arbutus menziesii* (Madrone), *Aesculus californica* (California Buckeye), *Umbellularia californica* (California Bay Laurel), or other tree species acceptable to the Tree Division.
- iii. Replacement trees shall be at least twenty-four (24) inch box size, unless a smaller size is recommended by the arborist, except that three fifteen (15) gallon size trees may be substituted for each twenty-four (24) inch box size tree where appropriate.
- iv. Minimum planting areas must be available on site as follows:
  - For *Sequoia sempervirens*, three hundred fifteen (315) square feet per tree;
  - For other species listed, seven hundred (700) square feet per tree.
- v. In the event that replacement trees are required but cannot be planted due to site constraints, an in lieu fee in accordance with the City's Master Fee Schedule may be substituted for required replacement plantings, with all such revenues applied toward tree planting in city parks, streets and medians.



- vi. The project applicant shall install the plantings and maintain the plantings until established. The Tree Reviewer of the Tree Division of the Public Works Department may require a landscape plan showing the replacement plantings and the method of irrigation. Any replacement plantings which fail to become established within one year of planting shall be replanted at the project applicant's expense.

When Required: Prior to building permit final

Initial Approval: Public Works Department, Tree Division

Monitoring/Inspection: Bureau of Building

## **CULTURAL RESOURCES**

### **20. Archaeological and Paleontological Resources – Discovery During Construction**

Requirement: Pursuant to CEQA Guidelines section 15064.5(f), in the event that any historic or prehistoric subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined unnecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted. Work may proceed on other parts of the project site while measures for the cultural resources are implemented.

In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.

## **CONDITIONS OF APPROVAL**



In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**21. Human Remains – Discovery During Construction**

Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

## **GEOLOGY AND SOILS**

**22. Construction-Related Permit(s)**

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building



**23. Soils Report**

Requirement: The project applicant shall submit a soils report prepared by a registered geotechnical engineer for City review and approval. The soils report shall contain, at a minimum, field test results and observations regarding the nature, distribution and strength of existing soils, and recommendations for appropriate grading practices and project design. The project applicant shall implement the recommendations contained in the approved report during project design and construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**24. Seismic Hazards Zone (Landslide/Liquefaction)**

Requirement: The project applicant shall submit a site-specific geotechnical report, consistent with California Geological Survey Special Publication 117 (as amended), prepared by a registered geotechnical engineer for City review and approval containing at a minimum a description of the geological and geotechnical conditions at the site, an evaluation of site-specific seismic hazards based on geological and geotechnical conditions, and recommended measures to reduce potential impacts related to liquefaction and/or slope stability hazards. The project applicant shall implement the recommendations contained in the approved report during project design and construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**HAZARDS AND HAZARDOUS MATERIALS****25. Hazardous Materials Related to Construction**

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:

- a. Follow manufacture's recommendations for use, storage, and disposal of chemical products used in construction;
- b. Avoid overtopping construction equipment fuel gas tanks;
- c. During routine maintenance of construction equipment, properly contain and remove grease and oils;
- d. Properly dispose of discarded containers of fuels and other chemicals;



- e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and
- f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums or other hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

## **HYDROLOGY AND WATER QUALITY**

### **26. Erosion and Sedimentation Control Measures for Construction**

Requirement: The project applicant shall implement Best Management Practices (BMPs) to reduce erosion, sedimentation, and water quality impacts during construction to the maximum extent practicable. At a minimum, the project applicant shall provide filter materials deemed acceptable to the City at nearby catch basins to prevent any debris and dirt from flowing into the City's storm drain system and creeks.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

### **27. Erosion and Sedimentation Control Plan for Construction**

#### **d. Erosion and Sedimentation Control Plan Required**

Requirement: The project applicant shall submit an Erosion and Sedimentation Control Plan to the City for review and approval. The Erosion and Sedimentation Control Plan shall include all necessary measures to be taken to prevent excessive stormwater runoff or carrying by stormwater runoff of solid materials on to lands of adjacent property owners, public streets, or to creeks as a result of conditions created by grading and/or construction operations. The Plan shall include, but not be limited to, such measures as short-term erosion control planting, waterproof slope covering, check dams, interceptor ditches, benches, storm drains, dissipation structures, diversion dikes, retarding berms



and barriers, devices to trap, store and filter out sediment, and stormwater retention basins. Off-site work by the project applicant may be necessary. The project applicant shall obtain permission or easements necessary for off-site work. There shall be a clear notation that the plan is subject to changes as changing conditions occur. Calculations of anticipated stormwater runoff and sediment volumes shall be included, if required by the City. The Plan shall specify that, after construction is complete, the project applicant shall ensure that the storm drain system shall be inspected and that the project applicant shall clear the system of any debris or sediment.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

***e. Erosion and Sedimentation Control During Construction***

Requirement: The project applicant shall implement the approved Erosion and Sedimentation Control Plan. No grading shall occur during the wet weather season (October 15 through April 15) unless specifically authorized in writing by the Bureau of Building.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**28. Site Design Measures to Reduce Stormwater Runoff**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate site design measures into the project to reduce the amount of stormwater runoff. These measures may include, but are not limited to, the following:

- a. Minimize impervious surfaces, especially directly connected impervious surfaces and surface parking areas;
- b. Utilize permeable paving in place of impervious paving where appropriate;
- c. Cluster structures;
- d. Direct roof runoff to vegetated areas;
- e. Preserve quality open space; and
- f. Establish vegetated buffer areas.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A



**29. Source Control Measures to Limit Stormwater Pollution**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate source control measures to limit pollution in stormwater runoff. These measures may include, but are not limited to, the following:

- a. Stencil storm drain inlets "No Dumping – Drains to Bay;"
- b. Minimize the use of pesticides and fertilizers;
- c. Cover outdoor material storage areas, loading docks, repair/maintenance bays and fueling areas;
- d. Cover trash, food waste, and compactor enclosures; and
- e. Plumb the following discharges to the sanitary sewer system, subject to City approval:
- f. Discharges from indoor floor mats, equipment, hood filter, wash racks, and, covered outdoor wash racks for restaurants;
- g. Dumpster drips from covered trash, food waste, and compactor enclosures;
- h. Discharges from outdoor covered wash areas for vehicles, equipment, and accessories;
- i. Swimming pool water, if discharge to on-site vegetated areas is not feasible; and
- j. Fire sprinkler test water, if discharge to on-site vegetated areas is not feasible.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

**30. NPDES C.3 Stormwater Requirements for Small Projects**

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant shall incorporate one or more of the following site design measures into the project:

- a. Direct roof runoff into cisterns or rain barrels for reuse;
- b. Direct roof runoff onto vegetated areas;
- c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas;
- d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas;
- e. Construct sidewalks, walkways, and/or patios with permeable surfaces; or
- f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.

The project drawings submitted for construction-related permits shall include the proposed site design measure(s) and the approved measure(s) shall be installed during construction. The design and installation of the measure(s) shall comply with all applicable City requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning; Bureau of Building



Monitoring/Inspection: Bureau of Building

## **NOISE**

### **31. Construction Days/Hours**

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

### **32. Construction Noise**

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

- a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers,



ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.

- b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.
- c. Applicant shall use temporary power poles instead of generators where feasible.
- d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.
- e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

### 33. **Extreme Construction Noise**

#### ***a. Construction Noise Management Plan Required***

Requirement: Prior to any extreme noise generating construction activities (e.g., pier drilling, pile driving and other activities generating greater than 90dBA), the project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction impacts associated with extreme noise generating activities. The project applicant shall implement the approved Plan during construction. Potential attenuation measures include, but are not limited to, the following:

- i. Erect temporary plywood noise barriers around the construction site, particularly along on sites adjacent to residential buildings;
- ii. Implement "quiet" pile driving technology (such as pre-drilling of piles, the use of more than one pile driver to shorten the total pile driving duration), where feasible, in consideration of geotechnical and structural requirements and conditions;
- iii. Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site;



- iv. Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings by the use of sound blankets for example and implement such measure if such measures are feasible and would noticeably reduce noise impacts; and
- v. Monitor the effectiveness of noise attenuation measures by taking noise measurements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

***b. Public Notification Required***

Requirement: The project applicant shall notify property owners and occupants located within 300 feet of the construction activities at least 14 calendar days prior to commencing extreme noise generating activities. Prior to providing the notice, the project applicant shall submit to the City for review and approval the proposed type and duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.

When Required: During construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**34. Project-Specific Construction Noise Reduction Measures**

Requirement: The project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction noise impacts. The project applicant shall implement the approved Plan during construction

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**35. Construction Noise Complaints**

Requirement: The project applicant shall submit to the City for review and approval a set of procedures for responding to and tracking complaints received pertaining to construction noise, and shall implement the procedures during construction. At a minimum, the procedures shall include:

- a. Designation of an on-site construction complaint and enforcement manager for the project;



- b. A large on-site sign near the public right-of-way containing permitted construction days/hours, complaint procedures, and phone numbers for the project complaint manager and City Code Enforcement unit;
- c. Protocols for receiving, responding to, and tracking received complaints; and
- d. Maintenance of a complaint log that records received complaints and how complaints were addressed, which shall be submitted to the City for review upon the City's request.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**36. Operational Noise**

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

## **TRANSPORTATION/TRAFFIC**

**37. Construction Activity in the Public Right-of-Way**

**a. Obstruction Permit Required**

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets and sidewalks.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

**b. Traffic Control Plan Required**

Requirement: In the event of obstructions to vehicle or bicycle travel lanes, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian detours, including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The project applicant shall implement the approved Plan during construction.



When Required: Prior to approval of construction-related permit

Initial Approval Public Works Department, Transportation Services Division

Monitoring/Inspection: Bureau of Building

**c. Repair of City Streets**

Requirement: The project applicant shall repair any damage to the public right-of way, including streets and sidewalks caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**38. Bicycle Parking**

Requirement: The project applicant shall comply with the City of Oakland Bicycle Parking Requirements (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall demonstrate compliance with the requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**UTILITY AND SERVICE SYSTEMS**

**39. Construction and Demolition Waste Reduction and Recycling**

Requirement: The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at [www.greenhalosystems.com](http://www.greenhalosystems.com) or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.

When Required: Prior to approval of construction-related permit



Initial Approval: Public Works Department, Environmental Services Division

Monitoring/Inspection: Public Works Department, Environmental Services Division

**40. Underground Utilities**

Requirement: The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**41. Recycling Collection and Storage Space**

Requirement: The project applicant shall comply with the City of Oakland Recycling Space Allocation Ordinance (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall contain recycling collection and storage areas in compliance with the Ordinance. For residential projects, at least two cubic feet of storage and collection space per residential unit is required, with a minimum of ten cubic feet. For nonresidential projects, at least two cubic feet of storage and collection space per 1,000 square feet of building floor area is required, with a minimum of ten cubic feet.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**42. Green Building Requirements**

***a. Compliance with Green Building Requirements During Plan-Check***

Requirement: The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (chapter 18.02 of the Oakland Municipal Code).

- i. The following information shall be submitted to the City for review and approval with the application for a building permit:
  - Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards.
  - Completed copy of the final green building checklist approved during the review of the Planning and Zoning permit.



- Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit.
  - Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below.
  - Copy of the signed statement by the Green Building Certifier approved during the review of the Planning and Zoning permit that the project complied with the requirements of the Green Building Ordinance.
  - Signed statement by the Green Building Certifier that the project still complies with the requirements of the Green Building Ordinance, unless an Unreasonable Hardship Exemption was granted during the review of the Planning and Zoning permit.
  - Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.
- ii. The set of plans in subsection (i) shall demonstrate compliance with the following:
- CALGreen mandatory measures.
  - All pre-requisites per the green building checklist approved during the review of the Planning and Zoning permit, or, if applicable, all the green building measures approved as part of the Unreasonable Hardship Exemption granted during the review of the Planning and Zoning permit.
  - **53 points** per the appropriate checklist approved during the Planning entitlement process.
  - All green building points identified on the checklist approved during review of the Planning and Zoning permit, unless a Request for Revision Plan-check application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted.
  - The required green building point minimums in the appropriate credit categories.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

**b. *Compliance with Green Building Requirements During Construction***

Requirement: The project applicant shall comply with the applicable requirements of CALGreen and the Oakland Green Building Ordinance during construction of the project.

The following information shall be submitted to the City for review and approval:

- i. Completed copies of the green building checklists approved during the review of the Planning and Zoning permit and during the review of the building permit.



- ii. Signed statement(s) by the Green Building Certifier during all relevant phases of construction that the project complies with the requirements of the Green Building Ordinance.
- iii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

**c. *Compliance with Green Building Requirements After Construction***

Requirement: Within sixty (60) days of the final inspection of the building permit for the project, the Green Building Certifier shall submit the appropriate documentation to **Green Building Certification Institute** and attain the minimum required certification/point level. Within one year of the final inspection of the building permit for the project, the applicant shall submit to the Bureau of Planning the Certificate from the organization listed above demonstrating certification and compliance with the minimum point/certification level noted above.

When Required: After project completion as specified

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

**43. Sanitary Sewer System**

Requirement: The project applicant shall prepare and submit a Sanitary Sewer Impact Analysis to the City for review and approval in accordance with the City of Oakland Sanitary Sewer Design Guidelines. The Impact Analysis shall include an estimate of pre-project and post-project wastewater flow from the project site. In the event that the Impact Analysis indicates that the net increase in project wastewater flow exceeds City-projected increases in wastewater flow in the sanitary sewer system, the project applicant shall pay the Sanitary Sewer Impact Fee in accordance with the City's Master Fee Schedule for funding improvements to the sanitary sewer system.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Department of Engineering and Construction

Monitoring/Inspection: N/A

**44. Storm Drain System**

Requirement: The project storm drainage system shall be designed in accordance with the City of Oakland's Storm Drainage Design Guidelines. To the maximum extent practicable, peak stormwater runoff from the project site shall be reduced by at least 25 percent compared to the pre-project condition.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building



Monitoring/Inspection: Bureau of Building

**Applicant Statement**

I have read and accept responsibility for the Conditions of Approval. I agree to abide by and conform to the Conditions of Approval, as well as to all provisions of the Oakland Planning Code and Oakland Municipal Code pertaining to the project.

---

\_\_\_\_\_  
Name of Project Applicant

\_\_\_\_\_  
Signature of Project Applicant

\_\_\_\_\_  
Date

**APPROVED BY:**

City Planning Commission: \_\_\_\_\_ (date) \_\_\_\_\_ (vote)

***CONDITIONS OF APPROVAL***



& < > @ / # AB ABV A/C AD ADJ AFF AIA ALT ALUM APPROX ARCH ASPH AVG BD BTW BLDG BLKG BM BOT BUR C CAB CAR CB CC CEC CI CLO CLG CMU C.O. COAX COL COMM CONC CONN CONST CONT CONTR CPT CU DBL DF DET DIA DIM DISP DIST DIV DN DNP DW DWG DWR EA EB EF EJ ELECT ELEV EN ENGR EQ ES EW (E) EXIST EXP EXT FB FD FDN FIN FJ FL, FLR FOC FOF FOS FP FR FS FT FTG FUR FUT G GALV GB GEN GFI GI GL GR GSM GYP HB HC HDG HDR HORIZ HT HTR HW HWH ID IF IN INCL INSUL INT JST JT KD LAV LB LH LP LT MAX MB MED MEMB MEZZ MFR MIN MISC MO MSRY MTD	AND ANGLE, LESS THAN AT PER POUND OR NUMBER ANCHOR BOLT ABOVE AIR CONDITIONING AREA DRAIN ADJUSTABLE ABOVE FINISHED FLOOR AMERICAN INSTITUTE OF ARCHITECTS ALTERNATE ALUMINUM APPROXIMATELY ARCHITECTURAL ASPHALT AMERICAN WIRE GAGE BOARD BETWEEN BUILDING BLOCKING BEAM BOTTOM OF FOOTING BOTTOM BUILT-UP ROOF CENTERLINE CABINET COLD AIR RETURN CATCH BASIN CEMENT COATED CALIFORNIA ENERGY COMMISSION CAST IRON CEILING JOIST CLOSET CEILING CONCRETE MASONRY UNIT CLEANOUT COAXIAL CABLE COLUMN COMMUNICATION CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR COMPUTER CUBIC DOUBLE DOUGLAS FIR DETAIL DIAMETER DIMENSION DISPOSAL DISTRIBUTION DIVIDED OR DIVISION DOWN DOOR DOWNSPOUT DISHWASHER DRAWING DRAWER EACH EXPANSION BOLT EACH FACE EXPANSION JOINT ELECTRIC ELEVATION EDGE NAIL ENGINEER EQUAL EACH SIDE EACH WAY EXISTING EXPANSION EXTERIOR FLAT BAR FLOOR DRAIN FOUNDATION FINISH FLOOR JOIST FLOOR FACE OF CONCRETE FACE OF FINISH FACE OF STUD FIREPLACE OR FULL PENETRATION FLOOR REGISTER FAR SIDE FOOT OR FEET FOOTING FURRING FUTURE GAS GAUGE GALVANIZED GRADE BEAM GENERAL GROUND FAULT INTERRUPTOR GALVANIZED IRON GLAZING OR GLASS GRADE GALVANIZED SHEET METAL GYPSUM HOSE BIBB HOLLOW CORE HOT DIP GALVANIZED HEADER HORIZONTAL HEIGHT HEATER HOT WATER HOT WATER HEATER INSIDE DIAMETER INSIDE FACE INCH INCLUDE INSULATION INTERIOR JOIST JOINT KILN-DRIED LAVATORY POUND LEFT HAND LOW POINT LIGHT MAXIMUM MACHINE BOLT MEDIUM MEMBRANE MEZZANINE MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MASONRY MOUNTED	MTL (N) NIC NOM NOMS O O/ OA OC OCEW OD OF OFICI OH OPP HAND OPNG OVHD PL PLAM PLF PLY PR PRCST PSF PSI PT RD REINF REQ RESIL REV RH RJ RM RS RWD RWL SAD SC SCHED SD SECT SED SH SHT SIM SLO SM SMD SPD SYM SPEC SKR SQ SS SSD STAGG'D STD STL STRL SUSP SYM T & B TC T & G TEMP THK TOB TOC TOF TOP TOS TPH TW, TOW TYP UON VERT VGF VIF W/ WC WD WOW WP WP'NG WR	NEW NOT IN CONTRACT NOMINAL NOT TO SCALE DIAMETER OVER OVERALL ON CENTER ON CENTER EACH WAY OUTSIDE DIAMETER OUTSIDE FACE OWNER FURNISH, CONTRACTOR INSTALL OVERHANG OPP HAND OPENING OVERHEAD PLATE PLASTIC LAMINATE POUNDS PER LINEAL FOOT PLYWOOD PAIR PRECAST POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED WITH PRESERVATIVE ROOF DRAIN REINFORCEMENT REQUIRED RESILIENT REVISION OR REVISED RIGHT HAND ROOF JOIST ROOM ROUGH OPENING OR ROLL OUT RING SHANK REDWOOD RAIN WATER LEADER SEE ARCHITECTURAL DRAWINGS SOLID CORE SCHEDULE SMOKE DETECTOR SECTION SEE ELECTRICAL DRAWINGS SHELF SHEET SIMILAR SEE LANDSCAPE DRAWINGS SHEET METAL SEE MECHANICAL DRAWINGS SEE PLUMBING DRAWINGS SPECIFICATION SPEAKER SQUARE STAINLESS STEEL OR SANITARY SEWER SEE STRUCTURAL DRAWINGS STAGGERED STANDARD STEEL STRUCTURAL SUSPEND (ED) SYMMETRICAL TOP & BOTTOM TOP OF CURB TONGUE & GROOVE TEMPERED THICK TOP OF BEAM TOP OF CONCRETE TOP OF FOOTING TOP OF PLATE TOP OF STEEL TOILET PAPER HOLDER TOP OF WALL TYPICAL UNLESS OTHERWISE NOTED VERTICAL VERT. GRAIN DOUG. FIR (10 RINGS/IN. MIN.) VERIFY IN FIELD WITH WATER CLOSET WOOD WINDOW WATERPROOF WATERPROOFING WALL REGISTER

1 ABBREVIATIONS

GENERAL		DIMENSIONING	BUILDING SECTION IDENTIFICATION	EXTERIOR ELEVATION IDENTIFICATION	DETAIL IDENTIFICATION	INTERIOR ELEVATION IDENTIFICATION	DATUM POINT	CEILING HEIGHT	SHEET NOTE	ROOM IDENTIFICATION (SEE INTERIOR FINISH SCHEDULE FOR ALL FINISHES.)	DRAWING REVISION (MOST RECENT IS CLOUDED; PRIOR REVISIONS ARE PERMANENT)	SCHEDULES	DOOR IDENTIFICATION (SEE DOOR/WINDOW SCHEDULE.)	WINDOW TYPE (SEE DOOR/WINDOW SCHEDULE)	WALL/PARTITION TYPE (SEE WALL SCHEDULE)	APPLIANCE (SEE APPLIANCE SCHEDULE)

1. ALL WORK SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, LAWS AND ORDINANCES AS REQUIRED BY CODES AND REGULATIONS LISTED HEREIN AND AS REQUIRED BY THE STATE OF CALIFORNIA AND ALL RELEVANT REGULATORY BODIES.

2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT PROMPTLY OF ANY DISCREPANCIES AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED WORK. FOLLOW NUMERICAL DIMENSIONS; DO NOT SCALE.

3. FLOOR PLAN DIMENSIONS SHOWN ARE FACE OF FINISH AT NEW CONSTRUCTION.

4. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE AND THROUGHOUT THE COURSE OF WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE ARCHITECT BEFORE DOING THE WORK RELATED TO THAT BEING INSPECTED.

5. BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING SITE CONDITIONS AND DETERMINE THE EXTENT OF THE EXISTING FINISHES, SPECIALTIES, AND OTHER ITEMS WHICH MUST BE REMOVED AND INSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. COORDINATE AND MAKE THIS INSPECTION WITH THE OWNER.

6. THE ARCHITECTURAL DRAWINGS SHOW PRINCIPLE AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SYSTEMS. SUCH WORK IS ALSO PART OF THIS CONTRACT.

7. DO NOT DRILL OR CUT JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS, PIPES, AND OTHER ITEMS PASSING THROUGH OPENINGS.

8. WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE, SHALL MATCH TO THE SATISFACTION OF THE ARCHITECT.

9. BEFORE BEGINNING WORK, CREATE AN ACCOUNT AT GREEN HALO TO MONITOR CONSTRUCTION AND DEMOLITION DEBRIS DISPOSAL. ENSURE THAT ALL DEBRIS DISPOSAL IS ACCOUNTED FOR ON PAPER RECEIPTS, WITH AMOUNT RECYCLED TRACKED.

10. INDOOR PLUMBING: INSTALL WATER-EFFICIENT FIXTURES AND FITTINGS AS SUMMARIZED IN CALGREEN.

11. PEST PROTECTION: ANNULAR SPACE AROUND PIPES, ELECTRICAL CABLES, CONDUITS, AND OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD FOR PROTECTION AGAINST RODENTS.

12. CONTRACTOR TO VERIFY THAT WALL AND FLOOR FRAMING DOES NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE IN COMPLIANCE WITH CALGREEN 4.505.3.

13. HVAC SYSTEM TO BE DESIGNED AND INSTALLED TO ACCA MANUAL J, D, AND S.

14. HVAC INSTALLER TO BE TRAINED AND CERTIFIED VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM, OR OTHER PROGRAM ACCEPTABLE TO THE BUILDING SERVICES DIVISION.

15. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM.

16. ALL MATERIALS TO MEET MANDATORY REQUIREMENTS OF CALGREEN.

2 GENERAL NOTES

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW:	2016 CALIFORNIA CODES	OAKLAND AMENDMENTS	APPLICABLE FEDERAL CODES & STANDARDS: TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

5 APPLICABLE CODES

4 ASSESSOR'S MAP

OWNER:	DILLER CAPITAL JIM DILLER, PRINCIPAL PO BOX 620341 WOODSIDE, CA 94602 TEL: 650.269.4027 EMAIL: jim@dillercapital.com	PROJECT MANAGER/G.C.:	TBD	ARCHITECT:	CARRIE SHORES LARSON SHORES ARCHITECTURE + INTERIORS 1940 UNION STREET #22 OAKLAND, CA 94607 TEL: 510.444.9788 EMAIL: carrie@larsonshores.com	ENGINEER:	KEVIN TREAT KPW STRUCTURAL ENGINEERS 55 HARRISON STREET #550 OAKLAND, CA 94607 TEL: 510.208.3300 EMAIL: treat@kpwe.com	ARCHITECTURAL:	A0.0 PROJECT INFORMATION A0.1 CODE SUMMARY & SITE DIAGRAM LAYOUTS A0.2 SHADOW STUDIES A0.3 RENDERINGS A1.0 SITE SURVEY A1.1 PROPOSED SITE/ROOF PLAN A2.0 FIRST FLOOR OVERALL PLAN A2.1 SECOND FLOOR OVERALL PLAN A2.2 THIRD FLOOR OVERALL PLAN A3.0 EAST & SOUTH ELEVATIONS A3.1 WEST & NORTH ELEVATIONS A3.2 STREET CONTEXT ELEVATIONS A4.0 BUILDING SECTIONS	LANDSCAPE:	L.1 FIRST FLOOR LAYOUT PLAN L.2 THIRD FLOOR LAYOUT PLAN L.3 LAYOUT NOTES AND DETAILS 1/2 L.4 FIRST FLOOR PLANTING PLAN L.5 THIRD FLOOR PLANTING PLAN L.6 FIRST FLOOR IRRIGATION PLAN 1/2 L.7 FIRST FLOOR IRRIGATION PLAN 2/2 L.8 THIRD FLOOR IRRIGATION PLAN L.9 IRRIGATION CALCS AND NOTES

7 PROJECT TEAM

10 SHEET INDEX

DESCRIPTION OF WORK:	DEMOLISH EXISTING RESTAURANT, REPLACE WITH NINE-UNIT MULTIFAMILY RESIDENTIAL WITH ON-SITE PARKING.
ADDRESS: 5817 SHATTUCK AVE.	
ZONING DESIGNATION:	RM-4
APN:	015-1370-011-00
ACTUAL SITE AREA (SF):	10,077.85 SF
PROPOSED FLOOR AREA:	16,608 SF
PROPOSED NUMBER OF STORIES:	3
PROPOSED ON-SITE PARKING:	9 SPACES
PROPOSED BUILDING HEIGHT:	30'-10"
FIRE SPRINKLERS:	YES
CONSTRUCTION TYPE:	VA
EXISTING STRUCTURE:	EXISTING RESTAURANT TO BE DEMOLISHED
YEAR OF CONSTRUCTION:	UNKNOWN
OCHS RATING:	NONE

9 PROJECT DATA

6 LOCATION MAP

NOT TO SCALE

9 PROJECT DATA

LARSON SHORES ARCHITECTURE AND INTERIORS

ARCHITECT: LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES

OWNER: DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94602  
JIM@DILLERCAPITAL.COM



DEVELOPMENT 5817 SHATTUCK AVE OAKLAND, CA 94609

SUBMITTAL: PLANNING SET  
FEBRUARY 2017

REVISIONS:	DATE	DESCRIPTION

These drawings, specifications, ideas, designs, and arrangements presented hereby are and shall remain the property of Larson Shores Architecture + Interiors. No part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they were prepared and developed without the written consent of Larson Shores Architecture + Interiors. Verbal contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

SHEET TITLE: PROJECT INFORMATION

PROJECT INFORMATION

SHEET NUMBER: A0.0

A0.0



CODE ANALYSIS

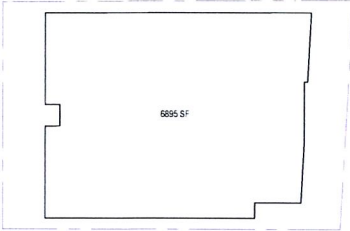
PERMITTED DENSITY

OMC TABLE 17.17.03: PROPERTY DEVELOPMENT STANDARDS

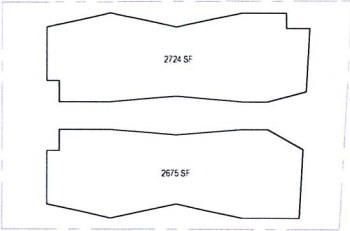
CONDITIONALLY PERMITTED DENSITY (ONLY FOR LOTS 4,000 SF. OR GREATER): FOR 5 OR MORE UNITS, 1 UNIT PER 1,100 SF. OF LOT AREA

LOT SIZE: 10,281 SF / (1 UNIT / 1100 SF) = 9 UNITS

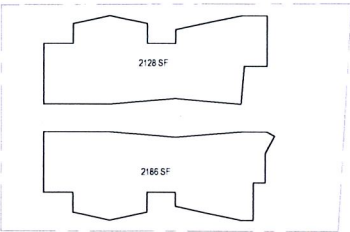
GROSS SQUARE FOOTAGE (FLOOR AREA):



FIRST FLOOR

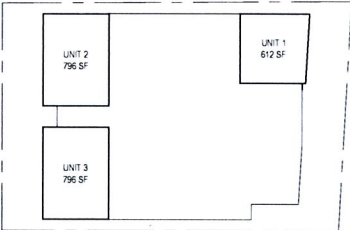


SECOND FLOOR

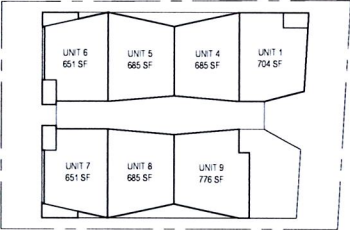


THIRD FLOOR

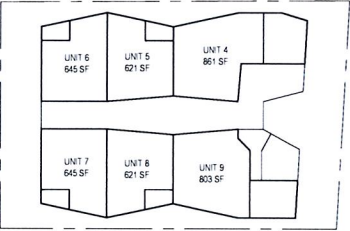
FLOOR	PERMITTED FLOOR AREA	GROSS SQUARE FOOTAGE
1	NO LIMIT	6895 SF
2	NO LIMIT	5399 SF
3	NO LIMIT	4314 SF
TOTAL		16,608 SF



FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

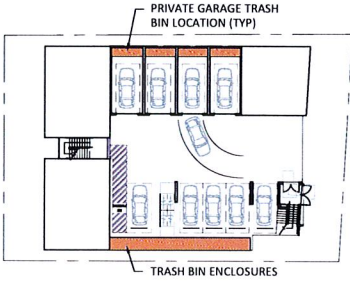
PROPOSED UNIT SIZES:

UNIT #	FLOOR AREA	PRIVATE OPEN SPACE	TOTAL
1	1316 SF	457 SF	1773 SF
2	796 SF	636 SF	1432 SF
3	796 SF	634 SF	1430 SF
4	1546 SF	270 SF	1816 SF
5	1306 SF	63 SF	1369 SF
6	1296 SF	159 SF	1455 SF
7	1296 SF	159 SF	1455 SF
8	1306 SF	63 SF	1369 SF
9	1579 SF	231 SF	1810 SF

RECYCLING AND TRASH

OMC 17.118.030 - RECYCLING SPACE ALLOCATION REQUIREMENTS. THE DESIGN, LOCATION AND MAINTENANCE OF RECYCLING COLLECTION AND STORAGE AREAS MUST SUBSTANTIALLY COMPLY WITH THE PROVISIONS OF THE OAKLAND CITY PLANNING COMMISSION "GUIDELINES FOR THE DEVELOPMENT AND EVALUATION OF RECYCLING COLLECTION AND STORAGE AREAS," AS THEY MAY BE AMENDED. IN ADDITION, SPACE DEVOTED TO THE COLLECTION AND STORAGE OF RECYCLABLE MATERIALS SHALL BE ADEQUATE IN CAPACITY, NUMBER AND DISTRIBUTION TO SERVE THE AFFECTED DEVELOPMENT.

A. SPACE ALLOCATED FOR RECYCLING COLLECTION AND STORAGE AREAS WITHIN AFFECTED RESIDENTIAL PROJECTS SHALL BE PROVIDED IN THE AMOUNT OF TWO CUBIC FEET OF STORAGE AND COLLECTION SPACE PER RESIDENTIAL UNIT, WITH A MINIMUM REQUIREMENT THAT NOT LESS THAN TEN CUBIC FEET BE PROVIDED.



EACH UNIT PROVIDED WITH TRASH BIN AREA WITH MIN. 58 CUFT. SUFFICIENT TO HOLD 3 LARGE ROLLING BINS FOR TRASH, RECYCLING, AND COMPOSTABLES, TO BE PLACED AT THE CURB FOR COLLECTION WEEKLY BY OCCUPANT.

REQUIRED COLLECTION AREA: 16,608 GROSS SF / 1000 = 17 CUFT

PROVIDED COLLECTION AREA: 58 CUFT X 9 UNITS = 522 CUFT

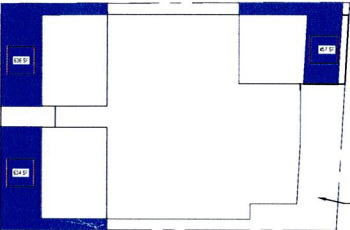
PUBLIC & PRIVATE OPEN SPACE

OMC 17.126.030 - GROUP USABLE OPEN SPACE. ALL REQUIRED GROUP USABLE OPEN SPACE SHALL CONFORM TO THE FOLLOWING STANDARDS:  
C. SIZE AND SHAPE. AN AREA OF CONTIGUOUS SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN FIFTEEN (15) FEET.

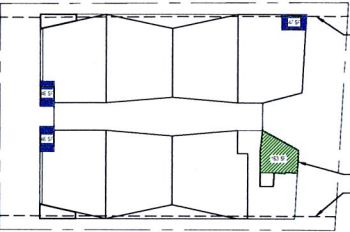
OMC 17.126.040 - PRIVATE USABLE OPEN SPACE. ALL REQUIRED PRIVATE USABLE OPEN SPACE SHALL CONFORM TO THE FOLLOWING STANDARDS:  
B. LOCATION. THE SPACE MAY BE LOCATED ANYWHERE ON THE LOT, EXCEPT THAT GROUND-LEVEL SPACE SHALL NOT BE LOCATED IN A REQUIRED MINIMUM FRONT YARD AND EXCEPT THAT ABOVE-GROUND-LEVEL SPACE SHALL NOT BE LOCATED WITHIN FIVE (5) FEET OF AN INTERIOR SIDE LOT LINE.  
C. SIZE AND SHAPE. AN AREA OF CONTIGUOUS GROUND-LEVEL SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN TEN (10) FEET. AN AREA OF ABOVE-GROUND-LEVEL SPACE SHALL BE OF SUCH SIZE AND SHAPE THAT A RECTANGLE INSCRIBED WITHIN IT SHALL HAVE NO DIMENSION LESS THAN FIVE (5) FEET.  
F. ENCLOSURE. GROUND-LEVEL SPACE SHALL BE SCREENED FROM ABUTTING LOTS, STREETS, ALLEYS, AND PATHS, FROM ABUTTING PRIVATE WAYS, AND FROM OTHER AREAS ON THE SAME LOT BY A BUILDING WALL, BY DENSE LANDSCAPING NOT LESS THAN FIVE AND ONE-HALF (5 1/2) FEET HIGH AND NOT LESS THAN THREE (3) FEET WIDE, OR BY A SOLID OR GRILLE, LUMBER OR MASONRY FENCE OR WALL NOT LESS THAN FIVE AND ONE-HALF (5 1/2) FEET HIGH.

MINIMUM OPEN SPACE	RM-4
GROUP OPEN SPACE PER REGULAR UNIT	175 SF
OMC 17.126.020 - SUBSTITUTION OF PRIVATE SPACE FOR GROUP SPACE. EACH ONE (1) SQUARE FOOT OF PRIVATE USABLE OPEN SPACE CONFORMING TO THE PROVISIONS OF SECTION 17.126.040 SHALL BE CONSIDERED EQUIVALENT TO TWO (2) SQUARE FEET OF REQUIRED GROUP USABLE OPEN SPACE AND MAY BE SO SUBSTITUTED, SUBJECT TO ANY MINIMUM REQUIREMENTS FOR ACTUAL GROUP SPACE PRESCRIBED IN THE APPLICABLE INDIVIDUAL ZONE REGULATIONS.	
MINIMUM GROUP OPEN SPACE PER REGULAR UNIT WHEN PRIVATE OPEN SPACE SUBSTITUTED	70 SF
MINIMUM REQUIRED GROUP OPEN SPACE	630 SF
OUTDOOR GROUP OPEN SPACE PROVIDED	415 SF
INDOOR GROUP OPEN SPACE	163 SF
PRIVATE OPEN SPACE	3100 SF
GROUP OPEN SPACE (415 SF + 163 SF) + PRIVATE OPEN SPACE X 2 (3100 X 2 = 6200 SF) =	6778 SF

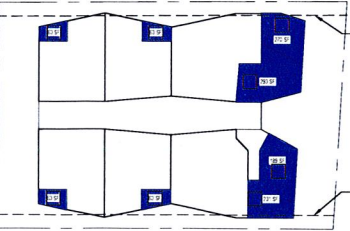
PRIVATE OPEN SPACE  
GROUP OPEN SPACE



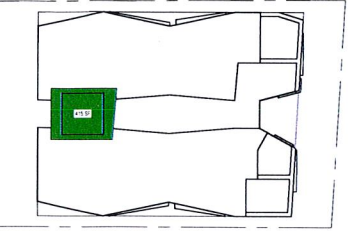
FIRST FLOOR



SECOND FLOOR



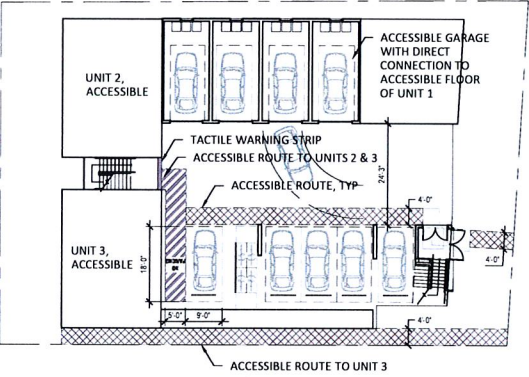
THIRD FLOOR



ROOF

HOUSING ACCESSIBILITY

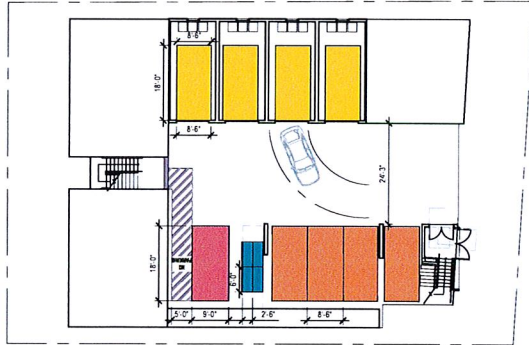
CODE REQUIREMENT	# UNITS REQUIRED	UNITS COMPLYING
1102A.3.1 MULTISTORY APARTMENT OR CONDOMINIUM DWELLINGS IN BUILDINGS WITH NO ELEVATOR: AT LEAST 10 PERCENT BUT NOT LESS THAN ONE OF THE MULTI-STORY DWELLINGS IN APARTMENT BUILDINGS WITH 3 OR MORE DWELLING UNITS AND/OR CONDOMINIUMS WITH 4 OR MORE DWELLING UNITS SHALL COMPLY WITH THE FOLLOWING:		
1. THE PRIMARY ENTRY TO THE DWELLING UNIT SHALL BE ON AN ACCESSIBLE ROUTE	1	1, 2, & 3 (3 UNITS COMPLY)
2. AT LEAST ONE ACCESSIBLE POWDER ROOM OR BATHROOM SHALL BE LOCATED ON THE PRIMARY ENTRY LEVEL, SERVED BY AN ACCESSIBLE ROUTE	1	1, 2, & 3 (3 UNITS COMPLY)
3. ALL ROOMS OR SPACES LOCATED ON THE PRIMARY ENTRY LEVEL SHALL BE SERVED BY AN ACCESSIBLE ROUTE AND SHALL BE ACCESSIBLE	1	1 & 2, UNIT 3 COMPLIES ON FIRST FLOOR (3 UNITS COMPLY)
CBC 1104A.1 ALL GROUND-FLOOR DWELLING UNITS IN NON-ELEVATOR BUILDINGS SHALL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE		
CBC 1117A.3 WHEN A GROUND FLOOR DWELLING UNIT OF A BUILDING HAS A SEPARATE ENTRANCE, EACH SUCH GROUND-FLOOR DWELLING UNIT SHALL BE SERVED BY AN ACCESSIBLE ROUTE	3	1 & 2, UNIT 3 COMPLIES ON FIRST FLOOR (3 UNITS COMPLY)



PARKING

	ZONE	REQUIREMENT
MULTIFAMILY DWELLING	ANY OTHER ZONE, EXCEPT WHEN COMBINED WITH THE S-12 ZONE	ONE (1) SPACE FOR EACH DWELLING UNIT.
SPACES PROVIDED		9

CODE REQUIREMENT	CALCULATION	PROVIDED
CBC 1109A.4 ASSIGNED ACCESSIBLE PARKING SPACES. WHEN ASSIGNED PARKING SPACES ARE PROVIDED FOR A RESIDENT OR A GROUP OF RESIDENTS, AT LEAST 2 PERCENT OF THE ASSIGNED PARKING SPACES SERVING COVERED MULTIFAMILY DWELLING UNITS SHALL BE ACCESSIBLE IN EACH TYPE OF PARKING FACILITY. AT LEAST ONE SPACE OF EACH TYPE OF PARKING FACILITY SHALL BE MADE ACCESSIBLE EVEN IF THE TOTAL NUMBER EXCEEDS 2 PERCENT.	2% OF 9 SPACES = 0.18 SPACES (1 SPACE)	1 ACCESSIBLE STALL PARKING SPACE 4 ACCESSIBLE PRIVATE GARAGE SPACES



PRIVATE GARAGE  
STANDARD PARKING SPACE  
BICYCLE PARKING SPACE  
ACCESSIBLE PARKING SPACE

BICYCLE PARKING

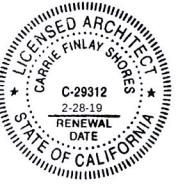
OMC 17.117.090 - REQUIRED BICYCLE PARKING—RESIDENTIAL ACTIVITIES

	LONG-TERM BICYCLE PARKING REQUIREMENT	SHORT-TERM BICYCLE PARKING REQUIREMENT
4) MULTIFAMILY DWELLING		
A) WITH PRIVATE GARAGE FOR EACH UNIT	NO SPACES REQUIRED	1 SPACE FOR EACH 20 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 15 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.
B) WITHOUT PRIVATE GARAGE FOR EACH UNIT.	1 SPACE FOR EACH 4 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 2 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.	1 SPACE FOR EACH 20 DWELLING UNITS. FOR D-BV ZONES, 1 SPACE FOR EACH 15 DWELLING UNITS. MINIMUM CITYWIDE REQUIREMENT IS 2 SPACES.
SPACES PROVIDED	2	2

LARSON  
SHORES  
ARCHITECTURE  
AND INTERIORS

ARCHITECT: LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES

OWNER: DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:

PLANNING SET  
FEBRUARY 2017

REVISIONS:

DATE	DESCRIPTION

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SHEET TITLE:

CODE SUMMARY &  
SITE LAYOUT  
DIAGRAMS

SHEET NUMBER:

A0.1



ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES

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DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITAL:

PLANNING SET  
FEBRUARY 2017

REVISIONS:

Δ	DATE	DESCRIPTION

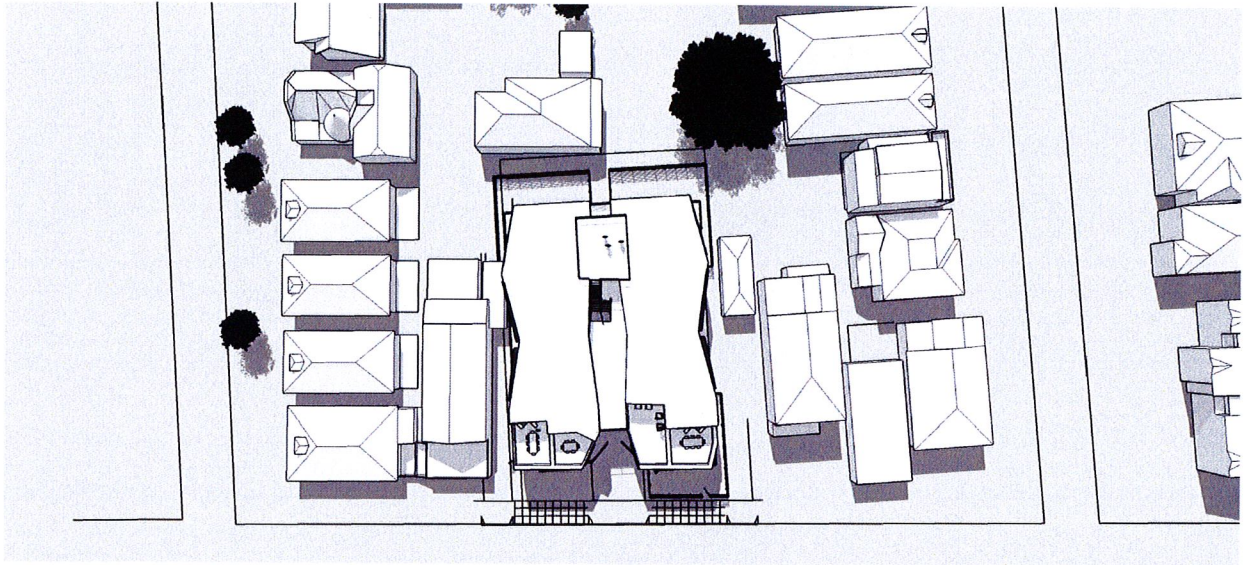
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of acceptance of these restrictions.

SHEET TITLE:

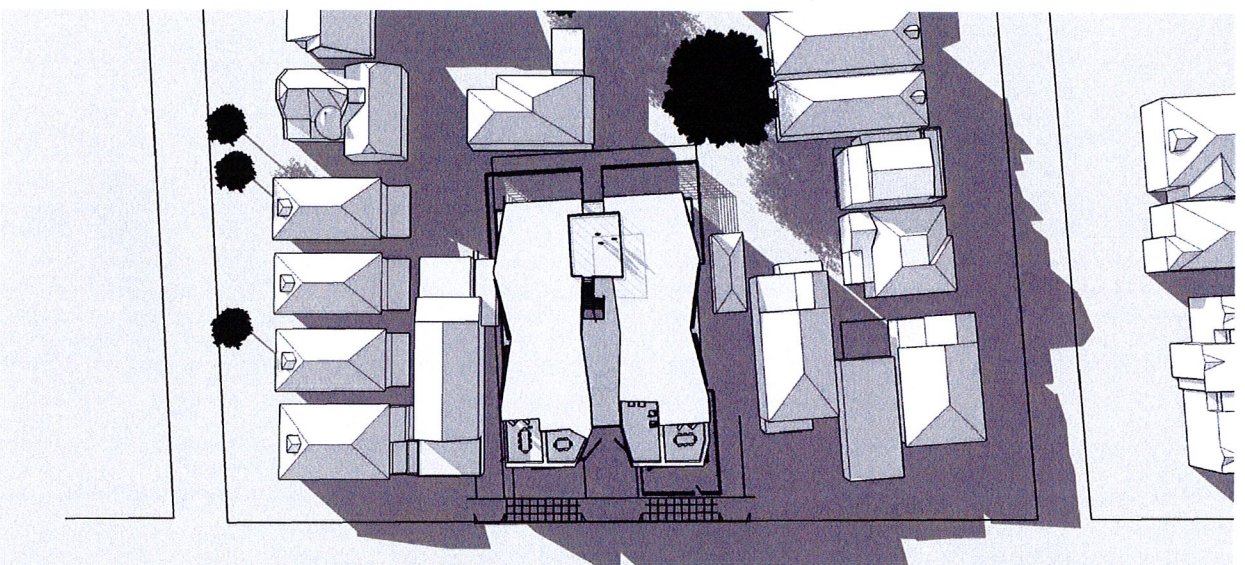
SHADOW STUDIES

SHEET NUMBER:

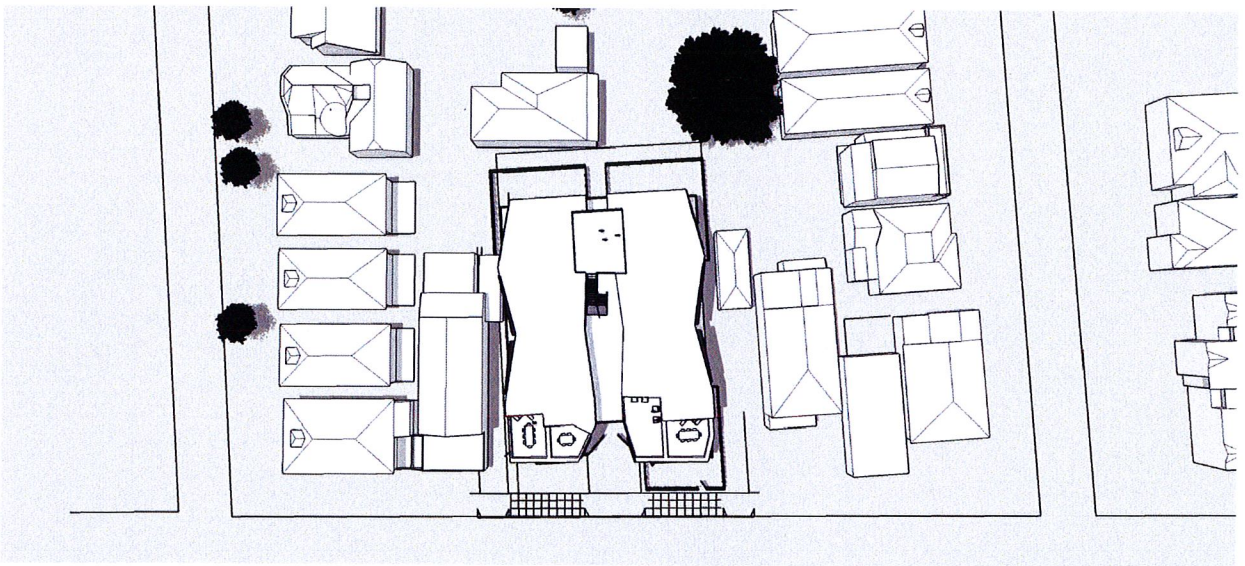
A0.2



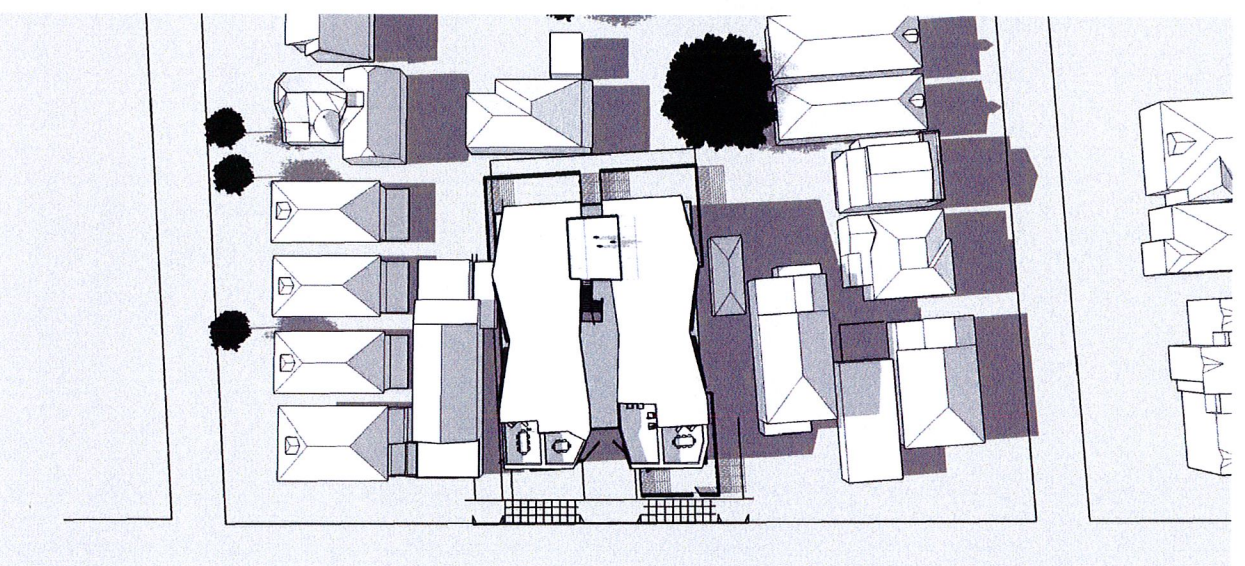
③ 3PM, JUNE 21



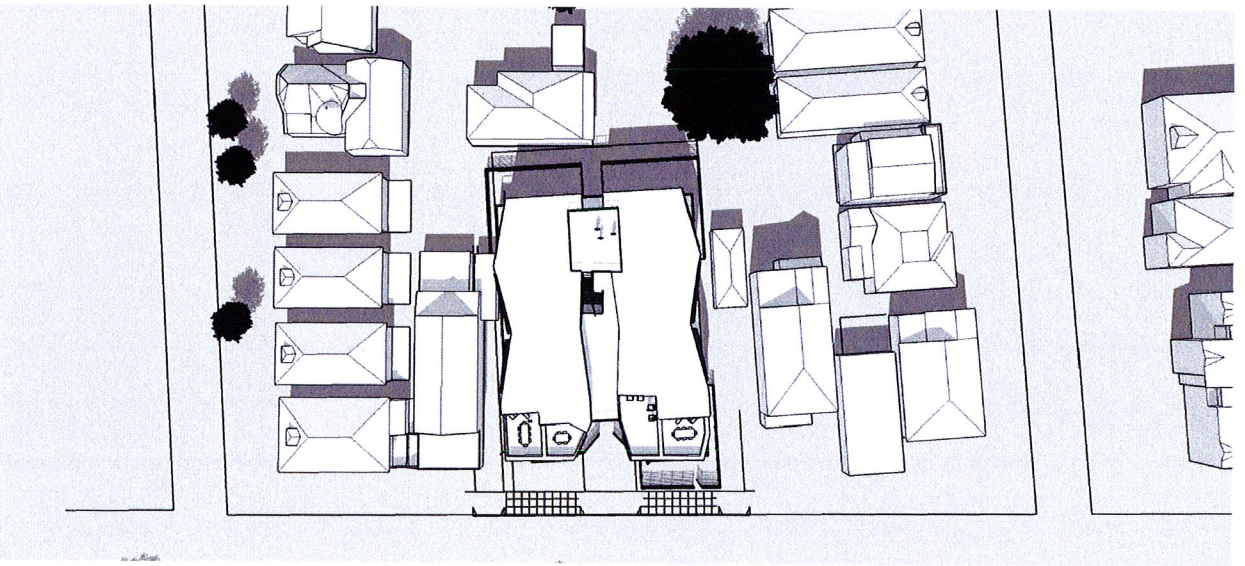
③ 3PM, DECEMBER 21



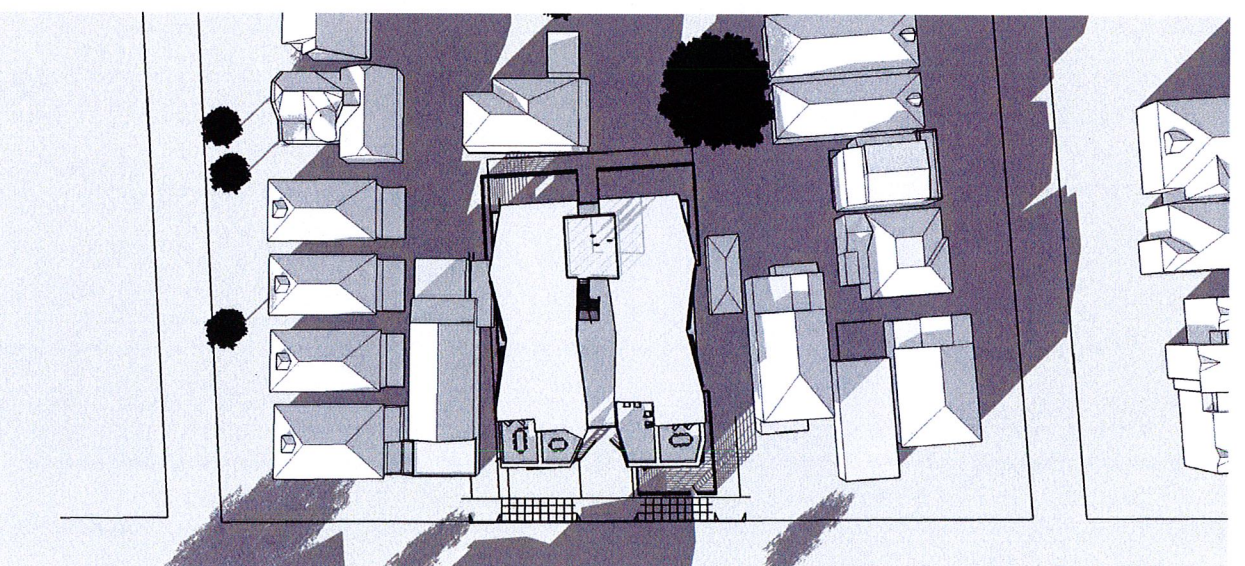
② 12 PM, JUNE 21



② 12 PM, DECEMBER 21



① 9 AM, JUNE 21



① 9 AM, DECEMBER 21





STREET VIEW AT 58TH & SHATTUCK



EAST PERSPECTIVE

- KEY NOTES
- 1. HEIGHT OF NEW STRUCTURE MEDIATES BETWEEN VARIOUS HEIGHTS OF NEIGHBORING RESIDENTIAL AND COMMERCIAL BUILDINGS
  - 2. INTERNAL DRIVEWAY & PARKING PROVIDES VISUAL BUFFER BETWEEN UNITS
  - 3. USE OF LOW SHRUBBERY AT THE EAST PROVIDES VISUAL AND SOUND PRIVACY TO UNIT 1
  - 4. FACADE ANGLES AT THE NORTH & SOUTH SIDES OBSCURE NEIGHBORING VIEWS OF PRIVATE SPACES
  - 5. BUILDING FINIS HELP TO RE-DIRECT LIGHT AND SHADOW FROM INDIVIDUAL UNITS
  - 6. BALCONY PLANTINGS DISTINGUISH BETWEEN PRIVATE AND PUBLIC SPACES AND MAINTAIN VISUAL AND SOUND PRIVACY TO ADJACENT UNITS



SOUTH EAST PERSPECTIVE



NORTH WEST PERSPECTIVE

LARSON  
SHORES  
ARCHITECTURE  
AND INTERIORS

ARCHITECT:  
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DEVELOPMENT  
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OAKLAND, CA 94609

SUBMITAL:

PLANNING SET  
FEBRUARY 2017

REVISIONS:

Δ	DATE	DESCRIPTION

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SHEET TITLE:

RENDERINGS

SHEET NUMBER:

A0.3



# LARSON SHORES ARCHITECTURE AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
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DEVELOPMENT  
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OAKLAND, CA 94609

SUBMITAL:  
PLANNING SET  
FEBRUARY 2017

REVISIONS:	DATE	DESCRIPTION
1		
2		
3		
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10		

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SHEET TITLE:  
**PRELIMINARY  
GREEN POINT  
CHECKLIST**

SHEET NUMBER:

**A0.4**

**NEW HOME RATING SYSTEM, VERSION 7.0**  
**MULTIFAMILY CHECKLIST**

The GreenPoint Rated Multifamily Checklist is a tool for rating multifamily buildings. It is designed to be used by a GreenPoint Rated Multifamily Checklist user. The checklist is a tool for rating multifamily buildings. It is designed to be used by a GreenPoint Rated Multifamily Checklist user. The checklist is a tool for rating multifamily buildings. It is designed to be used by a GreenPoint Rated Multifamily Checklist user.

**POINTS REQUIRED**

**GreenPoint Rated Multifamily Checklist**

Category	Item	Points	Score
A. SITE	A1. Construction Footprint	1	
	A2. Site Site Construction Waste Diversion	1	
	A3. 1% OSD Waste Diversion (Building Materials Only Cover)	1	
	A4. 4% OSD Waste Diversion (Building Materials Only Cover)	1	
	A5. Recycling Rate from Third-Party Verified Materials Waste Facility	1	
	A6. Recycled Content Base Material	1	
	A7. Recycled Content Base Material	1	
	A8. Recycled Content Base Material	1	
	A9. Recycled Content Base Material	1	
	A10. Recycled Content Base Material	1	
B. FOUNDATION	B1. Fly Ash and/or Slag in Concrete	1	
	B2. Reinforced Concrete Construction	1	
	B3. Foundation Drainage System	1	
	B4. Moisture Controlled Crawlspace	1	
	B5. Structural Pest Control	1	
	B6. Termite Barriers and Excluded Exterior Vehicle-to-Structure Connections	1	
	B7. Termite Barriers, Stairs, or Barriers at Least 36 inches from the Foundation	1	
	B8. Termite Barriers, Stairs, or Barriers at Least 36 inches from the Foundation	1	
	B9. Termite Barriers, Stairs, or Barriers at Least 36 inches from the Foundation	1	
	B10. Termite Barriers, Stairs, or Barriers at Least 36 inches from the Foundation	1	
C. LANDSCAPE	C1. Plantings in the Landscape	1	
	C2. Three Inches of Mulch in Planting Beds	1	
	C3. Recycled Efficient Landscapes	1	
	C4. No Invasive Species Listed in the C-4	1	
	C5. Plantings Chosen and Located to Grow to Mature Size	1	
	C6. Plantings Chosen and Located to Grow to Mature Size	1	
	C7. Plantings Chosen and Located to Grow to Mature Size	1	
	C8. Plantings Chosen and Located to Grow to Mature Size	1	
	C9. Plantings Chosen and Located to Grow to Mature Size	1	
	C10. Plantings Chosen and Located to Grow to Mature Size	1	
D. EXTERIOR	D1. Environmentally Preferable Decking	1	
	D2. Flashing Installation Third-Party Verified	1	
	D3. Rain Screen Wall System	1	
	D4. Double and Non-Combustible Cladding Materials	1	
	D5. Double and Non-Combustible Cladding Materials	1	
	D6. Double and Non-Combustible Cladding Materials	1	
	D7. Double and Non-Combustible Cladding Materials	1	
	D8. Double and Non-Combustible Cladding Materials	1	
	D9. Double and Non-Combustible Cladding Materials	1	
	D10. Double and Non-Combustible Cladding Materials	1	
E. INTERIOR	E1. Environmentally Preferable Decking	1	
	E2. Flashing Installation Third-Party Verified	1	
	E3. Rain Screen Wall System	1	
	E4. Double and Non-Combustible Cladding Materials	1	
	E5. Double and Non-Combustible Cladding Materials	1	
	E6. Double and Non-Combustible Cladding Materials	1	
	E7. Double and Non-Combustible Cladding Materials	1	
	E8. Double and Non-Combustible Cladding Materials	1	
	E9. Double and Non-Combustible Cladding Materials	1	
	E10. Double and Non-Combustible Cladding Materials	1	

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**POINTS REQUIRED**

**GreenPoint Rated Multifamily Checklist**

Category	Item	Points	Score
F. MECHANICAL	F1. Mechanical Equipment with Certified Professional	1	
	F2. Mechanical Equipment with Certified Professional	1	
	F3. Mechanical Equipment with Certified Professional	1	
	F4. Mechanical Equipment with Certified Professional	1	
	F5. Mechanical Equipment with Certified Professional	1	
	F6. Mechanical Equipment with Certified Professional	1	
	F7. Mechanical Equipment with Certified Professional	1	
	F8. Mechanical Equipment with Certified Professional	1	
	F9. Mechanical Equipment with Certified Professional	1	
	F10. Mechanical Equipment with Certified Professional	1	
G. ELECTRICAL	G1. Electrical Equipment with Certified Professional	1	
	G2. Electrical Equipment with Certified Professional	1	
	G3. Electrical Equipment with Certified Professional	1	
	G4. Electrical Equipment with Certified Professional	1	
	G5. Electrical Equipment with Certified Professional	1	
	G6. Electrical Equipment with Certified Professional	1	
	G7. Electrical Equipment with Certified Professional	1	
	G8. Electrical Equipment with Certified Professional	1	
	G9. Electrical Equipment with Certified Professional	1	
	G10. Electrical Equipment with Certified Professional	1	
H. PLUMBING	H1. Plumbing Equipment with Certified Professional	1	
	H2. Plumbing Equipment with Certified Professional	1	
	H3. Plumbing Equipment with Certified Professional	1	
	H4. Plumbing Equipment with Certified Professional	1	
	H5. Plumbing Equipment with Certified Professional	1	
	H6. Plumbing Equipment with Certified Professional	1	
	H7. Plumbing Equipment with Certified Professional	1	
	H8. Plumbing Equipment with Certified Professional	1	
	H9. Plumbing Equipment with Certified Professional	1	
	H10. Plumbing Equipment with Certified Professional	1	
I. INSULATION	I1. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I2. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I3. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I4. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I5. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I6. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I7. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I8. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I9. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	I10. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	

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**POINTS REQUIRED**

**GreenPoint Rated Multifamily Checklist**

Category	Item	Points	Score
J. ROOFING	J1. Roofing Equipment with Certified Professional	1	
	J2. Roofing Equipment with Certified Professional	1	
	J3. Roofing Equipment with Certified Professional	1	
	J4. Roofing Equipment with Certified Professional	1	
	J5. Roofing Equipment with Certified Professional	1	
	J6. Roofing Equipment with Certified Professional	1	
	J7. Roofing Equipment with Certified Professional	1	
	J8. Roofing Equipment with Certified Professional	1	
	J9. Roofing Equipment with Certified Professional	1	
	J10. Roofing Equipment with Certified Professional	1	
K. INTERIOR FINISHES	K1. Interior Finishes with Certified Professional	1	
	K2. Interior Finishes with Certified Professional	1	
	K3. Interior Finishes with Certified Professional	1	
	K4. Interior Finishes with Certified Professional	1	
	K5. Interior Finishes with Certified Professional	1	
	K6. Interior Finishes with Certified Professional	1	
	K7. Interior Finishes with Certified Professional	1	
	K8. Interior Finishes with Certified Professional	1	
	K9. Interior Finishes with Certified Professional	1	
	K10. Interior Finishes with Certified Professional	1	
L. MECHANICAL	L1. Mechanical Equipment with Certified Professional	1	
	L2. Mechanical Equipment with Certified Professional	1	
	L3. Mechanical Equipment with Certified Professional	1	
	L4. Mechanical Equipment with Certified Professional	1	
	L5. Mechanical Equipment with Certified Professional	1	
	L6. Mechanical Equipment with Certified Professional	1	
	L7. Mechanical Equipment with Certified Professional	1	
	L8. Mechanical Equipment with Certified Professional	1	
	L9. Mechanical Equipment with Certified Professional	1	
	L10. Mechanical Equipment with Certified Professional	1	

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**POINTS REQUIRED**

**GreenPoint Rated Multifamily Checklist**

Category	Item	Points	Score
M. MECHANICAL	M1. Mechanical Equipment with Certified Professional	1	
	M2. Mechanical Equipment with Certified Professional	1	
	M3. Mechanical Equipment with Certified Professional	1	
	M4. Mechanical Equipment with Certified Professional	1	
	M5. Mechanical Equipment with Certified Professional	1	
	M6. Mechanical Equipment with Certified Professional	1	
	M7. Mechanical Equipment with Certified Professional	1	
	M8. Mechanical Equipment with Certified Professional	1	
	M9. Mechanical Equipment with Certified Professional	1	
	M10. Mechanical Equipment with Certified Professional	1	
N. ELECTRICAL	N1. Electrical Equipment with Certified Professional	1	
	N2. Electrical Equipment with Certified Professional	1	
	N3. Electrical Equipment with Certified Professional	1	
	N4. Electrical Equipment with Certified Professional	1	
	N5. Electrical Equipment with Certified Professional	1	
	N6. Electrical Equipment with Certified Professional	1	
	N7. Electrical Equipment with Certified Professional	1	
	N8. Electrical Equipment with Certified Professional	1	
	N9. Electrical Equipment with Certified Professional	1	
	N10. Electrical Equipment with Certified Professional	1	
O. PLUMBING	O1. Plumbing Equipment with Certified Professional	1	
	O2. Plumbing Equipment with Certified Professional	1	
	O3. Plumbing Equipment with Certified Professional	1	
	O4. Plumbing Equipment with Certified Professional	1	
	O5. Plumbing Equipment with Certified Professional	1	
	O6. Plumbing Equipment with Certified Professional	1	
	O7. Plumbing Equipment with Certified Professional	1	
	O8. Plumbing Equipment with Certified Professional	1	
	O9. Plumbing Equipment with Certified Professional	1	
	O10. Plumbing Equipment with Certified Professional	1	
P. INSULATION	P1. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	P2. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	P3. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	P4. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	P5. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	P6. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	P7. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
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**POINTS REQUIRED**

**GreenPoint Rated Multifamily Checklist**

Category	Item	Points	Score
Q. MECHANICAL	Q1. Mechanical Equipment with Certified Professional	1	
	Q2. Mechanical Equipment with Certified Professional	1	
	Q3. Mechanical Equipment with Certified Professional	1	
	Q4. Mechanical Equipment with Certified Professional	1	
	Q5. Mechanical Equipment with Certified Professional	1	
	Q6. Mechanical Equipment with Certified Professional	1	
	Q7. Mechanical Equipment with Certified Professional	1	
	Q8. Mechanical Equipment with Certified Professional	1	
	Q9. Mechanical Equipment with Certified Professional	1	
	Q10. Mechanical Equipment with Certified Professional	1	
R. ELECTRICAL	R1. Electrical Equipment with Certified Professional	1	
	R2. Electrical Equipment with Certified Professional	1	
	R3. Electrical Equipment with Certified Professional	1	
	R4. Electrical Equipment with Certified Professional	1	
	R5. Electrical Equipment with Certified Professional	1	
	R6. Electrical Equipment with Certified Professional	1	
	R7. Electrical Equipment with Certified Professional	1	
	R8. Electrical Equipment with Certified Professional	1	
	R9. Electrical Equipment with Certified Professional	1	
	R10. Electrical Equipment with Certified Professional	1	
S. PLUMBING	S1. Plumbing Equipment with Certified Professional	1	
	S2. Plumbing Equipment with Certified Professional	1	
	S3. Plumbing Equipment with Certified Professional	1	
	S4. Plumbing Equipment with Certified Professional	1	
	S5. Plumbing Equipment with Certified Professional	1	
	S6. Plumbing Equipment with Certified Professional	1	
	S7. Plumbing Equipment with Certified Professional	1	
	S8. Plumbing Equipment with Certified Professional	1	
	S9. Plumbing Equipment with Certified Professional	1	
	S10. Plumbing Equipment with Certified Professional	1	
T. INSULATION	T1. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	T2. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	T3. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
	T4. Insulation with 50% Post-Consumer or 50% Pre-Industrial Recycled Content	1	
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BASIS OF ELEVATION

CITY OF OAKLAND BENCHMARK #2821  
FIELD BOOK: BL 47 PAGE 19, ELEVATION 104.317  
SQUARE CUT IN CONCRETE CURB, MID RETURN SOUTHWEST  
CORNER OF AILEEN AND SHATTUCK STREET.

BASIS OF BEARING

MONUMENT LINE OF SHATTUCK AVENUE N06°10'14"W AS SHOWN  
UPON PARCEL MAP NO. 10132 FILED FOR RECORD IN BOOK 326  
AT PAGE 35, IS USED AS BASIS OF BEARING FOR THIS MAP.

LEGAL DESCRIPTION

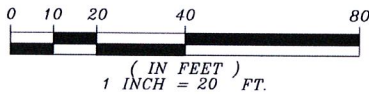
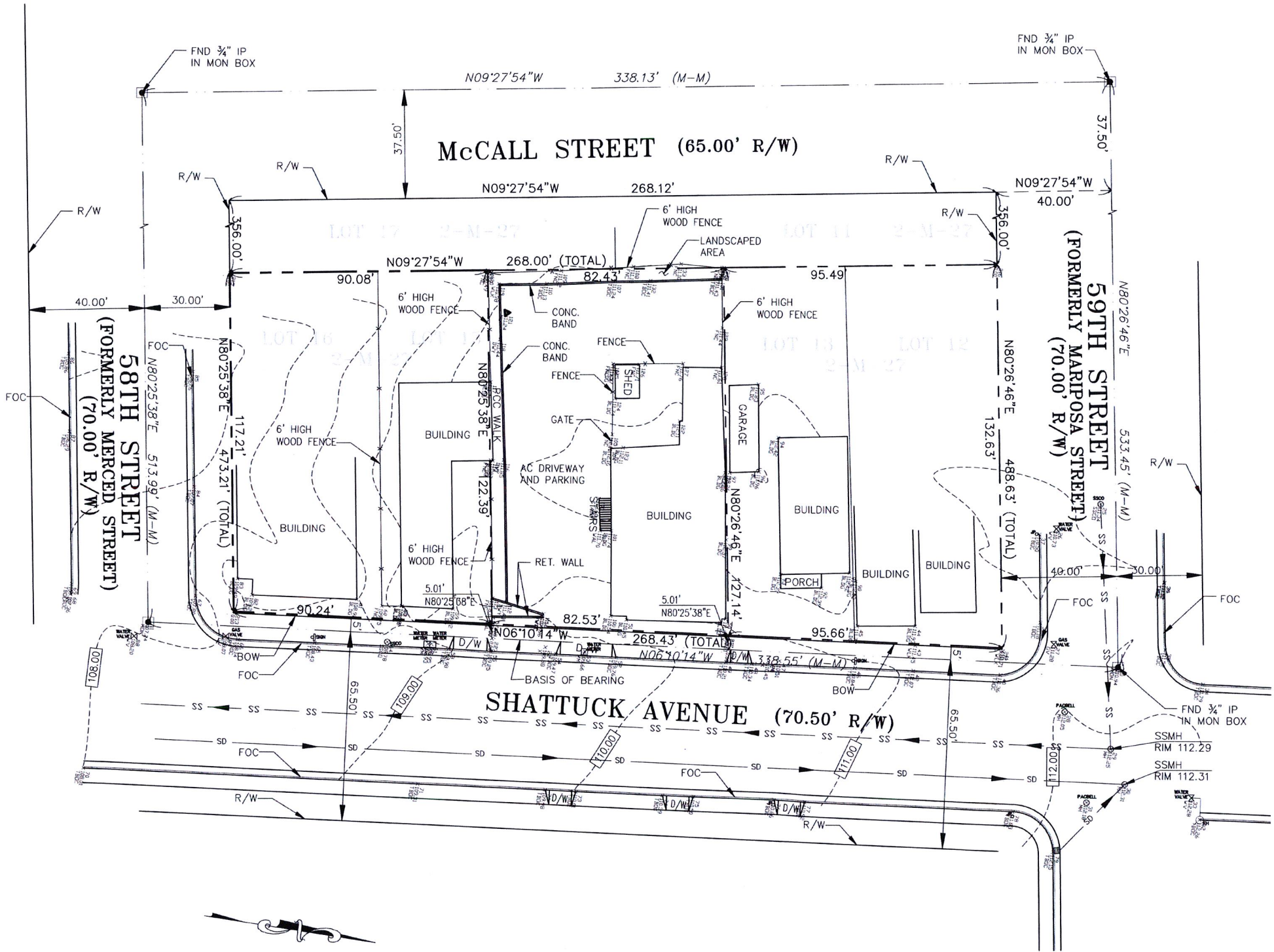
LOT 14 AND THOSE PORTIONS OF LOTS 13 AND 15, BLOCK B, "REDIVISION  
MAP OF THAT PORTION OF THE BRUMAGIM TRACT, LYING WEST OF SHATTUCK  
AVENUE", FILED APRIL 2, 1877, MAP BOOK 2, PAGE 27, ALAMEDA COUNTY  
RECORDS.  
NET AREA: 10281 SF  
0.236 AC±

ABBREVIATIONS

A.B.	AGGREGATE BASE	MIN.	MINIMUM
A.C.	ASPHALT CONCRETE	M.V.C.	MIDDLE OF VERTICAL CURVE
B.C.	BEGINNING OF CURVE(HORIZONTAL)	M.W.	MONITORING WELL
BLDG	BUILDING	NO.	NUMBER
BOW/BWLK	BACK OF WALK	N.T.S.	NOT TO SCALE
B.V.C.	BEGINNING OF VERTICAL CURVE	P.C.C.	PORTLAND CEMENT CONCRETE
C.B.	CATCH BASIN	P.C.R.	POINT OF CURB RETURN
CLF	CHAIN LINK FENCE	P.P.B.	PEDESTRIAN PUSH BUTTON
C.O.	CLEAN OUT	PP&T	PLASTIC PLUG & TACK
CONT.	CONTINUOUS	P.V.C.	POLYVINYL CHLORIDE
D.I.	DRAINAGE INLET	P.V.I.	POINT OF VERTICAL INTERSECTION
D/W	DRIVEWAY	R	RADIUS
E.C.	END OF CURVE(HORIZONTAL)	R.C.P.	REINFORCED CONCRETE PIPE
ELEV.	ELEVATION	R/W	RIGHT-OF-WAY
EXIST.	EXISTING	S	SLOPE
E.V.C.	END OF VERTICAL CURVE	S.D.	STORM DRAIN
F.F.	FINISHED FLOOR ELEVATION	S.D.M.N	STORM DRAIN MANHOLE
F.G.	FINISHED GRADE	S.F.	SQUARE FEET
F.H.	FIRE HYDRANT	SHT.	SHEET
F.C.	FACE OF CURB	S.S.M.H.	SANITARY SEWER MANHOLE
F.L.	FLOW LINE	S.S.	SANITARY SEWER
FOC	FACE OF CURB	S/W	SIDEWALK
F.S.	FINISHED SURFACE	T.C.	TOP OF CURB
G.B.	GRADE BREAK	T.FOC	TOP FACE OF CURB
G.V.	GATE VALVE	TYP.	TYPICAL
H.P.	HIGH POINT	U.O.N.	UNLESS OTHERWISE NOTED
I.D.	INSIDE DIAMETER	V.C.	VERTICAL CURVE
INV.	INVERT	V.C.P.	VITRIFIED CLAY PIPE (EXTRA STRENGTH)
J.P.	JOINT POLE	W	WATER
L.F.	LINEAL FEET	W.M.	WATER METER
L.P.	LOW POINT	W.V.	WATER VALVE
L&T	LEAD & TACK		
MAX.	MAXIMUM		
M.H.	MANHOLE		

LEGEND

DESCRIPTION	PROPOSED	EXISTING
WHEELCHAIR RAMP		
SANITARY MANHOLE		
STORM MANHOLE		
CITY SURVEY MONUMENT		
STANDARD HOODED INLET		
SANITARY SEWER	SS	SS
STORM SEWER	SD	SD
CENTER LINE		
PROPERTY LINE		
MONUMENT LINE		
MATCH LINE		
GAS LINE	G	G
WATER LINE	W	W
JOINT TRENCH	JT	JT
GAS METER		
WATER METER		
GAS VALVE		
WATER VALVE		
EDGE OF PAVEMENT		
CURB AND GUTTER		
SIDEWALK		
DRIVEWAY		
PAVING CONFORM		
FIRE HYDRANT		
STREET SIGN		
FENCE(TYPE)		
ELECTRICAL CONDUIT		
OVERHEAD CONDUCTORS		
PULL BOX		
UTILITY POLE		
ELECTROLIER		



ADVANCED DEVELOPMENT

Description

App'd

Date

Revision

TOPOGRAPHICAL & RECORD BOUNDARY SURVEY  
FOR: APN 015-137-011  
5817 SHATTUCK AVENUE  
OAKLAND, CALIFORNIA



APPROVED BY:  
MICHAEL SHADIAN

Checked: JS  
Drawn: AC  
Designed: JS  
Surveyed: JS  
Scale: 1"=20'

Sheet No.

1

Of 1

Job No. 341

2933 BENJAMIN COURT  
SAN JOSE, CALIFORNIA 95124  
(408) 376-0570

JACOB SHADIAN  
CIVIL ENGINEER





DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL: 1/24/2017

PLANNING SET  
FEBRUARY 2017

REVISIONS:

DATE	DESCRIPTION

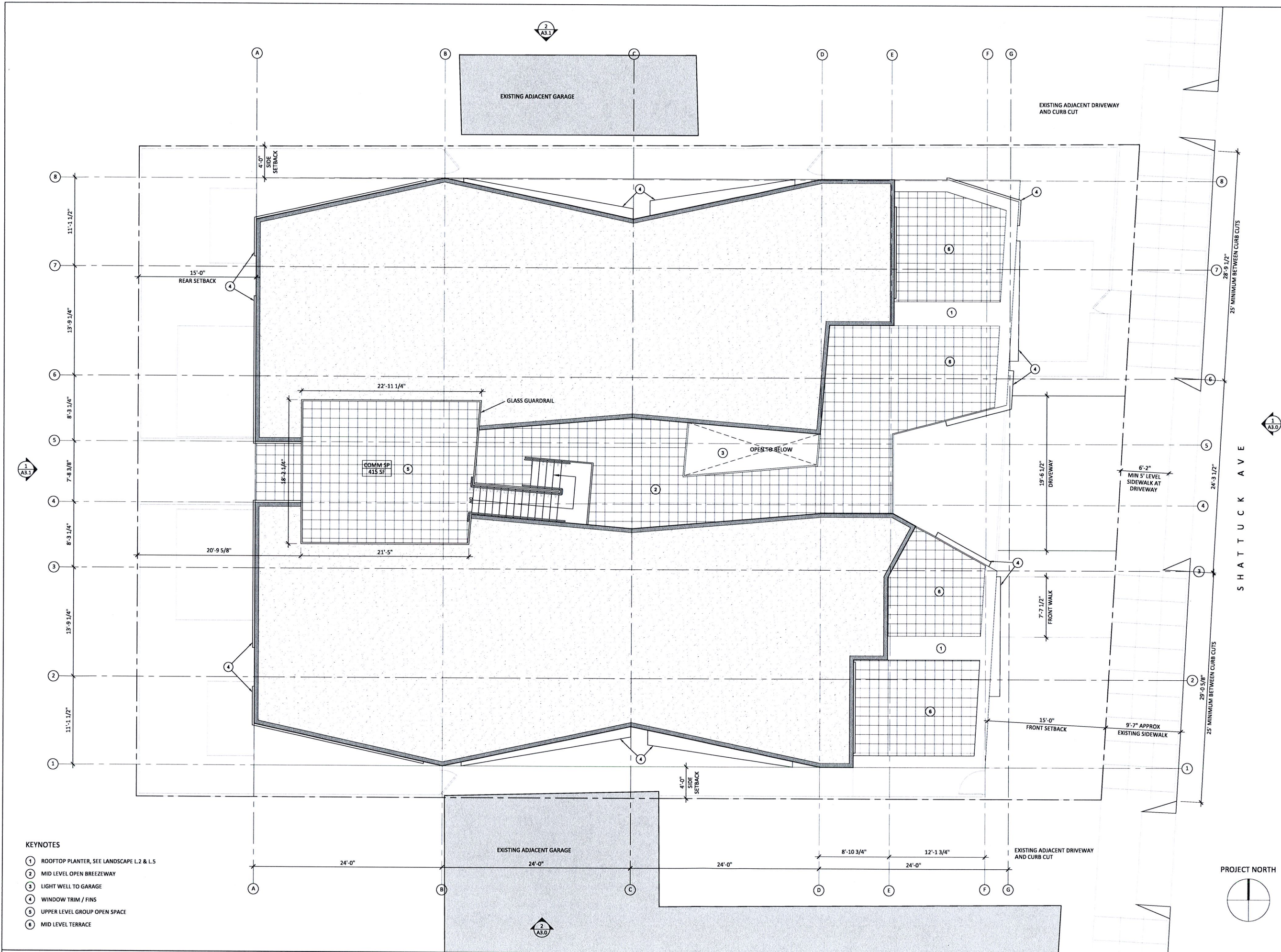
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SHEET TITLE:

PROPOSED SITE  
PLAN & ROOF PLAN

SHEET NUMBER:

A1.1

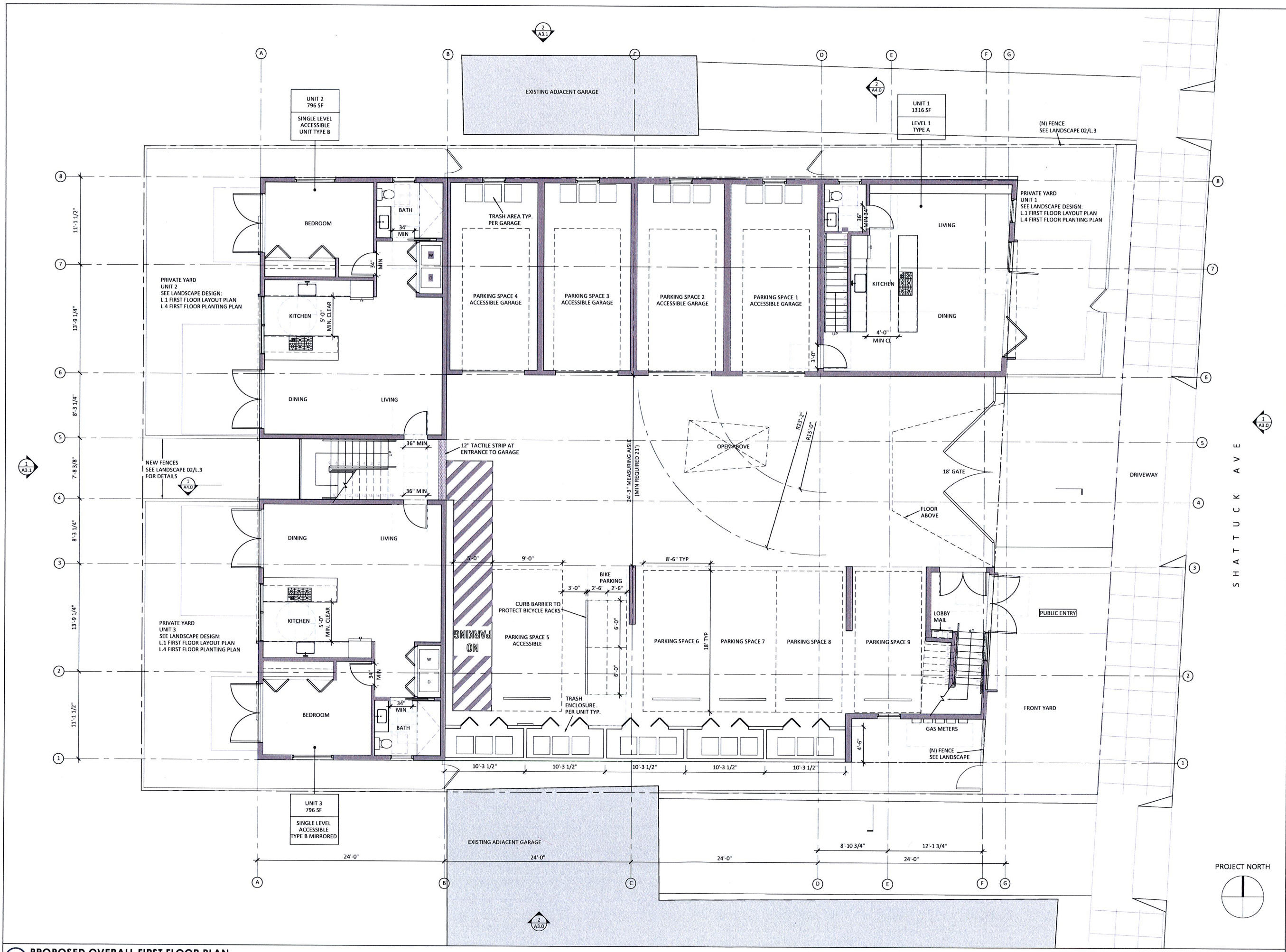


KEYNOTES

- 1 ROOFTOP PLANTER, SEE LANDSCAPE L.2 & L.5
- 2 MID LEVEL OPEN BREEZEWAY
- 3 LIGHT WELL TO GARAGE
- 4 WINDOW TRIM / FINS
- 5 UPPER LEVEL GROUP OPEN SPACE
- 6 MID LEVEL TERRACE

1 PROPOSED SITE PLAN  
SCALE: 3/16" = 1'-0"





**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

SUBMITTAL: **PLANNING SET**

**FEBRUARY 2017**

REVISIONS:

DATE	DESCRIPTION

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SHEET TITLE:

**PROPOSED  
OVERALL FIRST  
FLOOR PLAN**

SHEET NUMBER:

**A2.0**





DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:

PLANNING SET  
FEBRUARY 2017

REVISIONS:

DATE	DESCRIPTION

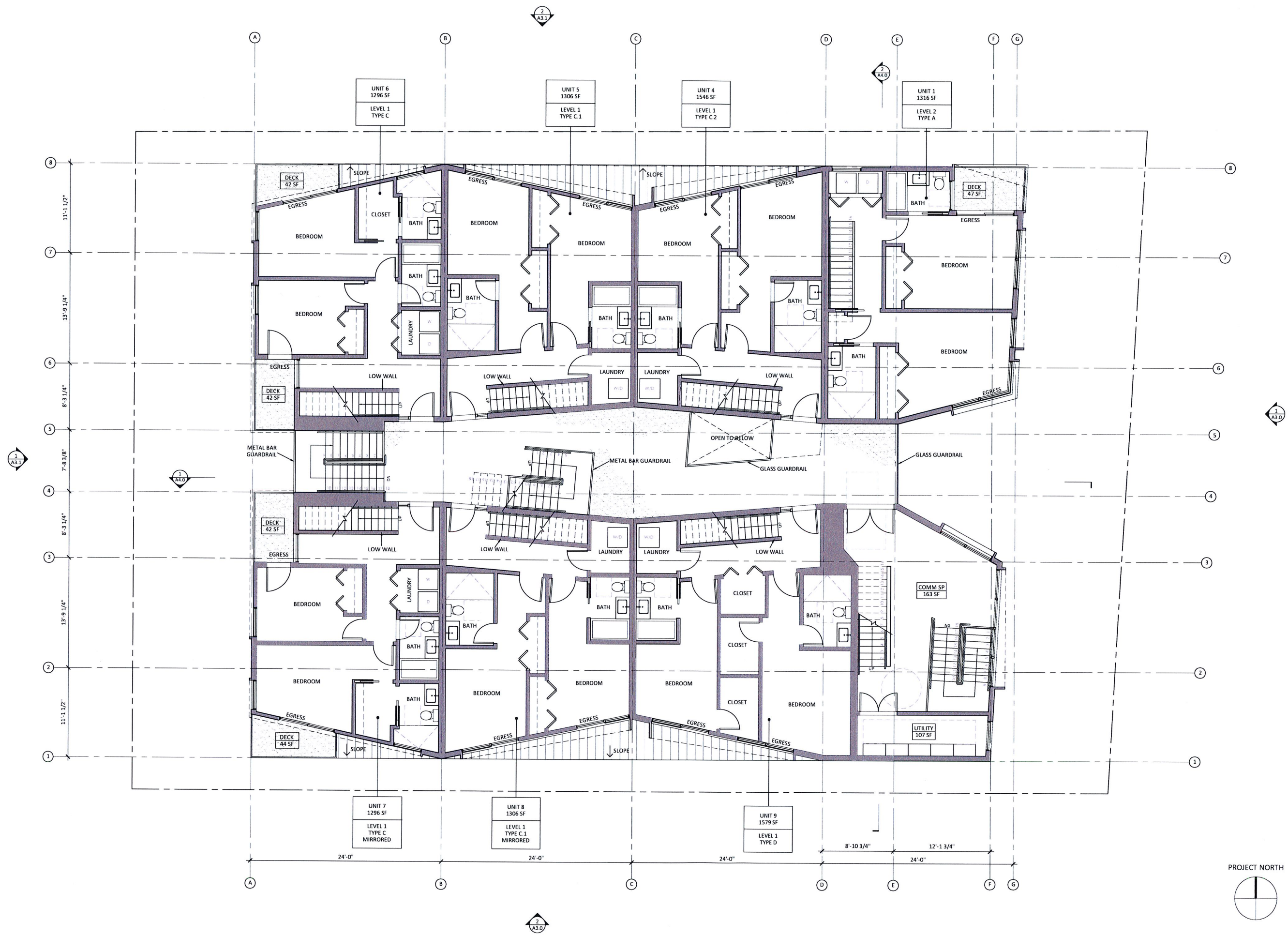
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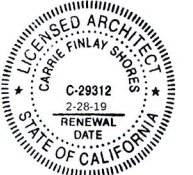
PROPOSED  
OVERALL SECOND  
FLOOR PLAN

SHEET NUMBER:

A2.1







DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL:

PLANNING SET  
FEBRUARY 2017

REVISIONS:

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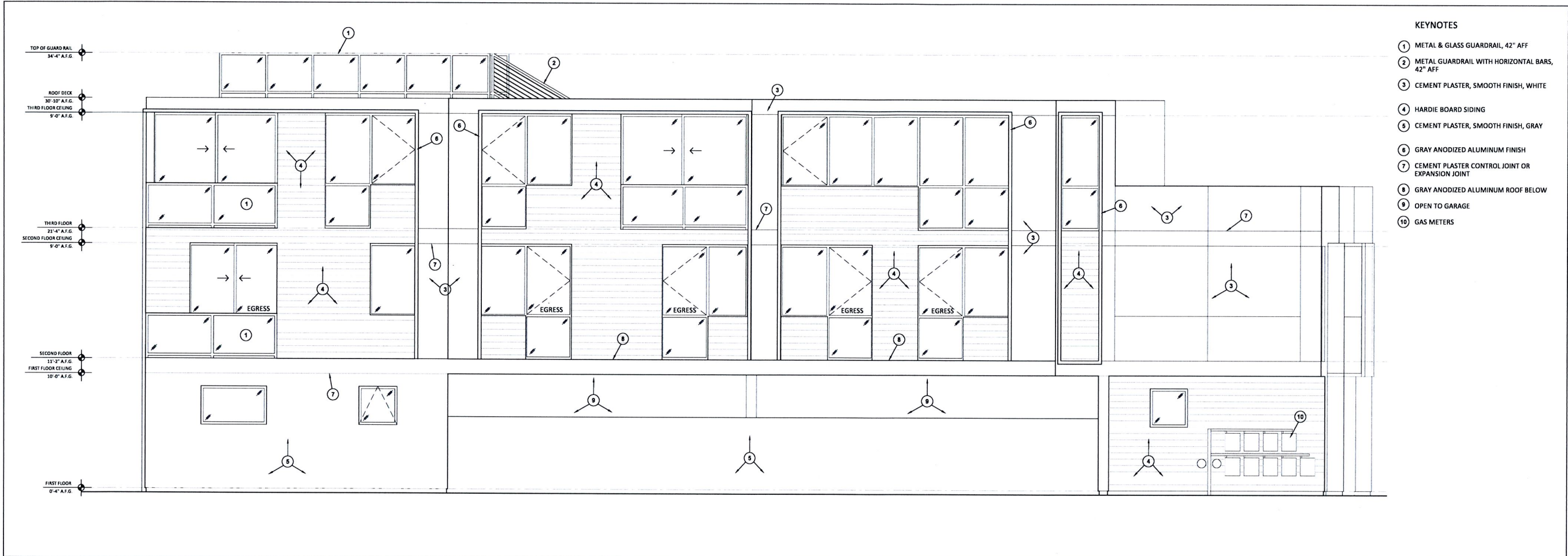
SHEET TITLE:

PROPOSED  
OVERALL THIRD  
FLOOR PLAN

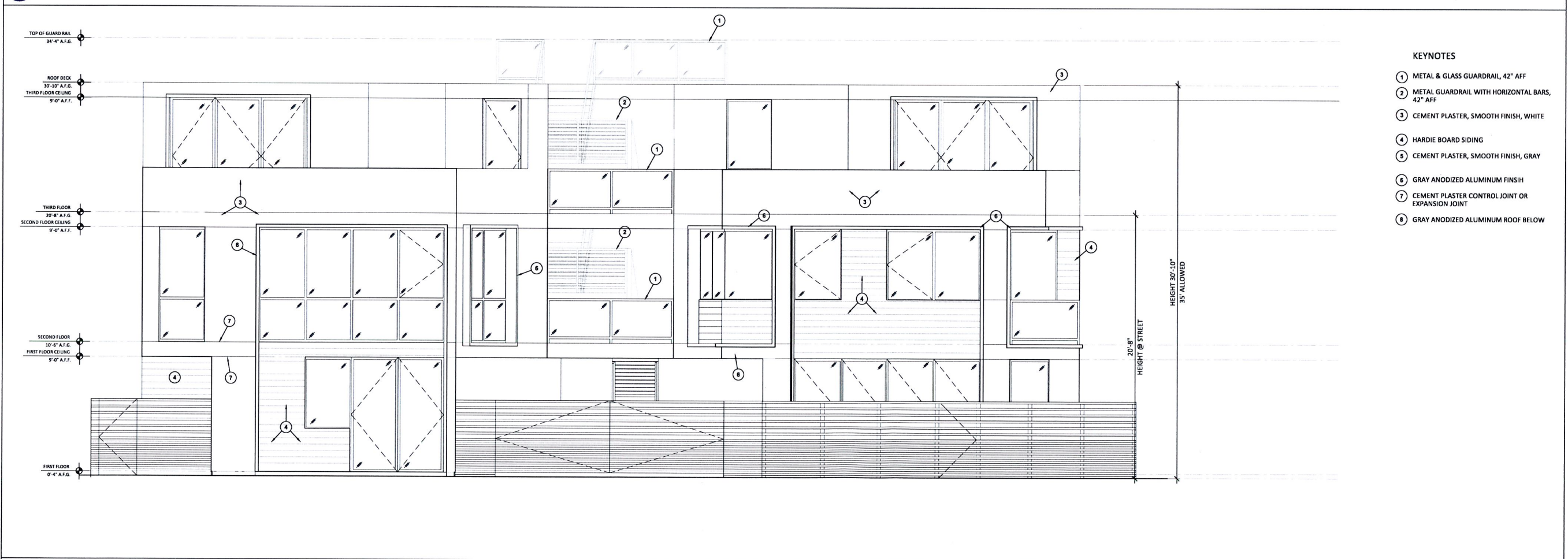
SHEET NUMBER:

A2.2





**2 SOUTH ELEVATION**  
SCALE:  $\frac{1}{4}" = 1'-0"$



**1 EAST ELEVATION (FRONT)**  
SCALE:  $\frac{1}{4}" = 1'-0"$

- KEYNOTES
- 1 METAL & GLASS GUARDRAIL, 42" AFF
  - 2 METAL GUARDRAIL WITH HORIZONTAL BARS, 42" AFF
  - 3 CEMENT PLASTER, SMOOTH FINISH, WHITE
  - 4 HARDIE BOARD SIDING
  - 5 CEMENT PLASTER, SMOOTH FINISH, GRAY
  - 6 GRAY ANODIZED ALUMINUM FINISH
  - 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
  - 8 GRAY ANODIZED ALUMINUM ROOF BELOW
  - 9 OPEN TO GARAGE
  - 10 GAS METERS

**LARSON**  
**SHORES**  
ARCHITECTURE  
AND INTERIORS

**ARCHITECT:**  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES

**OWNER:**  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

- KEYNOTES
- 1 METAL & GLASS GUARDRAIL, 42" AFF
  - 2 METAL GUARDRAIL WITH HORIZONTAL BARS, 42" AFF
  - 3 CEMENT PLASTER, SMOOTH FINISH, WHITE
  - 4 HARDIE BOARD SIDING
  - 5 CEMENT PLASTER, SMOOTH FINISH, GRAY
  - 6 GRAY ANODIZED ALUMINUM FINISH
  - 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
  - 8 GRAY ANODIZED ALUMINUM ROOF BELOW

**SUBMITTAL:**

**PLANNING SET**  
**FEBRUARY 2017**

**REVISIONS:**

DATE	DESCRIPTION

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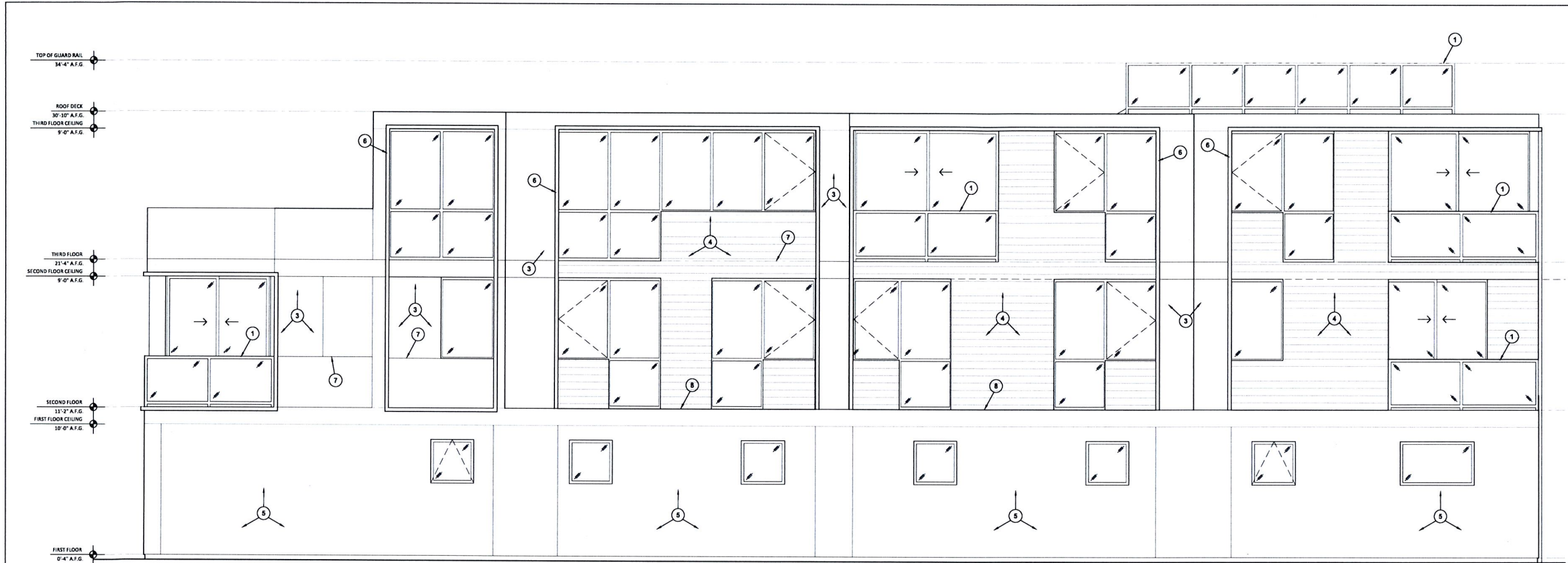
**SHEET TITLE:**

**SOUTH & EAST ELEVATIONS**

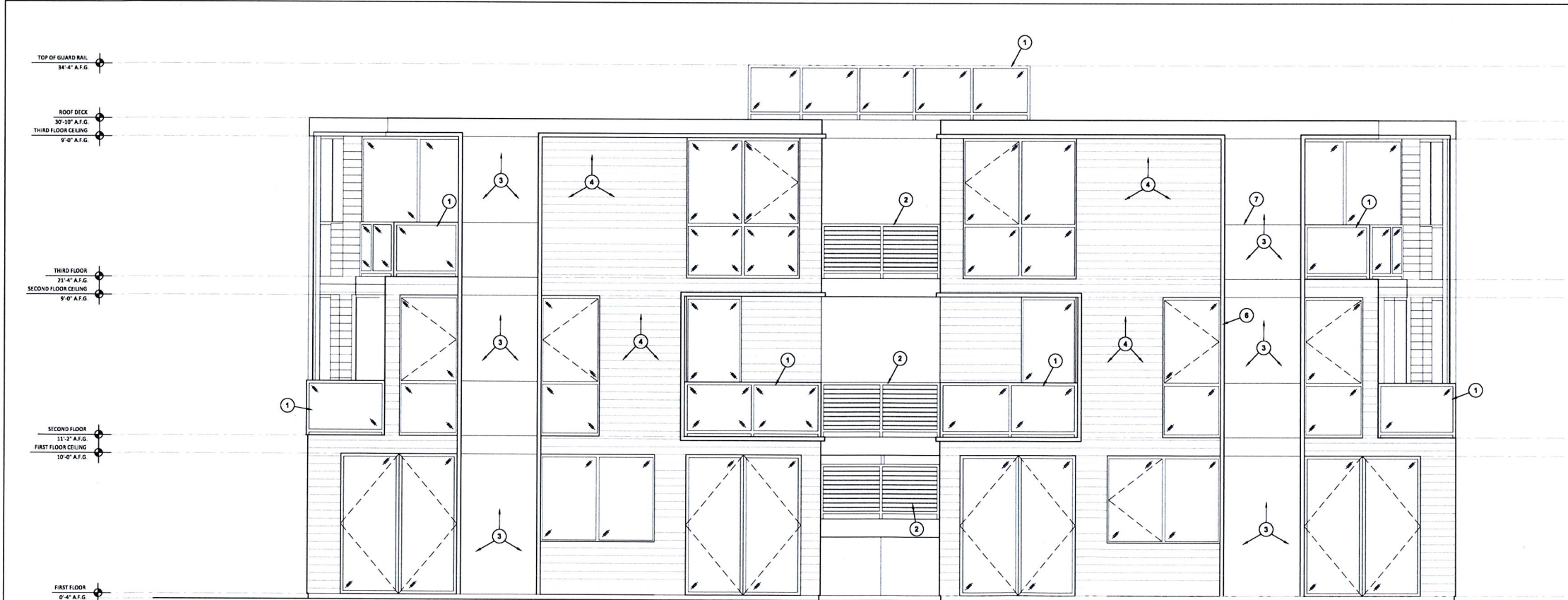
**SHEET NUMBER:**

**A3.0**





**2 NORTH ELEVATION**  
SCALE:  $\frac{1}{4}" = 1'-0"$



**1 WEST ELEVATION**  
SCALE:  $\frac{1}{4}" = 1'-0"$

KEYNOTES

- 1 METAL & GLASS GUARDRAIL, 42" AFF
- 2 METAL GUARDRAIL WITH HORIZONTAL BARS, 42" AFF
- 3 CEMENT PLASTER, SMOOTH FINISH, WHITE
- 4 HARDIE BOARD SIDING
- 5 CEMENT PLASTER, SMOOTH FINISH, GRAY
- 6 GRAY ANODIZED ALUMINUM FINISH
- 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT
- 8 GRAY ANODIZED ALUMINUM ROOF BELOW
- 9 OPEN TO GARAGE
- 10 GAS METERS

KEYNOTES

- 1 METAL & GLASS GUARDRAIL, 42" AFF
- 2 METAL GUARDRAIL WITH HORIZONTAL BARS, 42" AFF
- 3 CEMENT PLASTER, SMOOTH FINISH, WHITE
- 4 HARDIE BOARD SIDING
- 5 NOT USED
- 6 GRAY ANODIZED ALUMINUM FINISH
- 7 CEMENT PLASTER CONTROL JOINT OR EXPANSION JOINT

**LARSON**  
**SHORES**  
ARCHITECTURE  
AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES

OWNER:  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JIM@DILLERCAPITAL.COM



**DEVELOPMENT**  
**5817 SHATTUCK AVE**  
**OAKLAND, CA 94609**

SUBMITAL:

PLANNING SET  
FEBRUARY 2017

REVISIONS:

A	DATE	DESCRIPTION

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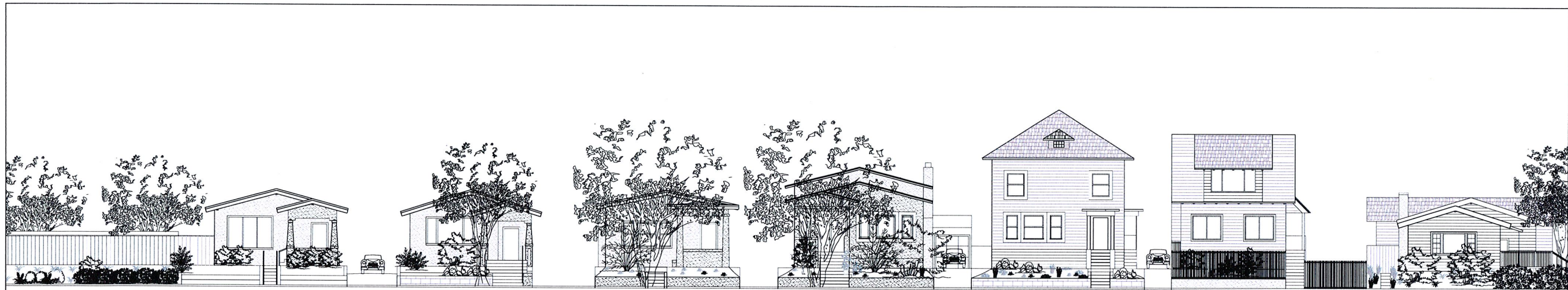
SHEET TITLE:

**NORTH & WEST  
ELEVATIONS**

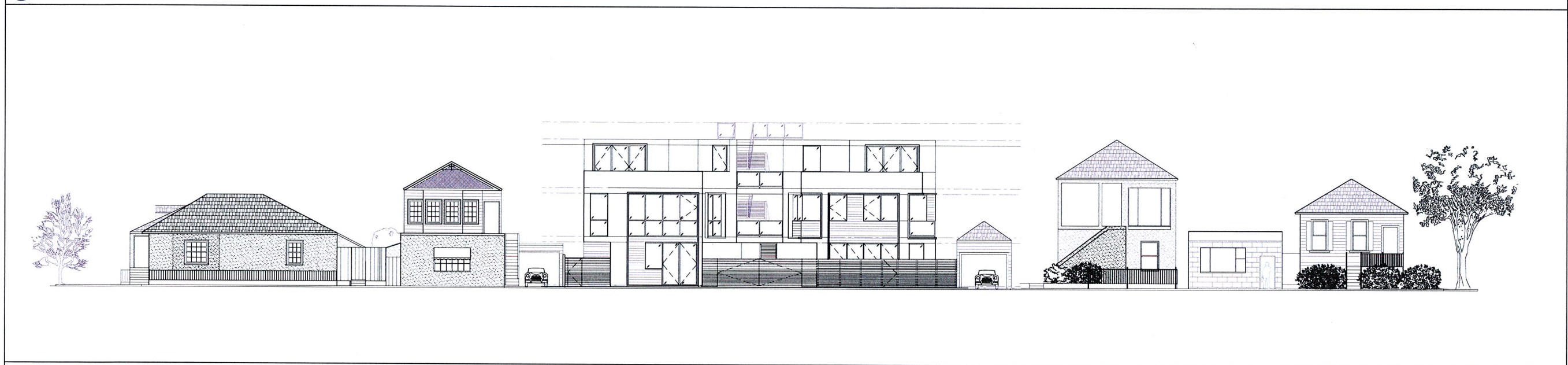
SHEET NUMBER:

**A3.1**





**3** EXISTING STREET CONTEXT ELEVATION - ACROSS SHATTUCK  
SCALE:  $\frac{3}{32}" = 1'-0"$



**2** PROPOSED STREET CONTEXT ELEVATION  
SCALE:  $\frac{3}{32}" = 1'-0"$

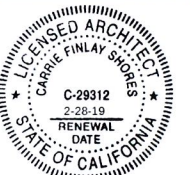


**1** EXISTING STREET CONTEXT ELEVATION  
SCALE:  $\frac{3}{32}" = 1'-0"$

# LARSON SHORES ARCHITECTURE AND INTERIORS


ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES

OWNER:  
DILLER CAPITAL  
PO BOX 620341  
WOODSIDE, CA 94062  
JM@DILLERCAPITAL.COM



**DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609**

SUBMITTAL: **PLANNING SET  
FEBRUARY 2017**

REVISIONS:		
	DATE	DESCRIPTION

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SHEET TITLE: **STREET CONTEXT ELEVATIONS**

SHEET NUMBER: **A3.2**





DEVELOPMENT  
5817 SHATTUCK AVE  
OAKLAND, CA 94609

SUBMITTAL: PLANNING SET

FEBRUARY 2017

REVISIONS:

DATE	DESCRIPTION

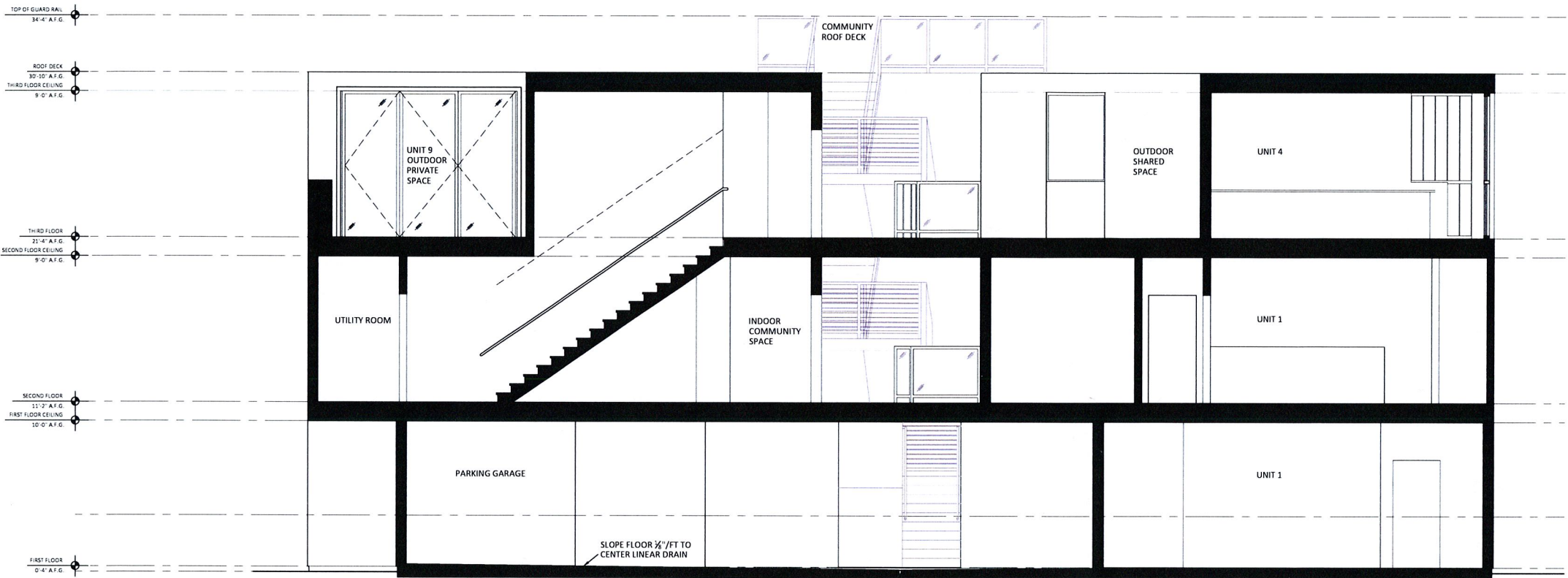
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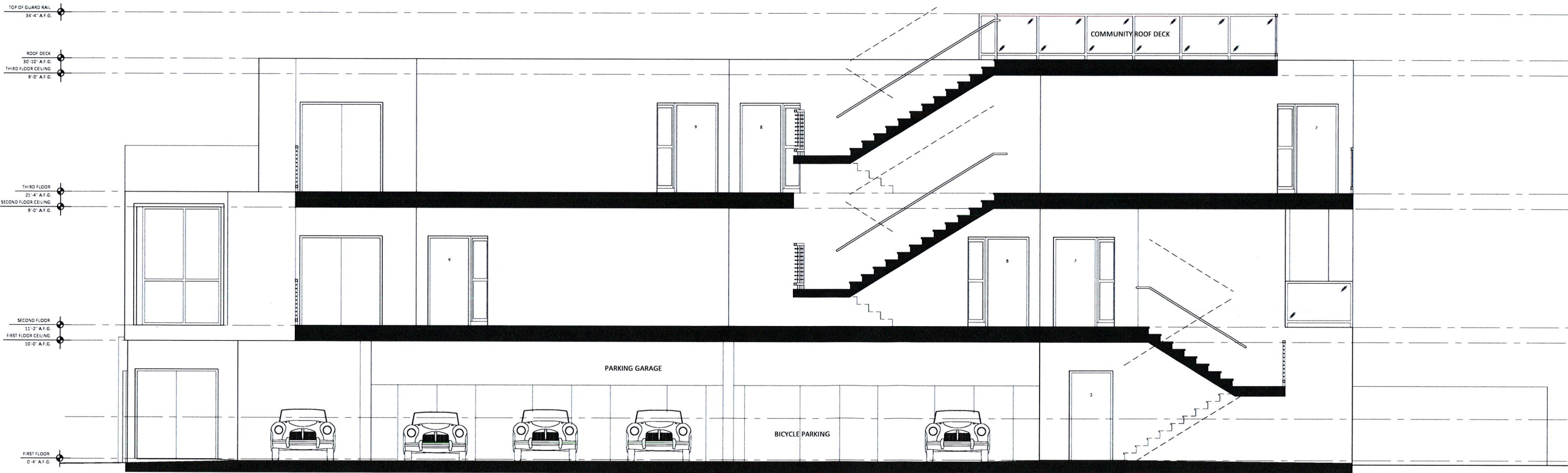
BUILDING  
SECTIONS

SHEET NUMBER:

A4.0



2 NORTH-SOUTH BUILDING SECTION  
SCALE: 1/4" = 1'-0"



1 EAST-WEST BUILDING SECTION AT PARKING  
SCALE: 1/4" = 1'-0"



5817 SHATTUCK AVE  
OAKLAND, CA

SUBMITAL:

REVISIONS:

DATE	DESCRIPTION

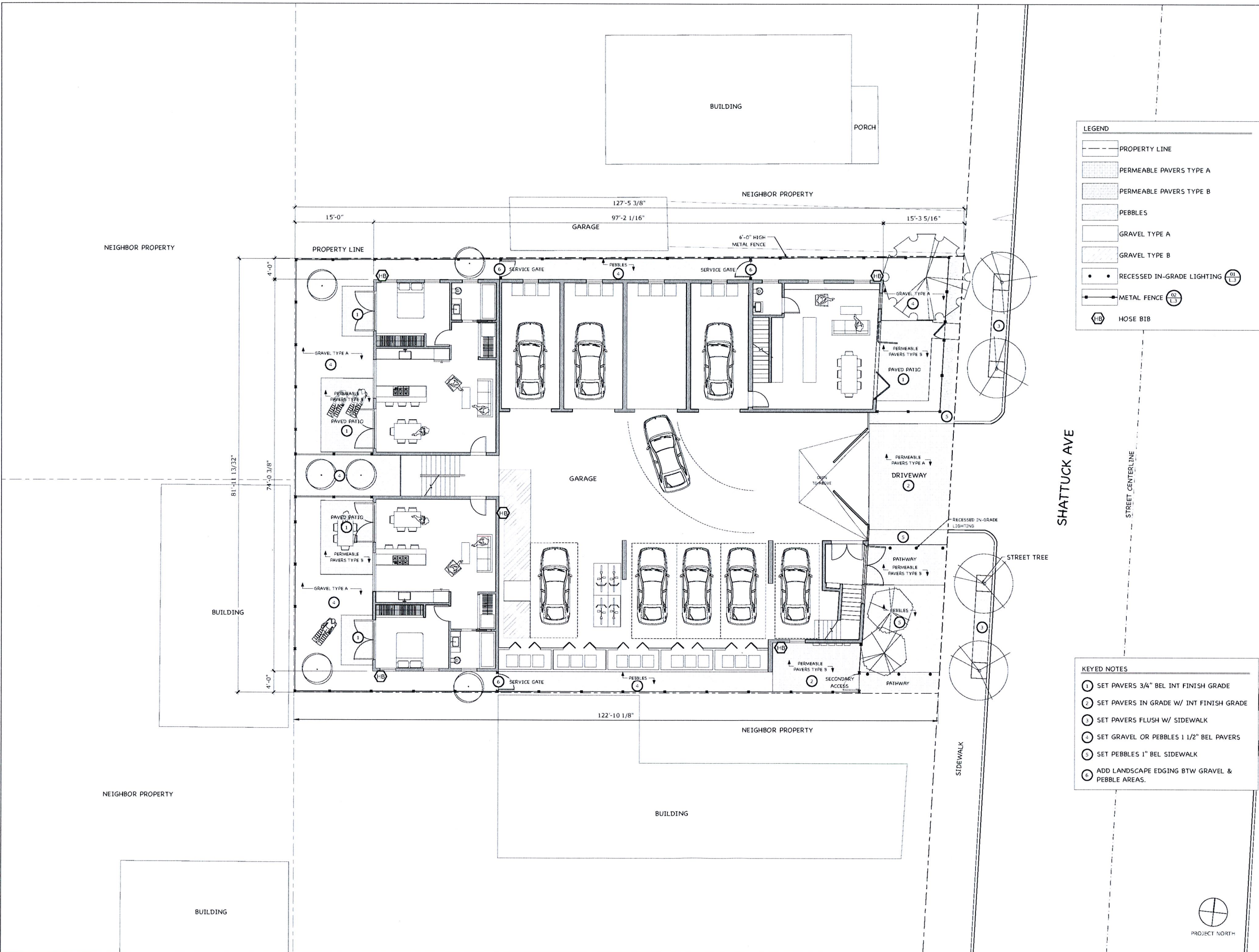
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SHEET TITLE:

FIRST FLOOR  
LAYOUT PLAN

SHEET NUMBER:

L.1



LEGEND

- PROPERTY LINE
- PERMEABLE PAVERS TYPE A
- PERMEABLE PAVERS TYPE B
- PEBBLES
- GRAVEL TYPE A
- GRAVEL TYPE B
- RECESSED IN-GRADE LIGHTING
- METAL FENCE
- HOSE BIB

KEYED NOTES

- 1 SET PAVERS 3/4" BEL INT FINISH GRADE
- 2 SET PAVERS IN GRADE W/ INT FINISH GRADE
- 3 SET PAVERS FLUSH W/ SIDEWALK
- 4 SET GRAVEL OR PEBBLES 1 1/2" BEL PAVERS
- 5 SET PEBBLES 1" BEL SIDEWALK
- 6 ADD LANDSCAPE EDGING BTW GRAVEL & PEBBLE AREAS.



LARSON  
SHORES  
ARCHITECTURE  
AND INTERIORS

ARCHITECT:  
LARSON SHORES ARCHITECTURE + INTERIORS  
1940 UNION STREET #22  
OAKLAND, CA 94607  
PHONE/FAX: 510-444-9788  
PROJECT ARCHITECT: CARRIE SHORES

OWNER:

5817 SHATTUCK AVE  
OAKLAND, CA

SUBMITTAL:

REVISIONS:

A	DATE	DESCRIPTION

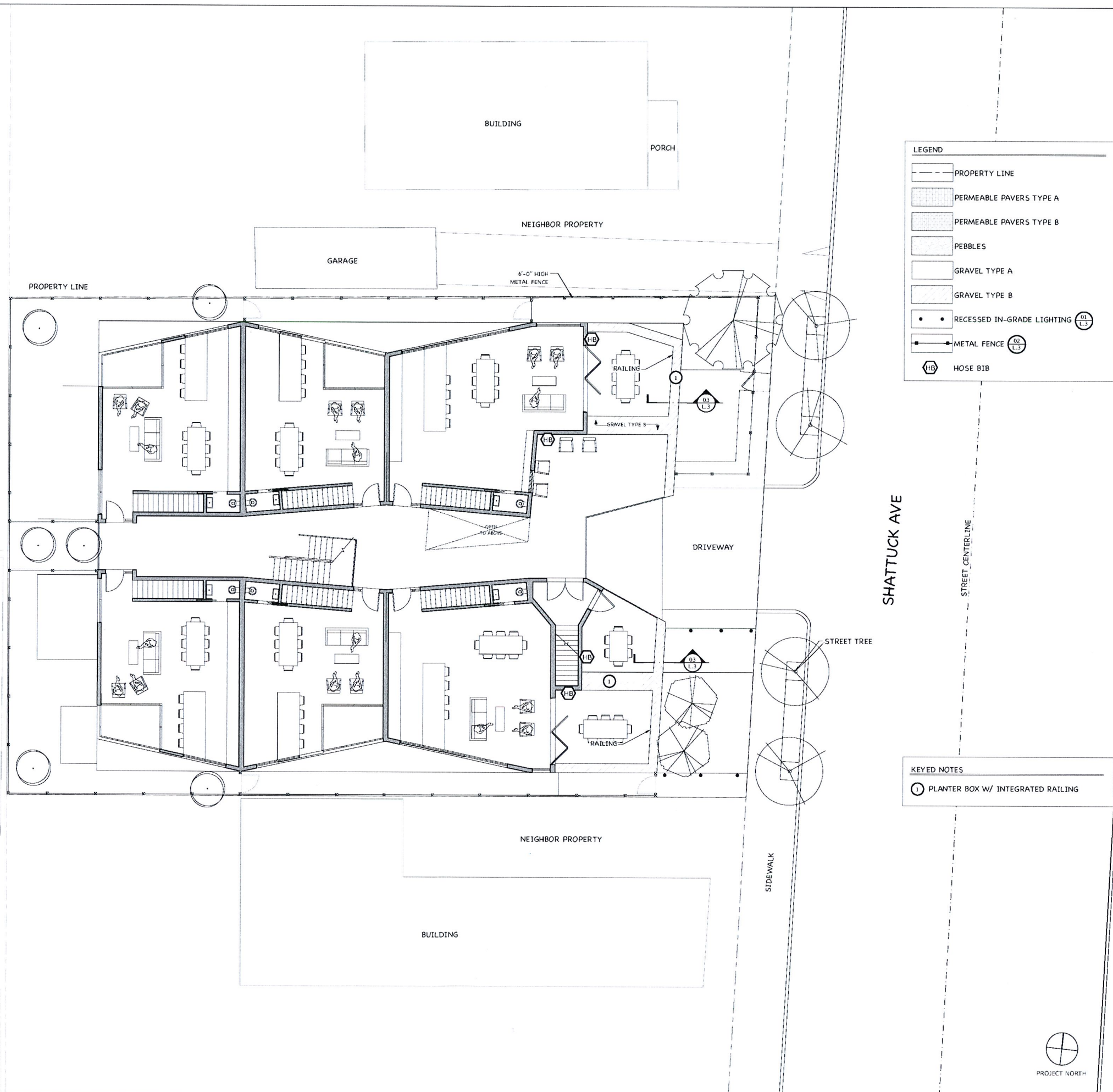
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with these drawings or specifications shall constitute conclusive evidence  
of acceptance of these drawings.

SHEET TITLE:

THIRD FLOOR  
LAYOUT PLAN

SHEET NUMBER:

L.2



LEGEND

- PROPERTY LINE
- PERMEABLE PAVERS TYPE A
- PERMEABLE PAVERS TYPE B
- PEBBLES
- GRAVEL TYPE A
- GRAVEL TYPE B
- RECESSED IN-GRADE LIGHTING (01 L.S.)
- METAL FENCE (02 L.S.)
- HOSE BIB (HB)

KEYED NOTES

- 1 PLANTER BOX W/ INTEGRATED RAILING



5817 SHATTUCK AVE  
OAKLAND, CA

SUBMITTAL:

REVISIONS:

DATE	DESCRIPTION

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SHEET TITLE:

LAYOUT NOTES  
AND DETAILS

SHEET NUMBER:

L.3

GENERAL CONDITIONS NOTES:

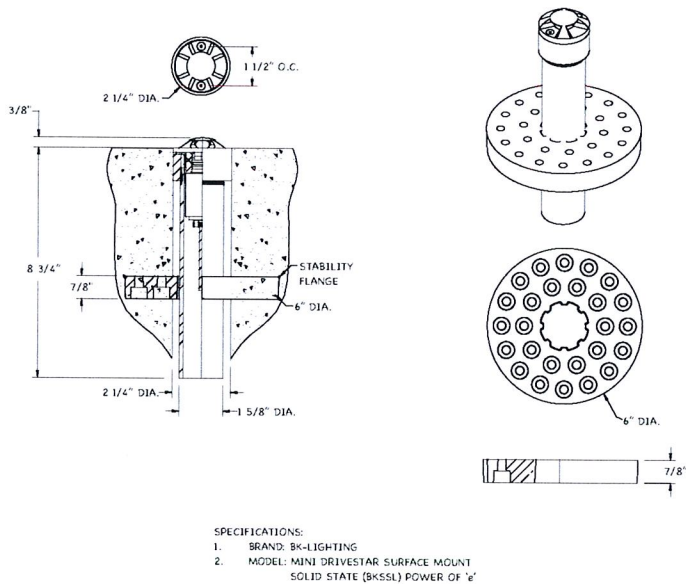
- WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
- LOCATION OF PROPERTY LINES AND CORNERS ARE THE RESPONSIBILITY OF PROPERTY OWNER, CONTRACTOR, OR SURVEYOR.
- CONTACT LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION, PRIOR TO COMMENCING WORK. **CALL 811 TO KNOW UTILITY LINES LOCATION.**
- PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY.

LAYOUT NOTES:

- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGE SCALE OVER SMALLER SCALE, ADDENDA AND CLARIFICATIONS OVER PREVIOUS DOCUMENTS.
- FOR DIMENSIONS OF EXISTING BUILDINGS, PROPOSED BUILDINGS AND RELATED WORK, REFER TO ARCHITECTURAL DRAWINGS.
- WHERE DIMENSIONS ARE CALLED AS QUAL (EQ), SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES.
- MEASUREMENTS ARE TO FACE OF BUILDING, WALL OR FIXED SITE IMPROVEMENT. DIMENSIONS TO CENTER LINE IS AS INDICATED.
- INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.

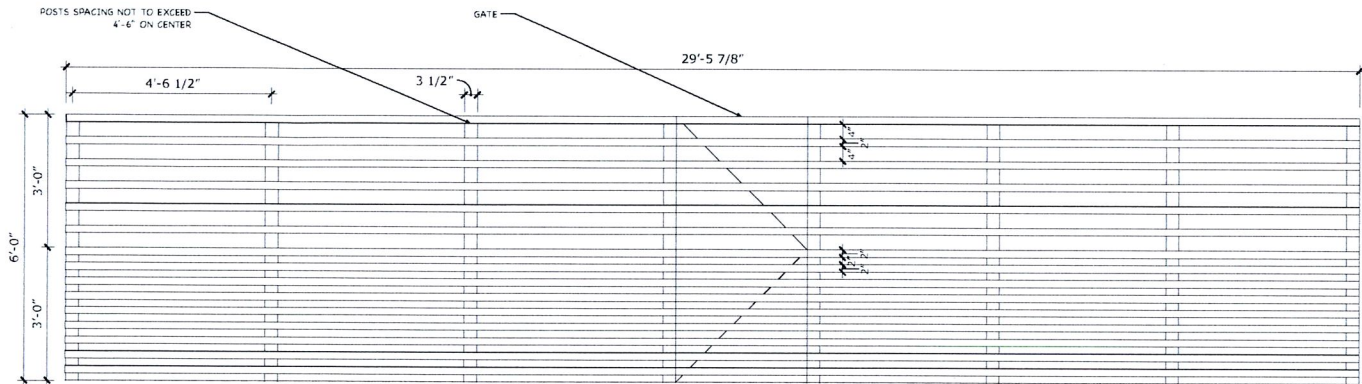
LIGHTING NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT & DESIGN OF LOW-VOLTAGE WIRE NUTS.
- IN-GRADÉ RECESSED LIGHTS TO BE INSTALL IN THE SAME SYSTEM AS EXTERIOR WALL LIGHT IN FRONT FAÇADE. CONTRACTOR TO PROVIDE SLEEVE. REFER TO ARCHITECTURAL DRAWINGS FOR ELECTRICAL PLAN.

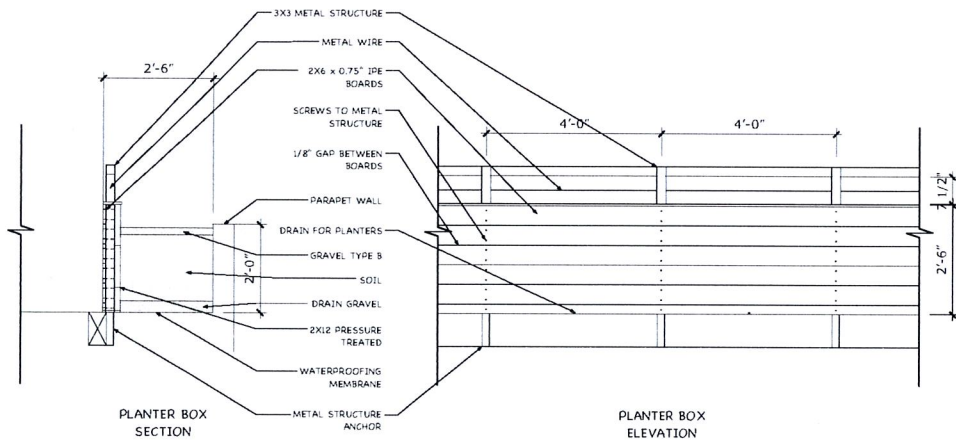


- SPECIFICATIONS:
- BRAND: BK-LIGHTING
  - MODEL: MINI DRIVESTAR SURFACE MOUNT  
SOLID STATE (BKSSL) POWER OF 'e'

01 RECESSED IN-GRADE LIGHTING  
N.T.S.



02 BLACK POWDER COATED METAL FENCE AND GATE - TYP  
1/2" = 1'-0"



03 PLANTER BOX SECOND AND THIRD FLOOR  
1/2" = 1'-0"



5817 SHATTUCK AVE  
OAKLAND, CA

SUBMITTAL:

REVISIONS:

DATE	DESCRIPTION

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of acceptance of these terms and conditions.

SHEET TITLE:

FIRST FLOOR  
PLANTING PLAN

SHEET NUMBER:

L.4

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
ECGR15		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	15 GAL	40	1-4	1-4
ECGR5		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	5 GAL	40	1-4	1-4
ECGR1		ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	8	1 GAL	40	1-4	1-4
AGAT		AGAVE ATTENUATA	FOXTAIL AGAVE	15	5 GAL		4-5	6
LOLO		LOMANDRA LONGIFOLIA	BREEZE DWARF MAT RUSH	25	5 GAL		2-3	3-4

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
PHHY		PHORMIUM HYBRIDS "DARK DELIGHT"	DARK DELIGHT FLAX	10	15 GAL		4	6
CEPE15		CEREUS PERUVIANUS	HEDGE CACTUS	20	15 GAL	48	8-10	4
CEPE5		CEREUS PERUVIANUS	HEDGE CACTUS	24	5 GAL	48	8-10	4
AGPA15		AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	3	15 GAL		2-3	2-3
AGPA5		AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	6	5 GAL		2-3	2-3

LEGEND	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING (IN)	MATURE HEIGHT (FT)	MATURE SPREAD (FT)
POGL		PODOCARPUS GLACILIOR	FERN PINE	4	24" BOX		20-60	10-20
SCMO		SCHINUS MOLLE	CALIFORNIA PEPPER TREE	1	24" BOX		25-40	25-40
ACVE		ACACIA VESTITA	HAIRY WATTLE	2	24" BOX		12-20	10-15
CIME		CITRUS X MEYERI	MEYER LEMON	6	15 GAL		12-18	8-12
PITE		PITTOSPORUM TENUFOLIUM "KRISTIE"	KRISTIE KOHUHU	81	5 GAL	30	4-6	4-6

NEIGHBOR PROPERTY

PROPERTY LINE

NEIGHBOR PROPERTY

GARAGE

6'-0" HIGH METAL FENCE

PITE

SCMO

CEPE

AGAT

PHHY

LOLO

PITE

LOLO

CIME

AGAT

PHHY

BUILDING

GARAGE

DRIVEWAY

SHATTUCK AVE

STREET CENTERLINE

PATHWAY

PATHWAY

SIDEWALK

NEIGHBOR PROPERTY

BUILDING

NEIGHBOR PROPERTY

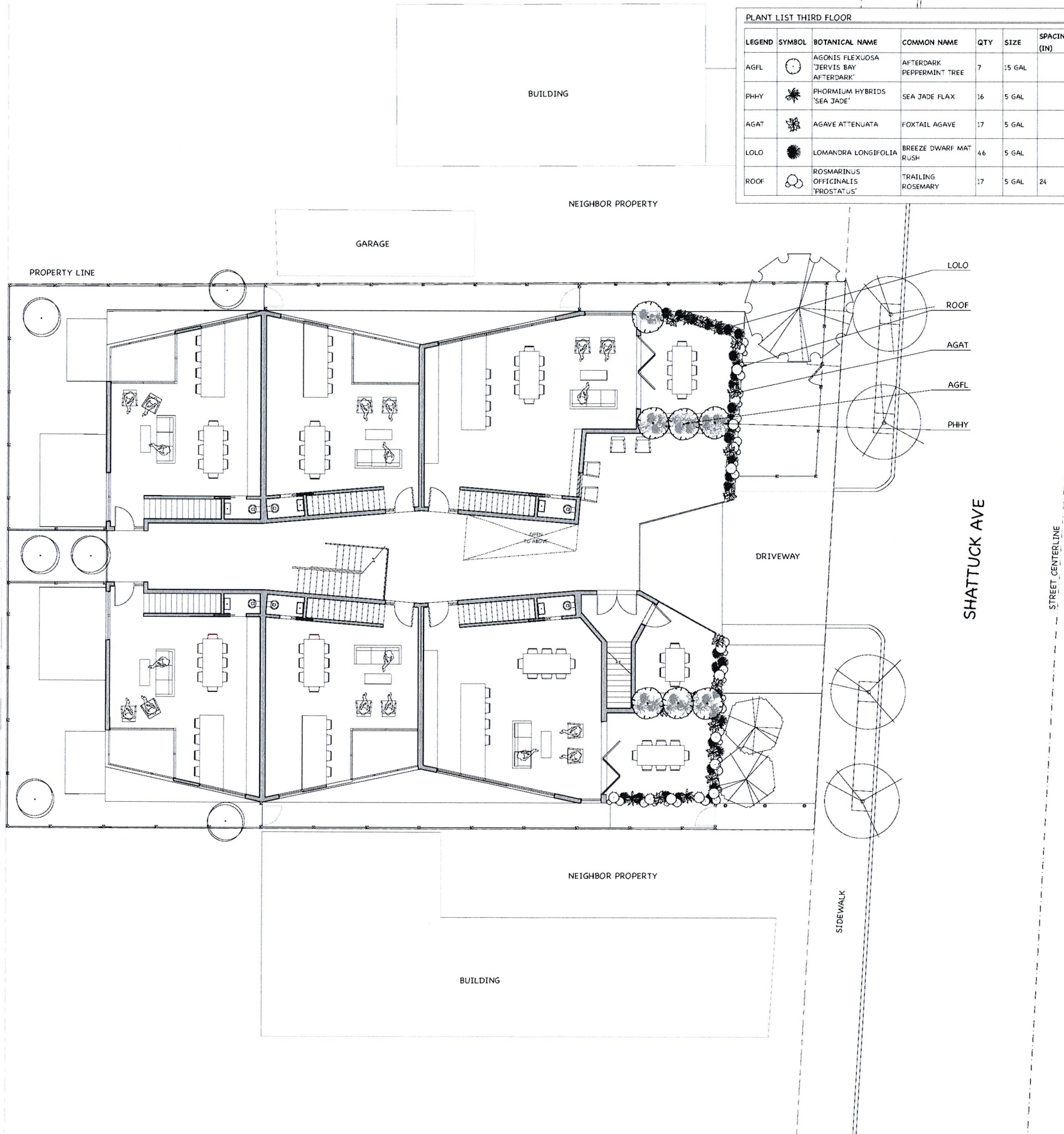
BUILDING



PROJECT NORTH



- PLANTING NOTES:
- A. SOIL PREPARATION:
- SOIL PREPARATION IS A CRITICAL FACTOR IN CREATING A HEALTHY AND LONG-LASTING LANDSCAPE. REMOVE EXISTING TOP SOIL WHEN REMOVING PAVED AREAS IF ANY AND STOCKPILE ON SITE. TOPSOIL TO BE INCORPORATE BACK INTO THE SOIL AT A LATER DATE.
  - PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
  - CONTRACTOR TO DE-COMPACT SOILS IN PLANTING AREAS BY ROTO-TILLING, DISKING OT RIPPING TO A DEPTH OF 6-8" MINIMUM AND PREFERABLY AT A DEPTH OF 12-18". DE-COMPACTION OF SOME PLANTING AREAS, SUCH AS THOSE IN THE DRIVEWAY AND PARKING LOT, MAY REQUIRE THE REMOVAL OF THE COMPACTED SOIL TO A DEPTH OF 18" OR MORE AND THEN RE-INSTALLED LOOSELY W/ REQUIRED AMENDMENTS.
  - ALWAYS REMOVE DEBRIS OVER 2" IN SIZE FROM THE SOIL.
  - WHEN PERFORMING SOIL DE-COMPACTION, MULTIPLE PASSES ACROSS THE AREA WILL BE REQUIRED AND, WHEN POSSIBLE, SHOULD BE AT VARYING ANGLES TO ENSURE ADEQUATE COVERAGE. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE W/ A ROTOTILLING TO BREAK UP ANY LARGER CLUMPS TO MAKE FINAL GRADING EASIER
  - AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY W/ EXISTING SOIL.
  - DURING THE REMAINDER OF THE LANDSCAPE INSTALLATION, VARIOUS AREAS OF THE SITE MAY BE RE-COMPACTED DUE TO THE USE OF EQUIPMENT AND VEHICLES. THIS COMPACTION IS TYPICALLY LIMITED TO THE UPPER 4-6" OF THE SOIL. PRIOR TO THE INSTALLATION OF PLANT MATERIAL IN THESE AREAS, THE COMPACTION SHALL BE REDUCED TO 80% OR LESS USING PREVIOUSLY DESCRIBED METHODS.
- B. SOIL AMENDMENS:
- SITE SOIL SHALL BE CAPABLE OF SUSTAINING HEALTHY PLANT LIFE BUT ADDITION OF SOME SUBSOIL MAY BE REQUIRED. EVALUATION OF SOIL FROM LANDSCAPE CONTRACTOR SHOULD BE PERFORMED AFTER EXISTING ASPHALT AND CONCRETE ARE REMOVED.
  - SOIL AMENDMENT: NITROLIZED REDWOOD SAWDUST. ADD 6 CUBIC YARDS PER 1000 SQ FT.
  - GYPSUM. ADD 50 LBS PER 1000 SQ FT.
  - FERTILIZER. APPLY AT A RATE THAT SUPPLIES 1 LB OF NITROGEN PER 1000 SQ FT.
- C. PLANT INSTALLATION:
- VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS.
  - PLACE TREES, SHRUBS, GRASSES AND GROUNDCOVER IN LOCATIONS SHOWN ON PLANS.
  - DIG PITS AS DETAILED ON DRAWINGS. AFTER PITS ARE DUG, BREAK SIDES TO OPEN WALL OF PIT FOR ROOT PENETRATION.
  - BACKFILL BOTTOM 1/3 OF HOLE CONTAINING ROOTBALL W/ LOOSE SITE SOIL IN A FINELY DIVIDED CONDITION FREE FROM ROCKS OR CLODS. TOP 2/3 OF BACKFILL SHALL USED AMENDED SIT SOIL.
  - FOR TREES: SET TOP OF ROOT BALL 2" ABOVE FINISH GRADE. SHRUBS TO BE SET 1" ABOVE GRADE. THOROUGHLY STAURE BACKFILL SOIL AND ROOTBALL TO FULL DEPTH.
  - PROVIDE MATCHING FORMS AND SIZES FOR PLANTS MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
- D. ESTABLISHMENT PERIOD:
- ESTABLISHMENT PERIOD SHALL INCLUDE ALL PLANTING WORK AND EXTEND 60 CALENDAR DAYS AFTER WRITTEN APPROVAL AT TIME OF PRELIMINARY REVIEW.
  - MAINTAIN CONSTANT MOISTURE TO AN 8" DEPTH.
  - KEEP AREAS FREE OF UNDESIRABLE WEEDS BY HAND PULLING.
  - MAINTAIN IRRIGATION SYSTEMS IN FULL OPERATING ORDER, AND REPAIR AND REPLACE ALL DAMAGED IRRIGATION EQUIPMENT AS NECESSARY FOR COMPLETE OPERATION OF THE SYSTEM.
  - MAINTAIN TREES IN BEST CONDITIONS BY SPRAYING, PRUNING, WATERING, ETC. AS NECESSARY.
  - MAINTAIN TREE BASINS, AND STAKING FOR TREES.



DATE	DESCRIPTION

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OAKLAND, CA

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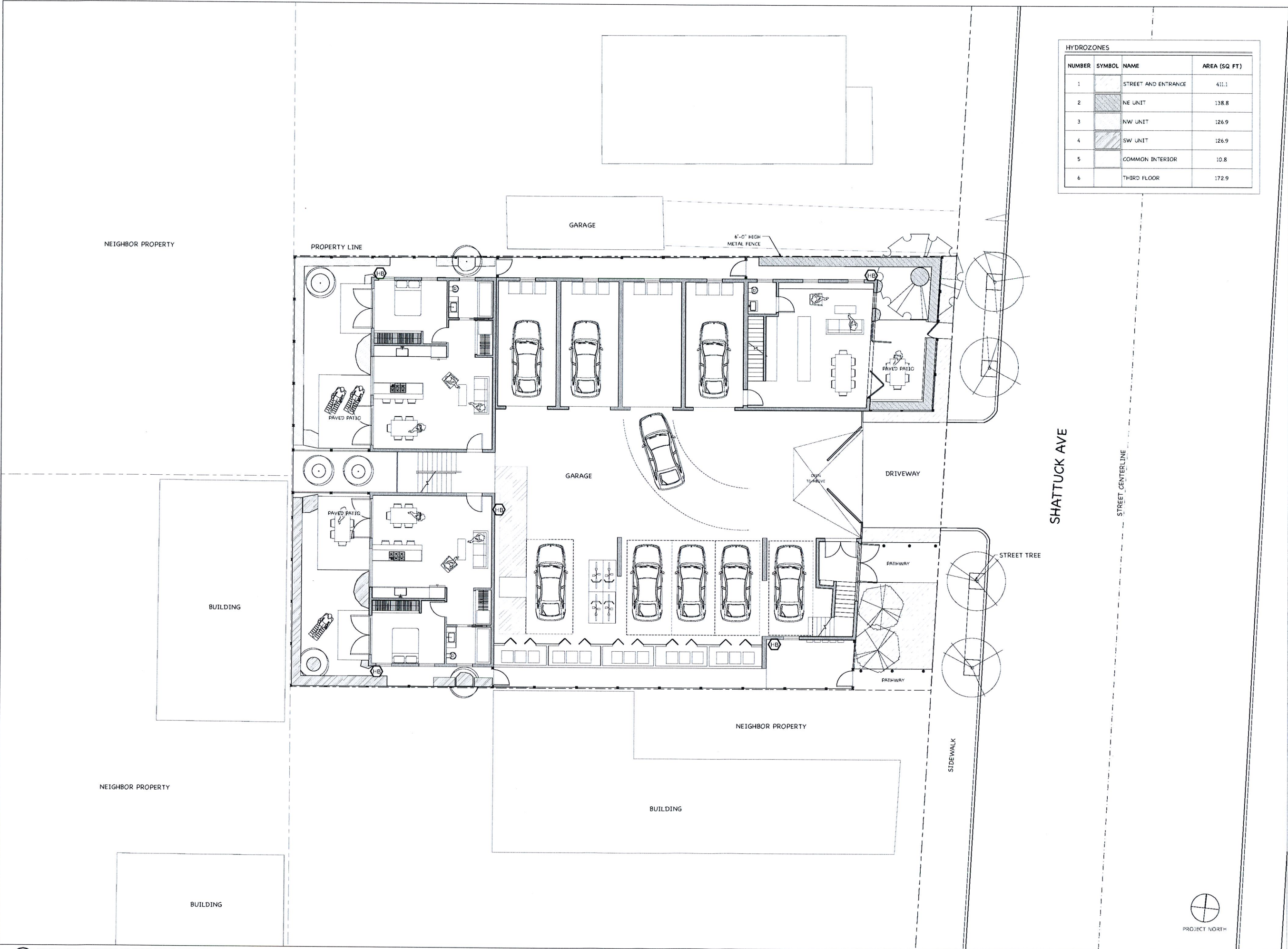
SHEET TITLE:

FIRST FLOOR  
IRRIGATION PLAN  
1/2

SHEET NUMBER:

L.6

HYDROZONES			
NUMBER	SYMBOL	NAME	AREA (SQ. FT.)
1		STREET AND ENTRANCE	411.1
2		NE UNIT	138.8
3		NW UNIT	126.9
4		SW UNIT	126.9
5		COMMON INTERIOR	10.8
6		THIRD FLOOR	172.9





LARSON  
SHORES  
ARCHITECTURE  
AND INTERIORS

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SUBMITTAL:

REVISIONS:		
DATE	DESCRIPTION	

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SHEET TITLE:

FIRST FLOOR  
IRRIGATION PLAN  
2/2

SHEET NUMBER:



IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT: 1" DV VALVE W/ 1" PRESSURE REGULATING FILTER AT 40PSI AND MDCF FITTING. 36PM-15GPM	5
⊕	RAIN BIRD MDCF-CAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	13
Ⓐ	RAIN BIRD ARV075 3/4" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX. USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE.	5
	AREA TO RECEIVE SUBSURFACE DRIPLINE RAINBIRD XFS-06-18-500 PRESSURE AT 8.5 TO 60PSI.	250 LF
	AREA TO RECEIVE PRESSURE COMPENSATING MODULES. RAINBIRD PC-05 PRESSURE AT 10 TO 50 PSI	
	Emitter Notes: 1 gal plant to receive 1 emitter 5 gal plant to receive 2 emitters 15 gal plant to receive 3 emitters 24" box to receive 4 emitters.	
	RAINBIRD DRIPLINE STRIPE TUBING XBS500B TO CONNECT IRRIGATION AREAS AND INSTALLING RAINBIRD PC-05	500 LF
⌵	NIBCO T-580-S6-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	5
Ⓜ	GRIEWOLD 2160LE 2" 2" SOLENOID, NORMALLY OPEN MASTER VALVE. EPOXY COATING. CAST IRON AND BRONZE MATERIAL. NPT END CONNECTION.	1
Ⓟ	FEBCO 825VA 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	1
Ⓐ	RAINBIRD ESP4SMTE MODULAR OUTDOOR CONTROLLER W/ RAIN CHECK INCLUDED	1
Ⓜ	HOSE BIB	5
Ⓜ	WATER METER 1"	1
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 IRRIGATION PIPE	
	PIPE SLEEVE: PVC SCHEDULE 40	
	VALVE BOXES: BROOKS OR EQUAL, BLACK COLOR.	FOR DRIP CONTROLS & AIR VALVES

NEIGHBOR PROPERTY

PROPERTY LINE

GARAGE

6'-0" HIGH METAL FENCE

PAVED PATIO

DRIVEWAY

STREET TREE

SIDEWALK

NEIGHBOR PROPERTY

BUILDING

NEIGHBOR PROPERTY

BUILDING



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SHEET TITLE:

THIRD FLOOR  
IRRIGATION PLAN

SHEET NUMBER:

L.8

IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE W/ 1" PRESSURE REGULATING FILTER AT 40PSI AND MDCF FITTING, 3GPM-15GPM	1
Ⓔ	RAIN BIRD MDCF CAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	2
Ⓐ	RAIN BIRD ARV075 3/4" AIR RELIEF VALVE, MADE OF QUALITY RUST-PROOF MATERIALS, WITH A 6.0" DRIP VALVE BOX. USE WITH INSTALLATION BELOW SOIL. THE VALVE WILL ALLOW AIR TO ESCAPE THE PIPELINE, THUS PREVENTING WATER HAMMER OR BLOCKAGE.	2
	AREA TO RECEIVE SUBSURFACE DRIPLINE RAINBIRD XFS-06-18-500 PRESSURE AT 8.5 TO 40PSI	125 LF
	AREA TO RECEIVE PRESSURE COMPENSATING MODULES. RAINBIRD PC-05 PRESSURE AT 10 TO 50 PSI	
	Emitter Notes: 1 gal plant to receive 1 emitter 5 gal plant to receive 2 emitters 15 gal plant to receive 3 emitters 24" box to receive 4 emitters.	
	RAINBIRD DRIPLINE STRIPE TUBING XB5500B TO CONNECT IRRIGATION AREAS AND INSTALLING RAINBIRD PC-05	
Ⓘ	NIBCO T-580-56-R-66-LL STAINLESS STEEL BALL VALVE SHUT OFF VALVE	1
Ⓕ	HOSE BIB	2
	IRRIGATION LATERAL LINE, PVC SCHEDULE 40 IRRIGATION PIPE	
	PIPE SLEEVE: PVC SCHEDULE 40	
	VALVE BOXES: BROOKS OR EQUAL, BLACK COLOR.	FOR DRIP CONTROLS & AIR VALVES

SHATTUCK AVE

STREET CENTERLINE

DRIVEWAY

SIDEWALK



BUILDING

NEIGHBOR PROPERTY

GARAGE

PROPERTY LINE

NEIGHBOR PROPERTY

BUILDING

NEIGHBOR PROPERTY

BUILDING

NEIGHBOR PROPERTY

BUILDING



IRRIGATION CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE

MAWA = (ETo) x 0.62 X [(0.7 x LA) + (0.3 x SLA)]

MAWA: Maximum Applied Water Allowance

ETo: Evapotranspiration in inches per year

0.62: Conversion factor to gallons per square foot

0.7: ET adjustment factor for plant factors and irrigation efficiency (ETAF)

LA: Landscape Area

SLA: Portion of the landscape area identified as a special landscape area in sq ft.

PROJECT SITE: OAKLAND, CA in USDA ZONE 10b (41.80" Annual ETo)

TOTAL LANDSCAPE AREA: 987.4 SF

TOTAL SPECIAL LANDSCAPE AREA: 0 SF

MAWA = 41.80 x 0.62 x [(0.7 x 987.4) + (0.3 x 0)]

= 25,916 x [691.18 + 0]

= 17,912.6 GALLON PER YEAR

MAWA = 17,912.6 GALLON PER YEAR

ESTIMATED TOTAL WATER USE

ETWU = (ETo) x 0.62 X [(PF x HA) / IE + SLA]

ETWU: Estimated Total Water Use in gallons per year

ETo: Evapotranspiration in inches per year

0.62: Conversion factor to gallons per square foot

PF: Plant Factor from WUCOLS

HA: Hydrozone area in sq ft. Each HA shall be classified based upon the data included in the landscape and irrigation plan as high, medium or low water use.

IE: Irrigation efficiency of the irrigation method used in the hydro zone.

SLA: Special landscape area in sq ft.

PROJECT SITE: OAKLAND, CA in USDA ZONE 10b (41.80" Annual ETo)

LANDSCAPE AREA: 987.4 SF

TOTAL SPECIAL LANDSCAPE AREA: 0 SF

TOTAL WATER FEATURE AREA: 0 SF

TOTAL LANDSCAPE AREA: 987.4 SF

HYDROZONE	SYSTEM	PLANT WATER USE TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA) IN SQ FT	IE	(PF x HA) / IE
1	DRIP	VERY LOW	0.1	411.1	0.9	45.7
2	DRIP	LOW-MODERATE	0.38	138.8	0.9	58.6
3	DRIP	LOW-MODERATE	0.38	126.9	0.9	48.2
4	DRIP	LOW-MODERATE	0.38	126.9	0.9	48.2
5	DRIP	MODERATE	0.5	10.8	0.9	6.0
6	DRIP	LOW	0.2	172.9	0.9	38.4

ETWU = 41.80 x 0.62 x [45.7 + 58.6 + 48.2 + 48.2 + 6.0 + 38.4 + 0]

= 25,916 x 245.1

= 6,352.01 GALLON PER YEAR

Project Total ETWU = 6,352.01 GALLON PER YEAR

GENERAL IRRIGATION NOTES:

1. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DIFFERENCES BETWEEN THE DESIGN WATER PRESSURE AND THE ACTUAL WORKING PRESSURE READING AT THE IRRIGATION P.O.C. TO OWNER'S REPRESENTATIVE

2. THIS DESIGN IS DIAGRAMMATIC. THESE DRAWINGS ARE INTENDED TO BE A SCHEMATIC REPRESENTATION OF THE FINISHED IRRIGATION SYSTEM. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING, AND ARCHITECTURAL FEATURES. CONTRACTOR SHALL MAKE ALL NECESSARY FIELD ADJUSTMENTS TO ACCOMMODATE ACTUAL SITE CONDITIONS.

3. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THESE PLANS AT THE SITE PRIOR TO COMMENCEMENT OF WORK.

4. CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THESE DRAWINGS WHEN IT IS OBVIOUS THAT FIELD OBSTRUCTIONS AND/OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MAY NOT HAVE BEEN CONSIDERED IN THE SYSTEM ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

5. CONTRACTOR TO COORDINATE SLEEVING UNDER ALL PAVING WITH OTHER TRADES AS NECESSARY. NO TEES OR ELLS SHALL BE INSTALLED UNDER PAVING. ALL SLEEVES SHALL EXTEND A MINIMUM OF TWENTY-FOUR INCHES (24") BEYOND EDGE OF PAVING. ALL SLEEVES LOCATED UNDER PAVING SHALL BE TWO (2) TIMES THE OUTSIDE DIAMETER OF THE PIPE TO BE SLEEVED, MINIMUM TWO-INCH (2") DIAMETER. CONTRACTOR TO INSTALL METALLIC BACKED TAPE ALONG THE ENTIRE LENGHT OF THE SLEEVE, TWELVE INCHES (12") DIRECTLY ABOVE THE SLEEVE. TAPE SHALL BE MARKED 'IRRIGATION' IN TWO INCH (2") CAPITAL LETTERS EVERY THREE FEET (3') ALONG THE TAPE.

6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO OPERATE AT A WATER VELOCITY NOT TO EXCEED FIVE (5) FEET PER SECOND.

7. REMOTE CONTROL VALVES SHALL BE INSTALL ADJACENT TO WALKWAY, IN PLANTING AREAS UNLESS OTHERWISE NOTED.

8. QUICK COUPLERS SHALL BE LOCATED AT A MAXIMUM SPACING OF 100' O.C.

9. CONTRACTOR SHALL FLUSH ALL MAIN LINES PRIOR TO INSTALLATION OF THE VALVES, AND SHALL FLUSH ALL LATERAL LINES PRIOR TO INSTALLATION OF THE DRIP SYSTEM.

10. CONTRACTOR SHALL ADJUST ALL SYSTEMS FOR OPTIMUM PERFORMANCE. THIS INCLUDES ADJUSTMENT OF THE FLOW CONTROL STEM AT EACH REMOTE CONTROL VALVE (TO OBTAIN THE OPTIMUM OPERATING FLOW/PRESSURE FOR THAT SYSTEM).

11. COORDINATE IRRIGATION WORK WITH PLANTING PLANS TO AVOID CONFLICTING LOCATIONS BETWEEN PIPING AND PLANT PITS. SPECIMEN TREE LOCATION TAKE PRECEDENCE OVER IRRIGATION PIPING. LOCATE SPECIMEN TREES PRIOR TO TRENCHING FOR IRRIGATION PIPING.

12. TRENCH MARKER. ALL DIRECT BURIAL WIRES SHALL BE MARKED WITH A CONTINUOUS RED COLORED TRENCH MARKER TAPE PLACED NINE INCHES (9") BELOW FINISH GARDE DIRECTLY ABOVE THE BURIED WIRES. MARKER TAPE SHALL BE EQUAL TO "ALARM TAPE" AS MANUFACTURED BY PAUL POTTER WARNING TAPE INC. SHALL BE FOUR INCHES (4") WIDE.

13. IRRIGATION SYSTEMS ARE TO BE INSTALLED AS DESIGNED AND IN ACCORDANCE WITH THE CRITERIA AND APPLICABLE STANDARDS AS OF THE APPROVED DATE OF THESE PLANS. ALL IRRIGATION SYSTEM COMPONENTS SHALL BE INSTALLED PER LOCAL CODE. CONTRACTORS SHALL SECURE ALL NECESSARY PERMITS.

14. FOR REMOTE CONTROL VALVE MANIFOLDS, BALL VALVE SIZE SHALL EQUAL THE SIZE OF THE LARGEST REMOTE CONTROL VALVE IN THE MANIFOLD.

15. PROVIDE PULL BOXES FOR CONTROL WIRING AT ALL CHANGES IN DIRECTION GREATER THAN FORTY-FIVE (45) DEGREES AND WHERE WIRE RUNS EXCEED THREE-HUNDRED FEET (300') IN LENGHT. IN-LINE WIRE SPLICES SHALL BE MADE ONLY IN PULL BOXES, WITH WATERPROOF CONNECTORS.

16. CONTRACTOR SHALL PROVIDE ONE (1) SET OF EXTRA CONTROL WIRES PER MANIFOLD. BUNDLE AND TAPE 10' OF ADDITIONAL WIRE AND INSTALL IN A PULL BOX ADJACENT TO THE VALVE MANIFOLD.

17. NO WIRE SPLICES SHALL BE ALLOWED ON RUNS OF LESS THAN 500'. ON RUNS GREATER THAN 500', SPLICES ARE TO BE MADE WITH AN APPROVED SPLICED UNIT, AND TO BE INSTALLED IN A CONCRETE PULL BOX.

18. BACKFILL MATERIALS SHALL BE CLEAN AND FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), AND OBJECTS WITH SHARP EDGES.

19. CONTRACTOR SHALL INSTALL IN-LINE ANTI-DRAIN VALVES AS WARRANTED BY THE SITE CONDITIONS TO ALLEVIATE LOW-HEAD DRAINAGE.

20. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY EXISTING IRRIGATION SYSTEM EQUIPMENT WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION.

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AND INTERIORS

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SHEET TITLE:

IRRIGATION  
CALCULATIONS  
AND NOTES

SHEET NUMBER:

L.9

9 IRRIGATION CALCULATIONS AND NOTES