

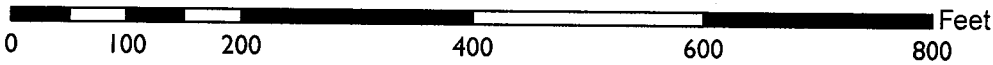
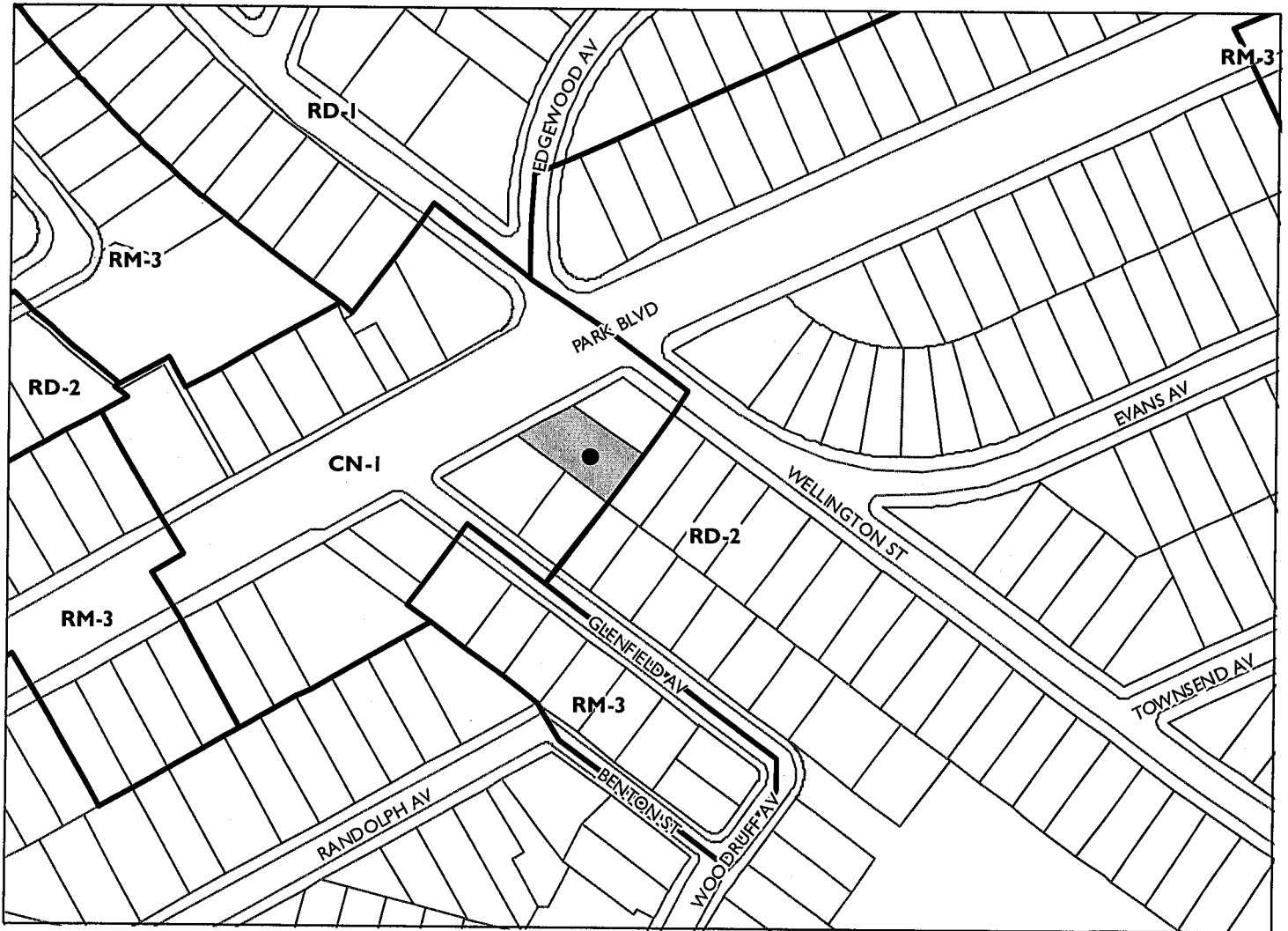
Location:	4230 Park Boulevard. (APN: 024-0539-045-00) (See map on reverse)
Proposal:	To allow a limited service restaurant (Mountain Mike's Pizza) within a ground floor commercial space, including the sale of beer and wine (Type 41 ABC License), with hours of operation from 11:00am - 10:00pm, Sunday thru Thursday, and 11:00am - 11:00pm on Friday and Saturday.
Applicant:	David J. Elliot - Architect
Owner:	4226 Park Blvd LLC
Planning Permits Required:	Major Conditional Use Permit to allow an Alcoholic Beverage Sales Commercial Activity with Findings of Public Convenience or Necessity (Sec. 17.103.030 (B) (2) & (3); Additional Conditional Use Permit Findings for Activities in CN zones (Sec. 17.33.01(L4) & 17.33.030) & Variance(s) for distance separation (Sec.17.148.050)
General Plan:	Neighborhood Center Mixed Use
Zoning:	CN-1 Neighborhood Commercial - 1 Zone
Environmental Determination:	Exempt, Section 15301 of the State CEQA Guidelines: Existing Facilities (operation); Section 15183: Projects consistent with a community plan, general plan or zoning
Historic Status:	Potential Designated Historic Property; Survey Rating: C2+
City Council District:	5
Staff Recommendation:	Approve with conditions
Finality of Decision:	Appealable to City Council within 10 days
For Further Information:	Contact case planner Moe Hackett at 510-238-3973 or mhackett@oaklandnet.com

SUMMARY

The applicant requests Planning Commission approval of a Conditional Use Permit to establish a limited service restaurant on the ground floor, Major Conditional Use Permit with additional findings for Alcoholic Beverage Sales, Variances for alcohol sales within 1,000 feet of an existing alcoholic beverage off-site bottle-sales (Savemore Market at 4219 Park Boulevard), and civic uses (Park Blvd. Presbyterian Church at 4101 Park Blvd., and the Glenview Elementary School at 4215 La Cresta Ave.), and Findings of Public Convenience or Necessity to allow a Type 41 ABC (Alcohol Beverage Control) license for the sale of "beer and wine" in conjunction with a limited service restaurant "Mountain Mike's Pizza".

Staff recommends the approval of the proposal.

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN17328
Applicant: David J. Elliot
Address: 4230 Park Boulevard
Zone: CN-1

PROPERTY DESCRIPTION

The project site consists of a 5,668 square foot parcel located on the east side of Park Boulevard mid-block between Glenfield Avenue and Wellington Street in the Glenview Commercial District. The property contains a two-story commercial building with three commercial spaces on the ground floor occupied by an animal care/retail store) at the left, a restaurant to the right, and a martial art studio upstairs. The middle space on the ground floor is a vacant 1,431 square-foot suite most recently occupied by a RadioShack store. The block also contains a commercial building on either corner, all at zero lot line. Across the street and south of Glenfield are other commercial buildings / businesses. The district contains at least seven conditionally-permitted restaurants or cafes approved between 1984 and 2011. The corridor is four-lane with a median and traffic signals; on-street parking is diagonal and metered. Apartments and single-family homes surround the district.

PROJECT DESCRIPTION

The proposal is to establish a limited service restaurant, "Mountain Mike's Pizza.". The restaurant would include a 454 square-foot dining room with 6 tables and 2 booths (approximate). The applicant has requested to serve beer and wine. Hours of operation would be 11:00am -10:00pm Sunday through Thursday and 11:00am – 11:00pm Friday through Saturday. The applicant has experience operating restaurants throughout the Bay Area. A very similar proposal was recently approved in Montclair Village.

GENERAL PLAN ANALYSIS

The subject property is located within the Neighborhood Center Mixed Use Area of the General Plan Land Use & Transportation Element (LUTE). The Neighborhood Center Mixed Use Classification is intended *"to identify, create, maintain and enhance mixed use neighborhood commercial centers. These centers are typically characterized by smaller scale pedestrian-oriented, continuous street frontage with a mix of retail, housing, office, active open space, eating and drinking places, personal and business services, and smaller scale educational, cultural, or entertainment uses."* (LUTE, p. 149.) The proposed restaurant with beer and wine and an 11:00 P.M. closing time is consistent with the intent of the General Plan. The proposal would enhance the variety of products available to residents who frequent the many dining establishments in the district and would not adversely affect the neighborhood. The proposal conforms to the following LUTE Policies:

Policy I/C3.2 Enhancing Business Districts.

Retain and enhance clusters of similar types of commercial enterprises as the nucleus of distinctive business districts, such as the existing new and used automobile sales and related uses through urban design and business retention efforts.

Policy I/C3.4 Strengthened Vitality.

The vitality of existing neighborhood mixed use and community commercial areas should be strengthened and preserved.

Policy I/C3.3 Clustering Activity in "Nodes"

Retail uses should be focused in "nodes" of activity, characterized by geographic clusters of concentrated commercial activity, along corridors that can be accessed through many modes of transportation.

Staff finds the proposal to conform to the General Plan, subject to Conditions of Approval.

ZONING ANALYSIS

The proposed project is in the CN-1 Neighborhood Commercial – 1 Zone. The intent of the CN-1 Zone is *“to maintain and enhance vibrant commercial districts with a wide range of retail establishments serving both short and long term needs in attractive settings oriented to pedestrian comparison shopping.”* The proposed restaurant with beer and wine meets this intent. This proposal is for on-site consumption of beer and wine in conjunction with meals. This activity requires a type 41 license (On Sale Beer & Wine – Eating Place) from the State’s Department of Alcoholic Beverage Control (ABC). The following are permits required for the proposal, the reason each permit is required, and a discussion of each permit requested. These items are further discussed in the Key Issues and Impacts section of this report. All required Findings are contained in Attachment A.

Zoning Classification

The “Mountain Mike’s Pizza” chain has been identified as a Limited-Service Restaurant, per Section 17.10.274 of the Planning Code, because food orders are taken at a counter instead of by a waiter. A restaurant with waiter service is considered a Full-Service Restaurant.

Minor Conditional Use Permit with Additional Findings

The CN-1 Zoning designation requires any ground floor restaurant to be granted a Conditional Use Permit with additional findings for the CN-1 Zone in order to ensure pedestrian retail compatibility.

Major Conditional Use Permit with Additional Findings

The sale of alcoholic beverages at any limited-service restaurant is regulated as a stand-alone use classification rather than accessory as in the case of a full-service restaurant. Conditional Use Permits for alcoholic beverage sales are “Major” and must be decided by the Planning Commission. Additional findings for a CUP for alcoholic beverage sales to ensure that the use does not contribute to nuisances in the community, including both alcohol-related issues and discouragement of further business attraction.

Findings of Public Convenience or Necessity

The Planning Code also requires Findings of Public Convenience or Necessity for alcoholic beverage sales to establish in an over-concentrated area (that is, a census tract with a higher than median ABC license count and/or a police beat with a higher than median crime rate) to ensure community benefits outweigh any negative impacts. The project site is in an over-concentrated area for ABC licenses; Census Tract 4049 contains seven non-restaurant ABC licenses (all off-sale) which exceeds the Countywide median (per ABC data for June 20, 2017). However, Police Beat 16Y is not over-concentrated for crime. For projects outside of Downtown, Additional Findings of Public Convenience or Necessity are also required to ensure a distance separation to civic uses.

Variance

A major Variance is required because the proposal is in an over-concentrated area that is outside of Downtown, which is located within 1,000 feet of an existing liquor outlet and civic uses (church and elementary school).

Staff finds the proposal, as conditioned, to be in conformance with the Planning Code because the proposal meet all the required findings in the Planning Code and would not have nuisance impacts on the neighborhood. The issue of nuisances is further discussed in the “Key Issues and Impacts” Section of this report and the required findings are contained in Attachment A.

ENVIRONMENTAL DETERMINATION

The California Environmental Quality Act (CEQA) Guidelines categorically exempts specific types of projects from environmental review. Section 15301 of the State CEQA Guidelines exempts project involving *operation and licensing of existing private facilities*. The proposal to establish a restaurant selling beer and wine from an existing commercial building in a commercial district meets this description: the project would constitute operation of an existing private facility. Section 15183 of the State CEQA Guidelines relates to Projects Consistent with a Community Plan, General Plan or Zoning. The project adheres to this section. The project is, therefore, not subject to Environmental Review.

KEY ISSUES AND IMPACTS

Conditional Use Permits

The proposed pizza restaurant within a commercial district would enhance the function of the district as a destination to eat, shop and activate the pedestrian streetscape. The sale of beer and wine would be an accessory use to the restaurant business and, as conditioned, is not anticipated to generate nuisances. The restaurant would not have late hours that would be typical of a liquor store or bar. Conditions of approval to reduce the potential for nuisances such as noise, loitering, and littering are incorporated into this report. Conditions also ensure the restaurant always operates a kitchen during business hours and only sells alcoholic beverages for onsite consumption and with food.

Several letters of concern have been received prior to the public notification period and following a public presentation to the Glenview Neighborhood Association (GNA) meeting on November 1, 2017. The most prominent concerns are regarding the concentration of restaurants in the neighborhood, particularly pizza parlors, allowing a corporate franchise in the district, and parking.

Staff does not believe the proposal would create an overconcentration of one use in the commercial district. The project area currently contains 10 restaurants or cafes out of 26 ground floor businesses. Staff has calculated that restaurants, including the proposal, would represent approximately 45 percent of the available retail street frontage (see Attachment D for a map of businesses). In general, staff uses a 60 percent threshold to measure overconcentration in a neighborhood because the Planning Code considers this percentage to set a context in a neighborhood. For instance, this threshold applies to regulations relating to parking location and upper story height contexts. Staff acknowledges that this is a relatively high percentage to begin to consider a district overconcentrated with a type of business; however, staff believes this threshold is appropriate given internet economy's impact on brick and mortar stores and to minimize vacancy rates.

Several letters express concern associated with the parking availability in the area. However, the Planning Code does not require parking for the reuse of an existing commercial building. Further, staff does not anticipate the restaurant creating large demand for parking due to its relatively small size (1,431 square feet) and its pick-up and delivery operation.

The Planning Code has no findings or regulations regarding the establishment of corporate franchises in a neighborhood commercial district. Therefore, the Planning Department has no jurisdiction over this aspect of the proposal.

Variances

Alcohol related variances are required due to the site's proximity to the following uses:

	Address	Separation (parcels)	Description
ABC Outlets			
	4219 Park Blvd.	135'	Savemore Market - ABC License Type 21
Civic Uses			
	4101 Park Blvd.	720'	Park Boulevard Presbyterian Church -Community assembly and associate day care center.
Public School			
	4215 La Cresta Ave.	422'	Glenview Elementary School

Approval of the Variance requires justification for relief from the distance separation requirement. The intent of the distance separation is to ensure that alcohol outlets, such as bars and liquor stores/convenience markets, which historically generate nuisances, do not proliferate, especially adjacent to residences and civic uses. In this case, the proposal is not for a bar or liquor store/convenience market. Census Tract 4045.02 has twenty-seven (27) ABC licenses, but twenty (20) are for restaurants and only seven are for off-sale. Furthermore, the proposed small limited service restaurant is an area of Oakland that is appropriate for an independent small business with a family friendly clientele. In addition, the operating characteristics of the proposed business are similar to a full-service restaurant in that food is served to tables by waiters.

The Variance requires Findings of Public Convenience of Necessity to be met; given the economic and consumer benefits of the project and the appropriateness of the activity for the business type, these findings are met (see Attachment A).

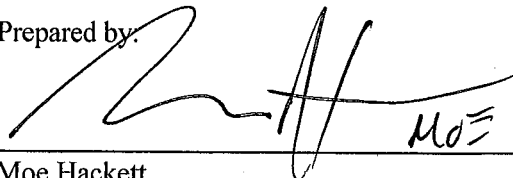
With conditions of approval, staff does not consider crime to be a significant issue with this application. As this area is not over-concentrated for crime. Most recent data indicate Police Beat 16Y had 83 reported crimes over a 29-day period ending November 28, 2017 (Attachment E), where 1,143 is considered to be over-concentrated. This police beat includes Park boulevard and the Glen View commercial district. Staff notes that Oakland Police Department crime statistics indicate these crimes are not centered around the site and none were alcohol-related. Staff informed the City Councilmember's Office, Neighborhood Service Coordinator, Neighborhood Crime Prevention Council, and Oakland Police Department's Alcoholic Beverage Action Team of the application and has not received any objections to the application.

Due to the proposal's ability to satisfy required findings, staff recommends approval of the project, subject to Conditions of Approval, including a compliance review.

RECOMMENDATIONS:


1. Affirm staff's environmental determination.
2. Approve the Major and Minor Conditional Use Permits and Variances subject to the attached findings and conditions.

Prepared by:



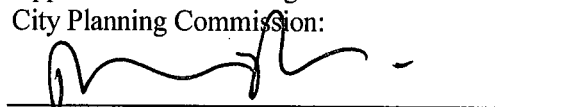
Moe Hackett
Planner II

Reviewed by:



Robert Merkamp
Acting Zoning Manager

Approved for forwarding to the
City Planning Commission:



Darin Ranelletti , Deputy Director
Planning and Building Department

ATTACHMENTS:

- A. Findings
- B. Conditions of Approval
- C. Project Plans
- D. Map of businesses in the Glenview District
- E. Map of crime activity in the area
- F. Correspondence

ATTACHMENT A: FINDINGS FOR APPROVAL

This proposal meets the required findings under **General Conditional Use Permit Criteria (OMC Sec. 17.134.050)**; **CN Neighborhood Commercial Zones Regulations/Additional CUP Criteria (OMC Sec. 17.33.030, Table 17.33.01,L4)**; **Use Permit Criteria for Establishments Selling Alcoholic Beverages (OMC Sec. 17.103.030(A))**, **Findings for Public Convenience or Necessity (OMC Sec. 17.103.030(A), (B)(3)&(4))**, and **Variance Findings (OMC Sec. 17.148.050)**, as set forth below. Required findings are shown in bold type; explanations as to why these findings can be made are in normal type.

General Conditional Use Permit Criteria (OMC Sec. 17.134.050)

A. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.

The proposal's operating characteristics will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood. Conditions of approval to reduce the potential for nuisances such as operating hours, noise, loitering, and littering are incorporated into this report. Conditions will also ensure the restaurant operates a kitchen during all business hours and that alcoholic beverages are only sold for onsite consumption and with food. The proposal is in a low crime shopping district and is not adjacent to civic uses.

B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

The floor plan provides for a convenient layout for preparation and consumption of food and alcoholic beverages. No exterior work is currently proposed. Any new signage will be required to receive design review approval from staff.

C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.

The restaurant will employ at least five full-time local employees and hopes to add additional staff in the future. The restaurant will attract customers to the Glen View Commercial District.

D. That the proposal conforms to all applicable design review criteria set forth in the design review procedure at Section 17.136.070.

This finding is not applicable; no development is proposed.

E. That the proposal conforms in all significant respects with the Oakland Comprehensive Plan and with any other applicable plan or development control map which has been adopted by the City Council.

The site is in the Neighborhood Center Mixed Use area of the General Plan's Land Use and Transportation Element (LUTE). The intent of the area is: "To identify, create, maintain and enhance mixed use neighborhood commercial centers." Beer and wine sales as an accessory to a restaurant is consistent with the intent of the Neighborhood Center Mixed Use classification. The Glen View area is

not high in crime. To add the sale of beer and wine with a 10:00 PM weekday and 11:00 PM weekend closing time will conform to the following LUTE Goal and Objective:

Policy I/C3.2 Enhancing Business Districts.

Retain and enhance clusters of similar types of commercial enterprises as the nucleus of distinctive business districts, such as the existing new and used automobile sales and related uses through urban design and business retention efforts.

Policy I/C3.4 Strengthened Vitality.

The vitality of existing neighborhood mixed use and community commercial areas should be strengthened and preserved.

Policy I/C3.3 Clustering Activity in "Nodes"

Retail uses should be focused in "nodes" of activity, characterized by geographic clusters of concentrated commercial activity, along corridors that can be accessed through many modes of transportation.

Objective I/C3

Ensure that Oakland is adequately served by a wide variety of commercial uses, appropriately sited to provide for competitive retail merchandising and diversified office uses, as well as personal and professional services.

Staff finds the request, as conditioned, to conform to the General Plan.

CN Neighborhood Commercial Zones Regulations/Additional CUP Criteria (OMC Sec. 17.33.030, Table 17.33.01,L4)

1. That the proposal will not detract from the character desired for the area;

The proposal will increase dining opportunities and attract pedestrian customer traffic to other businesses in the Glen View Commercial District.

2. That the proposal will not impair a generally continuous wall of building facades;

No new construction is proposed.

3. That the proposal will not weaken the concentration and continuity of retail facilities at ground level, and will not impair the retention or creation of an important shopping frontage;

The proposal does not involve development and will create a ground floor retail facility.

4. That the proposal will not interfere with the movement of people along an important pedestrian street;

No construction is proposed that will change the pedestrian access in the area.

5. That the proposal will conform in all significant respects with any applicable district plan which has been adopted by the City Council.

The proposal conforms to the General Plan as described in the previous section of this attachment.

Use Permit Criteria for Establishments Selling Alcoholic Beverages OMC 17.103.030(A)

- 1. That the proposal will not contribute to undue proliferation of such uses in an area where additional ones would be undesirable, with consideration to be given to the area's function and character, problems of crime and loitering, and traffic problems and capacity;**

The area is over-concentrated for ABC licenses but not for crime. Census Tract 4045.02 contains twenty-seven ABC licenses where four or more is over-concentrated according to the Planning Code. Twenty of these twenty-seven are restaurants, three are national supermarkets, and the others are specialty beer and wine outlets. Given the nature of the proposed limited service restaurant, over-concentration is not considered to be a major issue with adoption of conditions of approval.

- 2. That the proposal will not adversely affect adjacent or nearby churches, temples, or synagogues; public, parochial, or private elementary, junior high, or high schools; public parks or recreation centers; or public or parochial playgrounds;**

The site is not immediately abutting any civic use; it is in a commercial district surrounding by similar uses. However, the site is within 1,000 feet of two civic activities. The Park Boulevard Presbyterian Church is approximately 740 feet from the storefront to the south on park Boulevard, and the Glen View Elementary School is approximately 420 feet from the rear property line (but not directly accessible by straight path or roadway).

- 3. That the proposal will not interfere with the movement of people along an important pedestrian street;**

No construction is proposed that will change the pedestrian access in the area.

- 4. That the proposed development will be of an architectural and visual quality and character which harmonizes with, or where appropriate enhances, the surrounding area;**

No construction is proposed; the activity will take place in an existing building.

- 5. That the design will avoid unduly large or obtrusive signs, bleak unlandscaped parking areas, and an overall garish impression;**

No construction is proposed; conditions of approval will ensure displays and advertising signage are not located at façade glazing near the storefront windows.

- 6. That adequate litter receptacles will be provided where appropriate;**

Conditions of approval require trash cans and litter clean-up both on-site and in the public right-of-way.

- 7. That where the proposed use is in close proximity to residential uses, and especially to bedroom windows, it will be limited in hours of operation, or designed or operated, so as to avoid disruption of residents' sleep between the hours of ten p.m. and seven a.m. The same criteria shall apply to all conditional use permits required by subsection B of this section for sale of alcoholic beverages at full-service restaurants.**

The rear of the building abuts other commercial businesses in the district and the latest closing time will be 11:00 PM.

- 8. That proposals for new Fast-Food Restaurants must substantially comply with the provisions of**

the Oakland City Planning Commission "Fast-Food Restaurant--Guidelines for Development and Evaluation" (OCPD 100-18).

This finding is not applicable; the proposal does not involve a fast-food restaurant.

Findings of Public Convenience or Necessity (OMC Sec. 17.103.030(B)(3)&(4))

3a. That a community need for the project is clearly demonstrated. To demonstrate community need, the applicant shall document in writing, specifically how the project would serve an unmet or underserved need or population within the overall Oakland community or the community in which the project is located, and how the proposed project would enhance physical accessibility to needed goods or services that the project would provide, including, but not limited to alcohol; and

Sale of beer and wine is typical with a limited service restaurant. Although it is located near a small market and other restaurants that offer similar product offerings, there is no other pizza restaurant selling alcohol in this district. This site is easily accessed by vehicle or pedestrian traffic and is served by public transit.

b. That the overall project will have a positive influence on the quality of life for the community in which it is located, providing economic benefits that outweigh anticipated negative impacts, and that will not result in a significant increase in calls for police service; and

The project will increase business tax and consumer selection and is not anticipated to result in related nuisances given the format of the location and surrounding area.

c. That alcohol sales are customarily associated with, and are appropriate, incidental, and subordinate to, a principal activity on the lot.

The sale of alcoholic beverages is typical of a limited service restaurant with a full menu.

4a. The proposed project is not within one thousand (1,000) feet of another alcohol outlet (not including Full Service Restaurant Commercial Activities), school, licensed day care center, public park or playground, churches, senior citizen facilities, and licensed alcohol or drug treatment facilities; and

This finding is not met and a Variance is required as included in this report; the site is within one thousand feet of other alcohol outlets, a church, and a public school as described in Variance finding #1.

4b. Police department calls for service within the "beat" where the project is located do not exceed by twenty percent (20%), the average of calls for police service in police beats Citywide during the preceding one (1) calendar year.

This finding is met. Police Beat 16Y is well below the Citywide average for service calls within the beat. Beat 03y received 4,929 calls for service while 8,132 was the city-wide average (OPD 2015 statistic).

SECTION 17.148.050 – VARIANCE FINDINGS:

1. That strict compliance with the specified regulation would result in practical difficulty or unnecessary hardship inconsistent with the purposes of the zoning regulations, due to unique physical or topographic circumstances or conditions of design; or, as an alternative in the case of a minor variance, that such strict compliance would preclude an effective design solution improving livability, operational efficiency, or appearance.

The proposal requires a Variance for relief of the 1,000-foot separation requirement from nearby uses as noted in the table below:

	Address	Separation (parcels)	Description
ABC Outlets			
	4219 Park Blvd.	135'	Savemore Market - ABC License Type 21
Civic Uses			
	4101 Park Blvd.	728'	Park Boulevard Presbyterian Church Child Daycare Center
Public School			
	4215 La Cresta Ave.	422'	Glenview Elementary School

The intent of the Variance regulation is to restrict and limit alcohol sales located next to sensitive uses such as a school, church, senior housing, public park, or daycare where the mix of activities may cause significant disruptions to one another. In the case of the school and church, they are within 1,000 feet of each other but are separated by direct street access and by proximal separation at opposite ends of Glen View commercial district; and not within the concentrated commercial area of the proposal. Therefore, the separation meets the intent of the distance separation requirement. The Savemore Market which has liquor sales is a retail outlet for off-site bottle sales. Alcohol sales at the proposed limited service restaurant is on-sale, for on-site consumption only.

The intent of the ordinance requiring distance separations between certain uses is to ensure neighborhoods with high crime rates are not saturated with activities that generate off-site impacts such as littering, public intoxication/drinking/urination/noise/crime/violence in between civic uses and residential neighborhoods. However, the alcohol activities that exist are generally accessory to a restaurant which do not tend to create nuisances in a neighborhood. There are 27 active ABC licenses in the 4045.02 Census Tract, only five are off-sale within 1,000 feet; all other active ABC licenses within 1,000 feet are bona-fide food or multi-use establishments.

When analyzing the proposed activity, it satisfies the intent and purpose of the Planning Code separation requirement as is evidenced by the project's conditions of design, which, in the case of a proposed use, may include the proposed activity's operational characteristics and business practices such as hours of operation and full menu. Generally, "conditions of design" means the appearance or physical attributes of a proposed use or property. Variances are required for uses that might not otherwise be permitted under the zoning regulations. With land use Variances, "conditions of design" encompasses specific operational elements of a project; that is, business practices as they relate to a use's land use impacts. Here, there are distinctions between the proposed use, a limited service restaurant, and a liquor store or bar. The proposal has carefully considered its business operations to minimize its effect on all adjacent businesses by proposing operating hours that reflect a small neighborhood restaurant. In addition, the business model for this activity is a restaurant with some sales, which generally does not cause nuisances in a neighborhood.

2. That strict compliance with the regulations would deprive the applicant of privileges enjoyed by owners of similarly zoned property; or, as an alternative in the case of a minor variance, that such strict compliance would preclude an effective design solution fulfilling the basic intent of the applicable regulation;

The Variance will allow the activity to be established within 1,000 feet of another ABC outlet and other sensitive uses that are civic in nature. The proposed limited service restaurant is in the Glen View commercial area, and is separated from the civic uses by relatively large distances or street configurations (paths of travel). The nearby ABC outlet (the Savemore Market across the street) allows off-site liquor/

bottle sales but does not have on-site consumption, unlike this proposal. As proposed the this limited Service Restaurant or Café has many elements in common with the Full Service Restaurants in the area that are not subject to the 1,000-foot separation, but will be relatively small and will not have full table service. The lack of a beer and wine permit would place a financial burden on the subject operation and deprive them of the benefits allowed outright by the other sit-down eateries in the district. Beyond the lack of table service and the method of payment (prior to the customer being served) the proposal is very much like those other eateries with regard to a full menu that and wait staff that provides table service

3. That the variance, if granted, will not adversely affect the character, livability, or appropriate development of abutting properties or the surrounding area, and will not be detrimental to the public welfare or contrary to adopted plans or development policy;

The proposed limited service restaurant will be located in an existing building with no changes to the exterior of the space or changes to the storefront. The proposed activity will occupy an existing commercial space and is identical in size and shape to the other tenant spaces in the building and is compatible in size and character with the adjacent business on the block and neighborhood as a whole. The restaurant will not include any liquor sales and will close at 11:00pm. The character, livability, or appropriate development of the surrounding area will not be adversely and will not be detrimental to the public welfare or contrary to development policy. Furthermore, the applicant has received support for their application.

4. That the variance will not constitute a grant of special privilege inconsistent with limitations imposed on similarly zoned properties or inconsistent with the purposes of the zoning regulations;

The proposed limited service restaurant will admit minors and will cater to a families and customer interested a gourmet pizza option. The proposed project is a conditionally permitted activity in the neighborhood center zoning designation which is intended to identify, create, maintain and enhance mixed use neighborhood commercial centers. The proposed Mountain Mike's Pizza will not affect the existing building frontage on Park Blvd. but will allow for a new commercial tenant to occupy the street fronting tenant space of the adjacent storefront which maintains consistency with the zoning regulations.

5. That the elements of the proposal requiring the variance (e.g., elements such as buildings, walls, fences, driveways, garages and carports, etc.) conform with the regular design review criteria set forth in the design review procedure at Section 17.136.050.

The Variance is for relief from the distance separation requirement to an existing ABC outlet and design review is, therefore, not applicable.

6. That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

See General Use Permit Finding E, above.

7. For proposals involving one or two residential dwelling units on a lot: That, if the variance would relax a regulation governing maximum height, minimum yards, maximum lot coverage or maximum floor area ratio, the proposal also conforms with at least one of the following criteria:

a. The proposal when viewed in its entirety will not adversely impact abutting residences to the side, rear, or directly across the street with respect to solar access, view blockage and privacy to a

degree greater than that which would be possible if the residence were built according to the applicable regulation and, for height variances, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height; or

b. Over sixty (60) percent of the lots in the immediate vicinity are already developed and the proposal does not exceed the corresponding as-built condition on these lots and, for height variances, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height. The immediate context shall consist of the five closest lots on each side of the project site plus the ten closest lots on the opposite side of the street (see illustration I-4b); however, the Director of City Planning may make an alternative determination of immediate context based on specific site conditions. Such determination shall be in writing and included as part of any decision on any variance.

This finding is not applicable; the project does not involve a house or duplex.

ATTACHMENT B: CONDITIONS OF APPROVAL

1. Approved Use

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, **PLN17328** and the approved plans **dated August 23, 2017**, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

2. Effective Date, Expiration, Extensions and Extinguishment

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **two years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. Minor and Major Changes

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. Compliance with Conditions of Approval

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.
- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant’s expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.

- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60 days of approval, unless an earlier date is specified elsewhere.

8. Indemnification

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the service of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

9. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

SPECIFIC CONDITIONS RELATED TO ALCOHOL BEVERAGE SALES

10. Alcoholic Beverage Sales

a. Additional Permits Required

Prior to commencement of activity

A type 41 license shall be obtained from the ABC.

b. ABAT Registration

Prior to commencement of activity

The operator shall register with the Police Department's Alcoholic Beverage Action Team and adhere to their regulations.

c. Deemed Approved Alcoholic Beverage Sale Regulations

Ongoing

The applicant and proprietor voluntarily agree to conform to the Oakland Planning Code Deemed Approved Alcoholic Beverage Sale Regulations (OMC Sec. 17.156).

d. Neighborhood outreach

Ongoing

The business operator shall be accessible to neighbors wishing to register complaints against the business and shall work to eliminate any nuisances related to the business as reported by neighbors. The establishment shall display signage inside the building and next to the exit discouraging the patrons from generating nuisances outdoors both fronting the building and within the neighborhood. The establishment shall display signage at the front entrance and behind the bar offering contact numbers for both the establishment and the City (CEDA Code Compliance at (510)238-3381 and OPD non-emergency at (510)777-3333) for the purpose of reporting nuisances.

e. Location and manner of alcohol consumption

Ongoing

Alcohol sale is on-sale, for on-site consumption only.

f. Hours of Alcohol Sale and Operating Hours

Ongoing

Hours of alcohol sales are limited to the following: Monday through Thursdays 11:00am to 10:00pm and Friday through Saturday 11:00am to 11:00pm. No alcoholic beverages shall be sold within fifteen minutes prior to closing time. Food shall be available at all hours alcohol is sold. The City Planning Commission reserves the right to modify the hours of operation after holding a public hearing to consider said modification.

11. Facility Management

a. Signage

Within 30 days of the date of decision and ongoing

At least one sign (one square foot maximum) shall be posted and maintained in a legible condition at each public entrance to the building prohibiting littering and loitering. Required signage prohibiting open containers and drinking in public shall also be maintained in legible condition near each public entrance to restaurant. The "No Open Container" signs are available from the cashier located on the second floor of 250 Frank H. Ogawa Plaza.

b. Advertising signage

Ongoing

No product advertising signage (such as neon beer signs) or banners (such as happy hour advertisements) may be displayed.

c. Building Code Upgrades

Prior to commencing approved activities

The applicant shall obtain Building Permits and construct any building upgrades required to comply with the Building Code for occupancy requirements; it may be the case that no upgrades are required.

d. Modifications

Prior to submitting for a building permit & ongoing

All business signage and/or exterior alterations shall require Planning and Zoning Division approval.

e. Loitering

Ongoing

The owner, manager, and employees of this establishment shall make appropriate efforts to discourage loitering from the premises including calling the police to ask that they remove loiters who refuse to leave. Persons hanging around the exterior of the establishment with no apparent business for more than ten minutes shall be asked to leave. Techniques discussed in the manual entitled "Loitering: Business and Community Based Solutions" may be used and are recommended by the Alcoholic Beverage Action Team.

f. Odor

Ongoing

Staff shall eliminate outdoor odors by refraining from purposefully breaking defective bottles outside and by immediately washing spillage from bottles broken accidentally. The activity shall be operated so that little or no odors are discernible by the average person at the property lines. The use shall be designed and operated to contain fumes and odors within the cooking area.

g. Graffiti

Ongoing

Graffiti shall be removed from the premises within 72 hours (3 days) of application.

h. Trash and litter and on-site clean-up

Ongoing

The licensees/property owners shall clear the gutter and sidewalks along Park Boulevard plus twenty feet beyond the property lines along this street of litter twice daily or as needed to control litter. In addition to the requirements of B&P Code Section 25612.5 (sweep or mechanically clean weekly), the licensee shall clean the sidewalk with steam or equivalent measures once per month. The business shall utilize a recycling program. The applicant shall clear litter and debris from the premises and rear area and side alley area of the property at least once daily or as needed to maintain a litter free environment. A portable ashtray, if used, shall remain outside in a location near the entrance and common /public areas during all times that the building is open for business. The ashtray and litter receptacle shall be emptied as often as needed to prevent overflowing.

i. Noise

Ongoing

The City Noise Ordinance (OMC Sec. 8.18.010) and Performance Standards (OMC Sec. 17.20.050) shall be observed for noise emanating from within the establishment from any source of recorded music and from patrons as well as from outdoor noise from patrons.

j. Smoking

Ongoing

The City Smoking Ordinance shall apply (OMC Sec. 8.30); smoking shall not be located within 25-feet of any entrance.

12. Compliance Review

After 6 months of commencement of sale of alcoholic beverages

The applicant shall return to the Planning Bureau to report their progress. Should any complaints regarding on-sale provision or other issues regarding sale of alcohol be identified, staff may refer the item back to the Planning Commission under a Director's Report. In that case, the applicant shall

submit for a Compliance Review, and pay all appropriate fees consistent with the current Master Fee Schedule at that time (currently \$1,310.00). The Compliance Review will be agendized for an upcoming Planning Commission meeting. The Compliance Review shall provide an opportunity for the Commission and the public to provide comment on the operation and determine whether there is a violation of any term, **Conditions** or project description relating to the Approvals or if there is violation of any provision of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance or there exists adverse impacts caused. As a result of the hearing, the Commission may direct staff to initiate enforcement proceedings pursuant to Condition of Approval 5C and/or 13a, and/or may impose additional conditions related to the operation.

Abbreviations

Table of abbreviations and their meanings, including ACOUS, A.D., ADJ., AGRR., APPROX., ARCH., ASB., ASPH., BITUM., BLDG., BLK., BLKG., BM., BOT., CAB., CEM., CER., CLG., CLKG., CLO., CLR., COL., CONC., CONN., CONSTR., CONT., CORR., CTSK., CTR., DBL., DEPT., D.F., DET., DIA., DIM., DISP., D.O., DWR., D.S., D.S.P., Drawing, ELEC., EMER., ENCL., E.P., E.Q., EQPT., E.W.C., EXST., EXPO., EXP., EXT., F.A., F.B., F.D., FDN., F.E., F.E.C., F.H.C., FIN., FLASH., FLUOR., F.O.C., F.O.F., F.O.S., FRF., F.S., FTG., FUR., FUT., GALV., G.B., GND., GYP., H.B., H.C., HDWD., HDWE., H.M., HORIZ., HGT., INSUL., INT., JAN., KIT., LAB., LAM., LAV., LKR.

Material Indications

Table of material indications with symbols and descriptions: Earth (Planter Backfill, Natural/Engineered Fill, Compacted Backfill), Concrete (Cast-in-Place/Precast), Concrete Masonry, Brick, Glass/Glazing, Ceramic Tile, Terrazzo, Asphaltic Concrete, Metal, Marble/Stone, Wood, Finish, Wood, Framing, Plywood, Acoustic Tile/Board, Gypsum Board, Insulation, Batt, Insulation, Rigid.

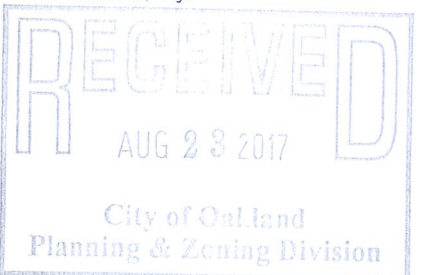


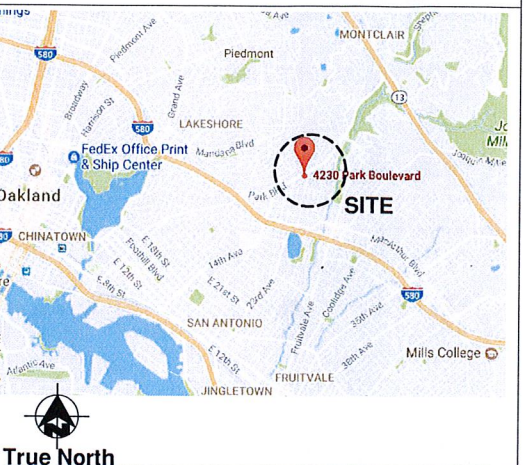
Table with 5 columns and 4 rows of numbers: 20, 16, 12, 8, 4; 19, 15, 11, 7, 3; 18, 14, 10, 6, 2; 17, 13, 9, 5, 1.

DETAILS, PLANS, BUILDING SECTIONS, WALL SECTIONS, ETC. ARE REFERENCED BY NUMBERS ACCORDING TO THEIR LOCATION ON THE SHEET AS INDICATED ABOVE.

Detail Numbering Sequence 13

Symbols

Table of symbols and their meanings: Existing Spot Elevation, New Spot Elevation, Existing Contours, New Contours, Top of Wall Elevation, Top of Curb Elevation, Property Line, Plan North, Building Section Reference, Sheet Number Where Drawn, Detail Number, Detail Reference, Detail Plan Reference, Section Number, Wall Section Reference, Match Line, Shaded Side Shown This Sheet, Revision Reference, Note Reference, Revision Reference.



Vicinity Map (N.T.S.) 9

General Notes

1. SUMMARY OF THE WORK: The Work shall consist of all labor, materials, equipment, tools, transportation, services, and operations necessary to furnish and install the work under separate subcontracts... 2. COORDINATION: Before submitting the proposal for the Work, the contractor shall visit the site and become familiar with all the work with other related drawings and specifications... 3. DRAWINGS: The Drawings are schematic, dimensions given on the plans take precedence over scaled dimensions... 4. ERRORS AND OMISSIONS: The subcontractor shall not take advantage of any unintentional error or omission in the Drawings or Outline Specifications... 5. LAWS, PERMITS, FEES AND NOTICES: The Subcontractor shall give notices and comply with laws, ordinances, rules, regulations and orders of public authorities bearing on the performance of work... 6. FIRE SPRINKLER SYSTEM TENANT IMPROVEMENT: The automatic fire sprinklers system shall be altered as necessary to accommodate interior improvements... 7. FIRE EXTINGUISHERS: Install one 2-A-10-B-C fire extinguisher every 50'/75' of travel or every 3,000 sq. ft. Fire extinguisher locations are indicated on the Floor Plan, Sheet A2.1... 8. EXIT ILLUMINATION: Exit paths shall be illuminated anytime the building is occupied with a light having an intensity of not less than one foot candle at floor level... 9. EXIT SIGNS: Exit signs shall be internally or externally illuminated and provided with battery backup... 10. PREMISES IDENTIFICATION: Approved numbers or addresses shall be provided for all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property.

Project Data

Project: MOUNTAIN MIKE'S PIZZA 4230 PARK BLVD. OAKLAND, CA. 94602

Scope of Work: The existing tenant shell space is remodeled to accommodate a new food service operation. New accessible restrooms, upgrade gas & power services.

Table with columns: Code Compliance SPACE, AREA SQ. FT., OCCUPANCY TYPE, EXITS, WIDTH, RQD. ROD. DES.

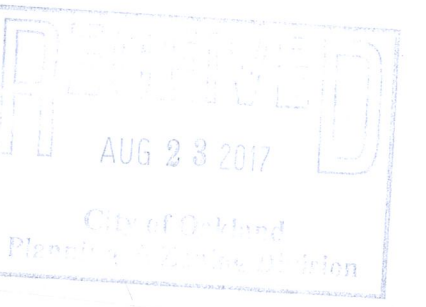
NO FIRE SPRINKLER SYSTEM

Sheet Index

Table with columns: No., Description. Lists sheets A0.1 through E2.2 with their respective descriptions.

APPLICABLE CODES:

Table of applicable codes: BUILDING CODE: 2016 CALIFORNIA BUILDING CODE (CBC), ELECTRICAL CODE: 2016 CALIFORNIA ELECTRICAL CODE (CEC), MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE (CMC), PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE (CPC), ENERGY CODE: 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS, GREEN CODE: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, ACCESSIBILITY CODE: 2016 CALIFORNIA BUILDING CODE.



Attachment C

David J. Elliott & Associates logo and contact information: 17800 Cunha Lane, Salinas, CA 93907, Tel. 831/663-1418, Fax 831/663-6385, david@djeilott.net

TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT

4230 PARK BLVD. OAKLAND, CA. 94602

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Table with columns: Revisions, No., Description, Date. Includes a revision entry with a triangle symbol.



Issue Date 8/4/17

Drawn By DJE

Project Number 1743

Sheet Title General Notes, Symbols, Vicinity Map, Material Indication & Abbreviations

Sheet Number A0.1

**David J. Elliott
 & Associates**

TENANT IMPROVEMENT

**Mountain
 Mike's
 Pizza
 RESTAURANT**

4230 PARK BLVD.
 OAKLAND, CA. 94602

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
 I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Jam Hezar J.D., LEED-AP	Documentation Author Signature: <i>Jam Hezar</i>
Company: Alliance 24 Title	Signature Date: 8/5/2017
Address: 325 Berry Street	CEA Certification Identification (if applicable):
City/State/Zip: San Francisco, CA 94158	Phone: 530-902-4387

RESPONSIBLE PERSON'S DECLARATION STATEMENT
 I certify the following under penalty of perjury, under the laws of the State of California:
 1. The information provided on this Certificate of Compliance is true and correct.
 2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
 3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
 4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
 5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: David J. Elliott	Responsible Designer Signature:
Company: David J. Elliott & Associates	Date Signed:
Address: 17800 Cunha Lane	License:
City/State/Zip: Salinas, CA 93907	Phone: 831-663-1418

Use of these plans and specifications is restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited. Title to plans and specifications remain with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of these restrictions.

Revisions

No.	Description	Date
△		



Issue Date	8/4/17
Drawn By	DJE
Project Number	1743
Sheet Title	LIGHTING TITLE-24 COMPLIANCE
Sheet Number	LT24-3

**Mountain
Mike's
Pizza
RESTAURANT**

4230 PARK BLVD.
OAKLAND, CA. 94602

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Revisions		
No.	Description	Date
△		



Issue Date **8/4/17**

Drawn By **DJE**

Project Number **1743**

Sheet Title
**MECHANICAL
TITLE-24
COMPLIANCE**

Sheet Number **MT24-7**

Project Name:	Mountain Mike's Pizza-Oakland-Mechanical & Plumbing	NRCC-PRF-01-E	Page 19 of 20
Project Address:	4230 Park Blvd Oakland 94602	Calculation Date/Time:	16:33, Sat, Aug 05, 2017
Compliance Scope:	ExistingAdditionAndAlteration	Input File Name:	17-11111 Elliott Arch-Mountain Mike's-Oakland-Mech and Plumbing.cbd16x

B. INDOOR CONDITIONED LIGHTING MANDATORY LIGHTING CONTROLS (Adapted from NRCC-LTI-02-E) § 130.1

This Section Does Not Apply

§130.1(a) • Manual area controls; §130.1(b) • Multi-level; §130.1(c) • Auto Shut Off; §130.1(d) • Mandatory Daylight; §130.1(e) • Demand Response

C. TAILORED METHOD CONDITIONED LIGHTING POWER ALLOWANCE SUMMARY AND CHECKLIST (Adapted from NRCC-LTI-04-E) § 140.6

General lighting power (see Table D)	0
General lighting power from special function areas (see Table E)	NA
Additional "use it or lose it" (See Table G)	0
Total watts	0

D. GENERAL LIGHTING POWER (Adapted from NRCC-LTI-04-E) § 140.6-D

This Section Does Not Apply

E. GENERAL LIGHTING FROM SPECIAL FUNCTION AREAS (Adapted from NRCC-LTI-04-E) § 140.6(c) 3H

Room Number	Primary Function Area	Illuminance Value (LUX)	Room Cavity Ratio (Table G)	Allowed LPD	Floor Area (ft ²)	Allowed Watts	Confirmed	
							Pass	Fail
NA	NA	NA	NA	NA	NA	NA	<input type="checkbox"/>	<input type="checkbox"/>

Note: Tailored Method for Special Function Areas is not currently implemented

F. ROOM CAVITY RATIO (Adapted from NRCC-LTI-04-E)

Rectangular Spaces							Confirmed	
Room Number	Task/Activity Description	Room Length (ft)	Room Width (ft)	Room Cavity Height (ft)	RCR		Pass	Fail
NA	NA	NA	NA	NA	NA		<input type="checkbox"/>	<input type="checkbox"/>

Non-Rectangular Spaces

This Section Does Not Apply

Note: All applicable spaces are listed under the Non-Rectangular Spaces table

Project Name:	Mountain Mike's Pizza-Oakland-Mechanical & Plumbing	NRCC-PRF-01-E	Page 20 of 20
Project Address:	4230 Park Blvd Oakland 94602	Calculation Date/Time:	16:33, Sat, Aug 05, 2017
Compliance Scope:	ExistingAdditionAndAlteration	Input File Name:	17-11111 Elliott Arch-Mountain Mike's-Oakland-Mech and Plumbing.cbd16x

G. ADDITIONAL "USE IT OR LOSE IT" (Adapted from NRCC-LTI-04-E)

1.	2.	3.	4.	Allowed Watts	Confirmed	
Wall Display	Combined Floor Display and Task Lighting	Combined Ornamental and Special Effects Lighting	Very Valuable Merchandise		Pass	Fail
0	0	0	0	0	<input type="checkbox"/>	<input type="checkbox"/>

5. Wall Display

This Section Does Not Apply

6. Floor Display and Task Lighting

This Section Does Not Apply

7. Combined Ornamental and Special Effects Lighting

This Section Does Not Apply

8. Very Valuable Merchandise

This Section Does Not Apply

H. INDOOR & OUTDOOR LIGHTING ACCEPTANCE TESTS & FORMS (Adapted from NRCC-LTI-01-E and NRCC-LTO-01-E) § 130.4

Declaration of Required Acceptance Certificates (NRCA) - Acceptance Certificates that must be verified in the field. (Retain copies and verify forms are completed and signed to post in field for field inspector to verify.)

Test Description	# of units	Indoor			Outdoor	Confirmed	
		NRCA-LTI-02-A	NRCA-LTI-03-A	NRCA-LTI-04-A	NRCA-LTO-02-A	Pass	Fail
		Occ Sensors / Auto Time Switch	Auto Daylight	Demand Responsive	Outdoor Controls		
Equipment Requiring Testing or Verification							
Occupant Sensors	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automatic Time Switch	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Automatic Daylighting	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Demand Responsive	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Controls	0	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

KITCHEN ROOM NUMBER:	Kitchen
TOTAL INSTALLED TYPE I and II KITCHEN HOOD EXHAUST (CFM):	2160CFM
TOTAL BYPASS HOOD MUA (CFM):	2032CFM
TOTAL TRANSFER AIR AIRFLOW (CFM):	108CFM
TOTAL MECHANICALLY HEATED OR COOLED MAKE UP AIR (CFM):	108CFM
TOTAL AIR NEEDED FOR HEATING OR COOLING (CFM):	N/A
TOTAL EXHAUST AIR WITH DEMAND VENTILATION SYSTEMS:	N/A

PRESCRIPTIVE MEASURES	T-24 Sections	Reference to the Requirements in the Contract Documents
Bypass Hood Exhaust and MUA	140.9(b)1A	Capitive: H0001-224M-2-PSP-F and MUA Fan A1-G100 Plan sheet M2.1
Type I/II Hood Exhaust	140.9(b)1B, Table 140.9-A	Capitive: H0001-224M-2-PSP-F and MUA Fan A1-G100 Plan sheet M2.1
Mechanically Heated or Cooled Make Up Air	140.9(b)2A and II	Plan sheet M2.1
Replacement Air/Transfer Air Exhaust	140.9(b)2B	N/A
Demand Ventilation Systems	140.9(b)2Biii	N/A
Energy Recovery Systems	140.9(b)2Biii	N/A
Tempered/Non Mechanical Cooling Air Systems	140.9(b)2Biv	N/A

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Signature Date: 8/5/2017
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Phone: 530-902-4387

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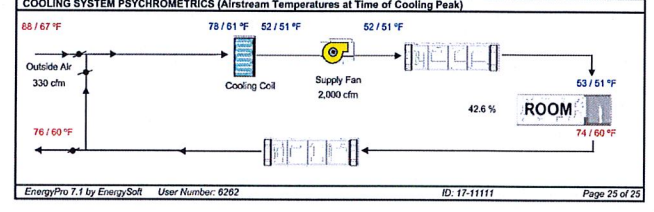
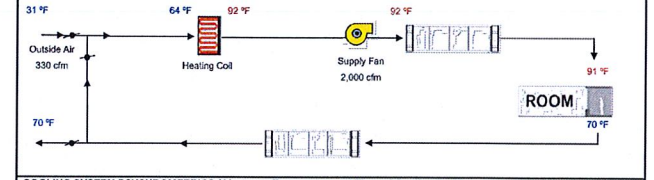
HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Project Name: Mountain Mike's Pizza-Oakland-Mechanical & Plumbing		Date: 8/5/2017				
System Name: HVAC		Floor Area: 1,620				
ENGINEERING CHECKS	SYSTEM LOAD	COIL COOLING PEAK			COIL HTG. PEAK	
		CFM	Sensible	Latent	CFM	Sensible
Number of Systems: 1	Total Room Loads	1,795	40,446	2,256	1,776	40,101
Heating System	Return Vented Lighting					
Output per System: 60,000	Return Fan					
Total Output (Btu/h): 60,000	Ventilation	330	4,346	2,076	330	13,797
Output (Btu/h/ft²): 37.0	Supply Fan					
Cooling System	Supply Air Ducts					
Output per System: 60,000	TOTAL SYSTEM LOAD	52,015	4,332			54,930
Total Output (Btu/h): 60,000						
Total Output (Tons): 5.0						
Total Output (Btu/h/ft²): 37.0						
Total Output (eq/ft²/ten): 324.0						

HVAC EQUIPMENT SELECTION

CFM per System	2,000	RT, ST-Package	56,645	0	60,000
Airflow (cfm)	2,000				
Airflow (cfm/ft²)	1.23				
Airflow (cfm/ten)	400.0				
Outside Air (%)	16.5%	Total Adjusted System Output (Adjusted for Peak Design conditions)	56,645	0	60,000
Outside Air (cfm/ft²)	0.20				

Note: values above given at ARI conditions
TIME OF SYSTEM PEAK: Jul 4 PM, Jan 1 AM



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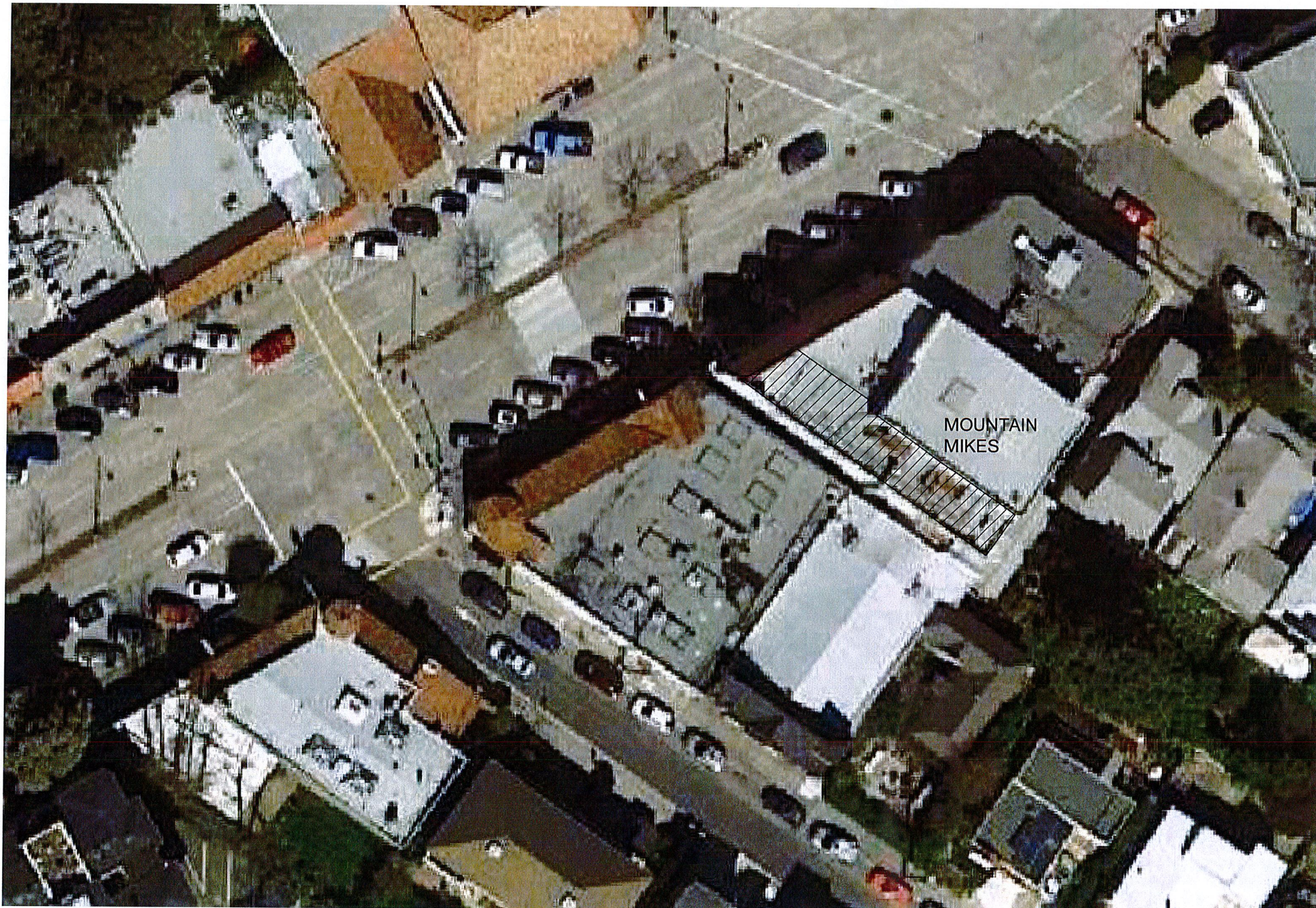
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No.	Description	Date
△		



Issue Date	8/4/17
Drawn By	DJE
Project Number	1743
Sheet Title	COMMERCIAL KITCHEN TITLE-24 COMPLIANCE
Sheet Number	CT24-8



GENERAL NOTES

- 1 PATH OF TRAVEL
- 2 Walkways and sidewalks along accessible routes of travel (1) are continuously accessible, (2) have Maximum 1/2" changes in elevation, or provide curb ramps complying with CBC 1127B.5; (3) are minimum 48" in width, and (4) where necessary to change elevation at a slope exceeding 5% (i.e., 1:20) shall have pedestrian ramps complying with CBC 1133B.5. CBC 1133B.7

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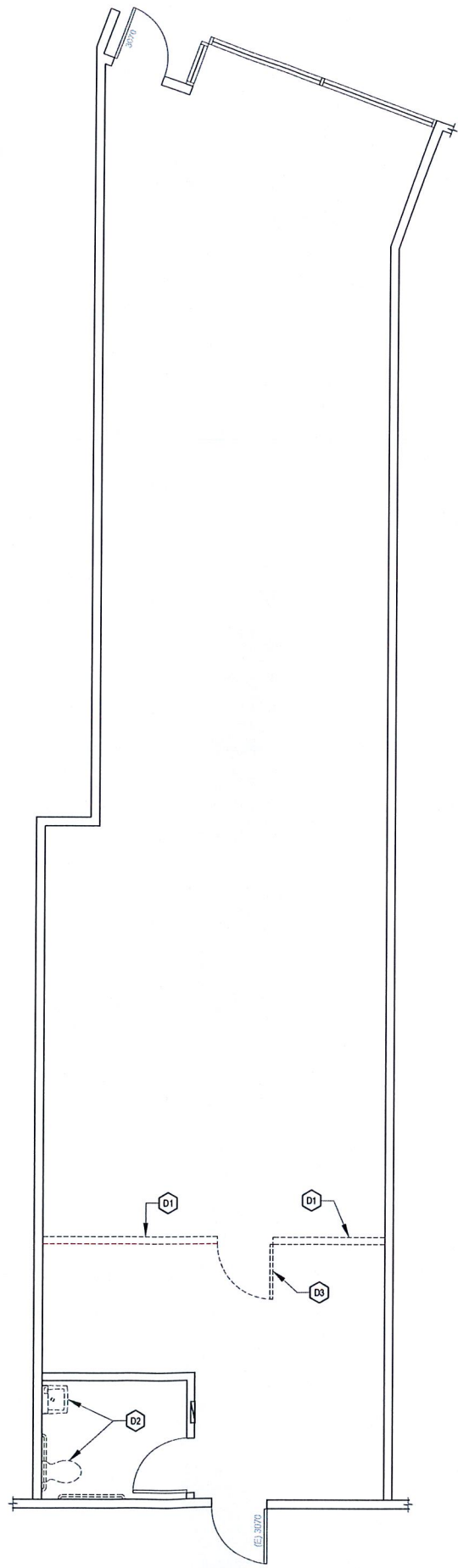
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Drawn By **DJE**

Project Number **1743**

Sheet Title
SITE PLAN

Sheet Number **A1.1**



- D1 DEMOLISH EXISTING WALLS
- D2 DEMOLISH EXISTING PLUMBING FIXTURE
- D3 DEMOLISH EXISTING DOOR

DEMOLITION WALL

=====
EXISTING WALL

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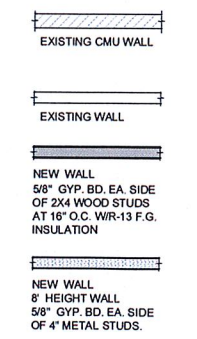
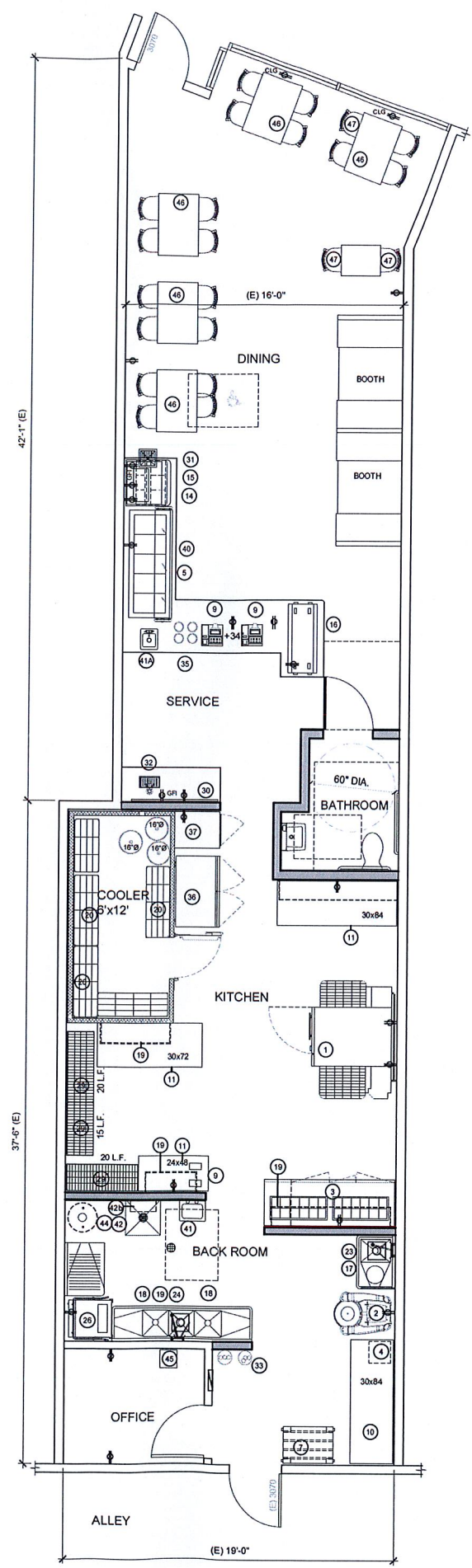
Sheet Title
DEMOLITION PLAN

Sheet Number **A2.0**

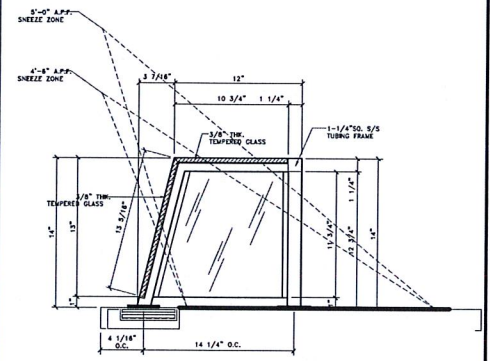
EQUIPMENT SCHEDULE 4 ALL NEW AND USED EQUIPMENT SHALL BE NSF APPROVED OR EQUAL.

MK	DESCRIPTION	MODEL	SIZE LXDHXH	ELECTRICAL	BTUHR	GAS	REMARKS
1	DOUBLE STACK CONVEYOR OVEN	LINCOLN IMPINGER 1500	-	1206/01	120K	2"	-
2	MIXER	HOBART H-600	-	208-2300	-	-	SELF CONTAINED
3	PIZZA PREP TABLE	OELFIELD 1869PTS	-	11560/1	-	-	-
4	DOUGH ROLLER	SOMERSET CDR-1100	-	-	-	-	-
5	SELF SERVICE DROP IN SALAD BAR	WYOTT CWS	-	-	-	-	3 DOOR, OPTIONAL
6	CUSTOM COUNTERTOP	SAMSUNG STARON	-	-	-	-	3" AFF
7	CAN RACK	WINHOLT CR162M	-	-	-	-	-
8	PASS-THRU SHELVES	ADVANCE TABCO FS-18-58	-	-	-	-	-
9	POINT OF SALE	-	-	11560/1	-	-	-
10	SS WORK TABLE (DOUGH)	TURBO AIR TSW	-	-	-	-	COUNTERTOP MDL
11	SS WORK TABLE	TURBO AIR TSW	-	-	-	-	-
12	FIRE EXTINGUISHER K' CLASS	-	-	-	-	-	-
13	FIRE EXTINGUISHER, WALL MOUNT, MINIMUM SIZE 2-A-10-BC, FLUSH MOUNT WHEN POSSIBLE	-	-	-	-	-	-
14	WATER FILTER ADAPTER(BELOW COUNTER)	EVERPURE EVR457-10	-	-	-	-	-
15	ICE MACHINE WWATER FILTER ADAPTER	MANITOWOC IQ-2452A	-	11560/1	-	-	-
16	BUFFET WARMER	HATCO GB9W68	-	11560/1	-	-	-
17	FOOD PREPARATION SINK	TURBO AIR TSA-L-12R1	-	-	-	-	W SPLASH MOUNT FAUCET
18	3 COMPARTMENT SINK	TURBO AIR TSA-L-12R1	-	-	-	-	FLOOR MOUNTED
19	WALL MOUNT SHELVING	FOCUS FOODSERVICE FFB185021	-	-	-	-	PROVIDE BACKING
20	WALL-IN COOLER SHELVING	METRO 1848NK38PK3	48"x18"	-	-	-	-
21	-	-	-	-	-	-	-
22	BREAD RACK	-	-	-	-	-	-
23	SPLASHMOUNT FAUCET	FISHER 1332P	-	-	-	-	-
24	SPLASHMOUNT FAUCET	FISHER 1330P	-	-	-	-	-
25	-	-	-	-	-	-	-
26	UNDER COUNTER DISH WASHER	MOYER M224HT	33 1/2"x 23 5/8"x23 7/8"	208-2300	-	-	-
27	-	-	-	-	-	-	-
28	SS SHELVING OVER TABLE	ADVANCE TABCO CU-18-72	-	-	-	-	SEE M2.1
29	DRY FOOD STORAGE SHELVING	METRO SUPER ERRECTA SHELF	30"x18"	-	-	-	-
30	MENU BOARD	IMPACT INTERNATIONAL MFA-1206	-	-	-	-	-
31	BEVERAGE DISPENSER	CORNELIUS ENDURO 200	-	11560/1	-	-	-
32	BEER TRAY SYSTEM	BUDWISER	-	-	-	-	-
33	CO2 TANK	PEPSI	-	-	-	-	-
34	PEPSI CASTER	-	-	-	-	-	-
35	BIB RACK	EAGLE GROUP STR2430B	-	-	-	-	-
36	REACH IN FREEZER	BEVERAGE AIR/TRUE	52"x30"	11560/1	-	-	-
37	HOLDING CABINET	NON-INSULATED HEATED HOLDING & PROOFING	-	240220	-	-	-
38	EXHAUST HOOD	-	-	11560/1	-	-	SEE M8.1
39	WALK-IN REFRIGERATOR	-	-	-	-	-	-
40	CONDENSING UNIT	HARFORD HM-145	-	11560/1	-	-	-
41	EVAPORATOR FAN	HARFORD AM104	-	11560/1	-	-	-

40	SNEEZE GUARD POST W/ CUSTOMR TEMPERED GLASS	ADM SNEEZE GUARD ES-439	-	-	-	-	FOR SELF SERVICE SALAD BAR ONLY 3'
41	HAND SINK W/SS FAUCET, WALL MOUNT	GSW USA MS-1855SG	-	-	-	-	-
41A	HAND SINK W/SS FAUCET, DROP IN	GSW USA MS-1815HG	-	-	-	-	-
41B	SOAP DISPENSER	-	-	-	-	-	-
42	MOP SINK	GSW USA MS-2424	-	-	-	-	-
43	HOT WATER CIRCULATION PUMP	-	-	11560/1	-	-	-
44	WATER HEATER	BRADFORD WHITE EF-60T-125E-3N/A	-	11560/1	-	-	-
45	LOCKERS	GSW USA ES-12R	12"x12"x12" STACKED	-	-	-	-
46	42 X 28 TABLE	FORMICA	42"x28"	-	-	-	NORTHER OAK
47	CHAIR	-	-	-	-	-	TAN
48	ARCADES / VIDEO GAMES	-	-	-	-	-	-
51	S.S. SPLASH GUARD	-	MIN. 6" HIGH	-	-	-	ROUNDED FRONT CORNERS
52	TABLE	-	-	-	-	-	-



WALL LEGEND 4



SNEEZE GUARD DETAIL 3

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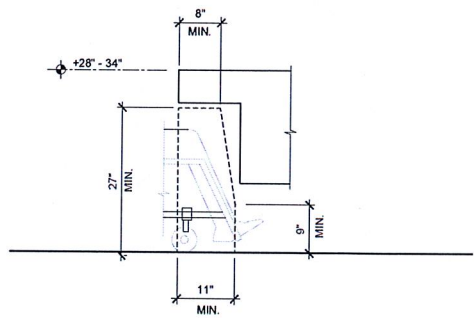
Project Number **1743**

Sheet Title
EQUIPMENT FLR. PLAN AND EQUIPMENT SCHEDULE

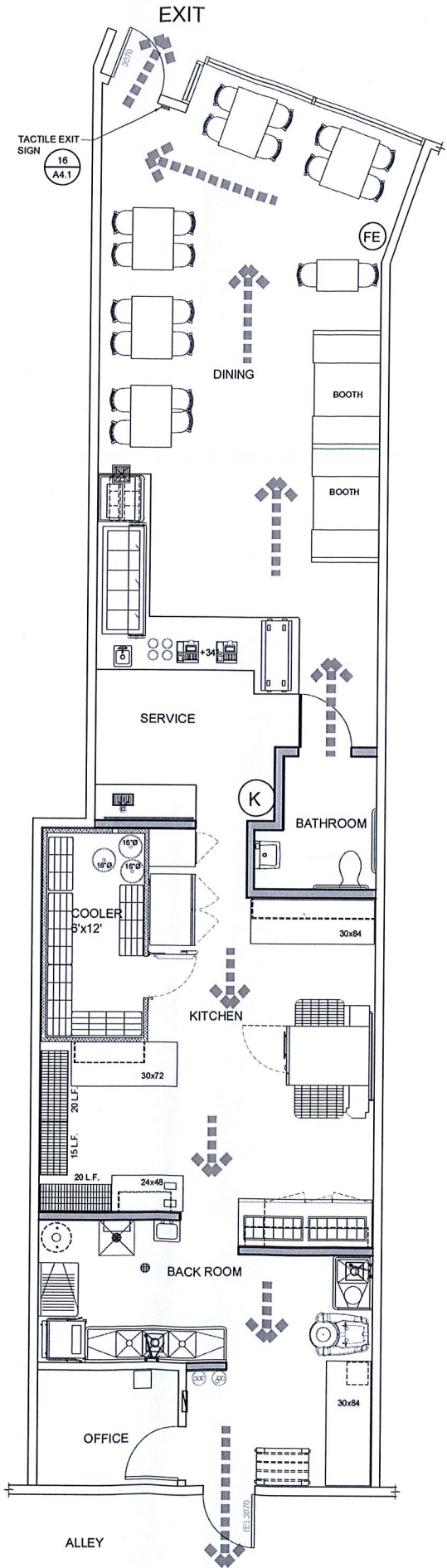
Sheet Number **A2.1**

- FIRE NOTES:**
1. EXTERIOR DOORS AND OPENINGS REQUIRED BY THIS CODE OR THE INTERNATIONAL BUILDING CODE SHALL BE MAINTAINED READILY ACCESSIBLE FOR EGRESS AND ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM THE FIRE APPARATUS ACCESS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED AND MAINTAINED TO THE SATISFACTION OF THE FIRE INSPECTOR.
 2. NO PARKING - FIRE LANE SIGNS (12" WIDE 18" HIGH) ARE REQUIRED TO BE INSTALLED AT ENTRANCE TO PARKING LOT AND ALONG BOTH SIDES OF INTERIOR ACCESS ROADWAY IN LOCATION WHERE VEHICLE PARKING WOULD ENCR OACH ON THE REQUIRED 20-26 FOOT CLEAR WIDTH OF ROADWAY. ALL RAISED CURBS SHALL BE PAINTED RED WITH "FIRE LANE" STENCILED 4" AT 30 FOOT INTERVALS.
 3. ALL BUILDINGS EQUIPPED WITH MONITORED FIRE ALARM AND/OR FIRE SPRINKLER AND/OR OTHER AUTOMATIC FIRE PROTECTION SYSTEM SHALL HAVE AN APPROVED KEY BOX ON SITE, IN AN APPROVED LOCATION. THE FOLLOWING ITEMS SHALL BE PROVIDED AND/OR MAINTAINED IN THE KNOX BOX PRIOR TO FINAL FIRE INSPECTION: "MASTER KEY", "FIRE ALARMS/SPRINKLER KEYS", "POINT OF CONTACT AFTER HOURS"
 4. NOTICE TO CONTRACTORS: THE SALINAS FIRE DEPARTMENT DOES NOT ALLOW INSTALLATION OF FIRE SERVICES MAINS (INCLUDING ON SITE FIRE HYDRANTS), FIRE ALARMS SYSTEMS OR OTHER FIRE PROTECTION SYSTEM PRIOR TO PLAN APPROVAL. CONTRACTOR WHO ENGAGE IN SUCH ACTIVITIES MAY BE CITED AND THE PROJECT BE RED TAGGED.
 5. ALL UNDERGROUND FIRE SERVICE (INCLUDING ON SITE FIRE HYDRANT), FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEMS, FIRE PUMPS, COMMERCIAL HOOD & DUCTS SYSTEM, OTHER FIRE PROTECTION SYSTEM REQUIRE SEPARATE PLANS, APPLICATION, REVIEW PERMIT AND FEE. ANY OF THE ABOVE NAMED SYSTEMS INCLUDED WITH APPLICATION #B16-086 AND SHOWN OR NOTED ON THESE PLANS ARE TO BE USED FOR BID PURPOSE ONLY. FIRE DEPARTMENT APPROVAL OF THE ABOVE NAMED APPLICATION DOES NOT INCLUDE ANY OF THE ABOVE NAMED SYSTEMS.
 6. FIRE SPRINKLER SYSTEM PLANS, FIRE ALARM SYSTEM PLANS AND COMMERCIAL HOOD & DUCT SYSTEM PLANS. TO BE SENT TO: FIRE PLAN CHECK, 65 W. ALisal ST. SALINAS, CA. 93901
 7. PRIOR TO THE FRAME INSPECTION, APPROVED FIRE SPRINKLER AND/OR FIRE ALARM PLANS MUST BE ON SITE FOR FIRE/BUILDING INSPECTOR.
 8. RECORDS OF ALL EXISTING FIRE PROTECTION SYSTEM INSPECTIONS, TESTS AND MAINTENANCE REQUIRED BY THE REFERENCED STANDARDS NFPA 25 & 72 AS ADOPTED BY CODE SHALL BE MAINTAINED ON THE PREMISES FOR A MINIMUM OF THREE YEARS AND SHALL BE AVAILABLE TO THE FIRE INSPECTOR PRIOR TO FINAL INSPECTION.
 9. FIRE DEPARTMENT CONNECTION (FDC) THREADS SHALL BE PROTECTED WITH MINIMUM APPROVED KNOX 2 1/2" INCH PLUGS (#3042) FOR SIAMENSE CONNECTIONS.
 10. DUMPSTERS AND CONTAINER WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARD (40.5 CUBIC FEET) OR MORE SHALL BE STORED IN BUILDING OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOFS EAVE LINES.
 11. AN AUTOMATIC FIRE EXTINGUISHING SYSTEM IS REQUIRED FOR THE PROTECTION OF COMMERCIAL EQUIPMENT AND ALL HOOD, DUCT, PLENUM AND COOKING SURFACES.
 - a. hood & duct requires separate application, plans, specs, approval, fee and permit.
 - b. obtain fire department info. and application packet for hood & duct plan submittal (this is required to be filed out and submitted with plans)
 - c. system shall comply with U.L. 300 standards per manu. installation requirements and specs and shall be provided with type I hood.
 - d. system shall meet all NFPA 17A & CFC-CBC and city of SALINAS code requirements.
 - e. system shall meet NFPA 13, SECTION 7.10 requirements if this application options is utilized
 - f. system shall be monitored where a building fire alarm system is installed.
 12. HOOD SYSTEM SHALL INITIATE A ZONE ALARM AT THE FIRE ALARM PANEL IN ALL SPRINKLERED BUILDINGS.
 13. FIRE SAFETY DURING CONSTRUCTION SHALL FOLLOW 2013 CFC CHAPTER 33. FIRE EXTINGUISHERS SHALL BE PROVIDED. THE AUTOMATIC FIRE SPRINKLERS SYSTEM IS TO REMAIN IN SERVICE AT ALL TIMES. UNDER NO CIRCUMSTANCE SHALL THE FIRE SPRINKLERS SYSTEM BE LEFT OUT OF SERVICE OVERNIGHT. FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISH & MAINTAINED IN ACCORDANCE WITH SECTION. 503
 14. PROVIDE FIRE INSPECTOR WITH CURRENT DOCUMENTATION OF REQUIRED TESTING AND MAINTENANCE OF FIRE SPRINKLER AND FIRE ALARM SYSTEMS PER NFPA 25 & 74

FIRE NOTES 16



ACCESSIBILITY DETAIL 3/4" = 1'-0" 15



FLOOR PLAN 1/4" = 1'-0" 5

1. ALL DOORS; SERVING AS MEANS OF EGRESS SHALL SWING IN THE EGRESS DIRECTION. THE REQUIRED NUMBER OF EXITS, OR EXIT ACCESS STAIRWAYS OR RAMPS PROVIDING ACCESS TO EXITS, FROM ANY STORY SHALL BE MAINTAINED UNTIL ARRIVAL AT GRADE OR A PUBLIC WAY.

	ILLUMINATED EXIT SIGN / EMERGENCY LIGHTS COMBO
	EMERGENCY LIGHTS
	PANIC HARDWARE REQUIRED FOR DOOR
	FIRE EXTINGUISHER 2A-10B-C
	FIRE EXTINGUISHER CLASS 'K'
	EXIT PATH

FIRE NOTES:

1. ALL BUILDINGS SHALL PROVIDE PREMISES IDENTIFICATION IN ACCORDANCE WITH OAKLAND MUNICIPAL CODE SECTION 13-9, ARTICLE II
2. PROVIDE KNOX KEY BOX FOR EACH BUILDING/AREA WITH ACCESS KEYS TO ENTRY DOORS, ELECTRICAL/MECHANICAL ROOMS. ELEVATORS, GATES AND OTHERS TO BE DETERMINED.
3. FIRE SPRINKLER SYSTEM PER NFPA 13 AND SFFD REQUIREMENTS UNDER SEPARATE FIRE PLAN CHECK AND PERMIT FOR OVERHEAD. MAINTAIN UPRIGHT FIRE SPRINKLER PROTECTION ABOVE THE NEW CEILING.
4. MODIFY THE FIRE ALARM SYSTEM PER NFPA 72 AND SFFD REQUIREMENTS UNDER A SEPARATE FIRE PLAN CHECK AND PERMIT. INSTALL EXTERIOR LISTED HORN/STROBE ALARM DEVICE, NOT A BELL.
5. FIRE SPRINKLERS TO BE THROUT THE BUILDING. CONSULT FIRE DEPARTMENT REGARDING LOCATIONS.
6. EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAIN BE THE OWNER OR AUTHORIZED AGENT.

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TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT

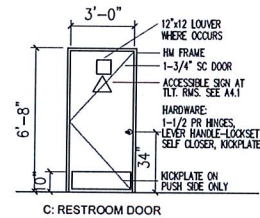
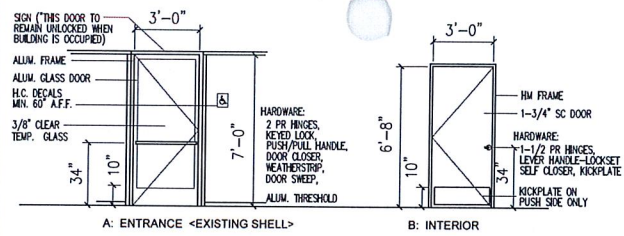
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Issue Date	8/4/17
Drawn By	DJE
Project Number	1743
Sheet Title	EXIT PLAN
Sheet Number	A2.2



- DOOR AND HARDWARE NOTE:**
- EXIT DOOR SHALL BE AT LEAST 3'-0"X6'-8", OPENABLE FROM THE INSIDE WITHOUT A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT, WITH LEVER TYPE, PANIC BARS, PUSH-PULL ACTIVATING BARS HARDWARE.
 - EFFORT TO OPERATE ALL EXIT DOORS SHALL NOT EXCEED 5 POUNDS, 15 POUNDS FOR FIRE DOORS.
 - KEY OPERATED DEAD BOLTS ARE ALLOWED AT THE MAIN EXIT (FRONT) DOOR ONLY IF THERE IS A READILY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".
 - 1/2" HIGH THRESHOLD (ABOVE FLOOR AND LANDING ON BOTH SIDES) AT ALL BUILDING EXTERIOR DOORS.

DOOR TYPES 16

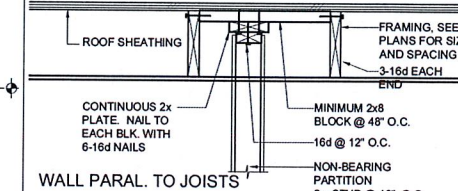
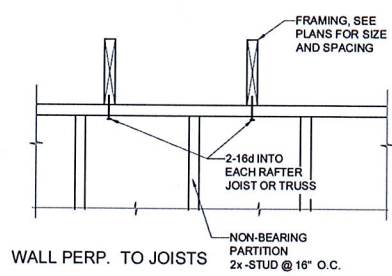
PLAN MARK	OPENING WxH	TYPE	THICKNESS	CONSTRUCTN	FACING/FIN.	GLAZING	RATING	REMARKS
GROUND FLOOR LEVEL								
1	3'-0"X7'-0"	A	-	A	F			EXISTING
2	3'-0"X6'-8"	-	1-3/4"	SC	P			EXISTING
3	3'-0"X6'-8"	C	1-3/4"	SC	P			EXISTING
4	3'-0"X6'-8"	C	1-3/4"	SC	P			NEW
5								

6SEE 16/A2.2 FOR DOOR TYPES

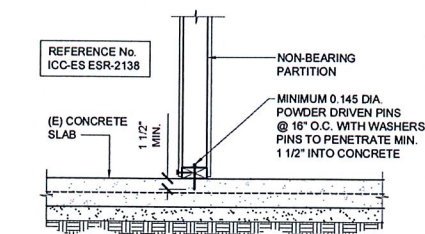
DOOR SCHEDULE NOTES:

- WHERE NO THICKNESS IS NOTED, VERIFY PER MANUFACTURER
- DOOR CONSTRUCTION:
 - A = ALUMINUM
 - SC = SOLID CORE
 - HC = HOLLOW METAL
- FACING FINISH:
 - F = FACTORY ALUMINUM
 - SG = STAIN GRADE
 - P = PAINT
- GLAZING TYPE:
 - 1 = TEMPERED CLEAR GLASS

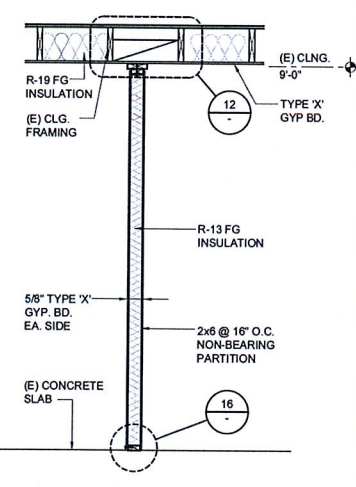
DOOR SCHEDULE 15



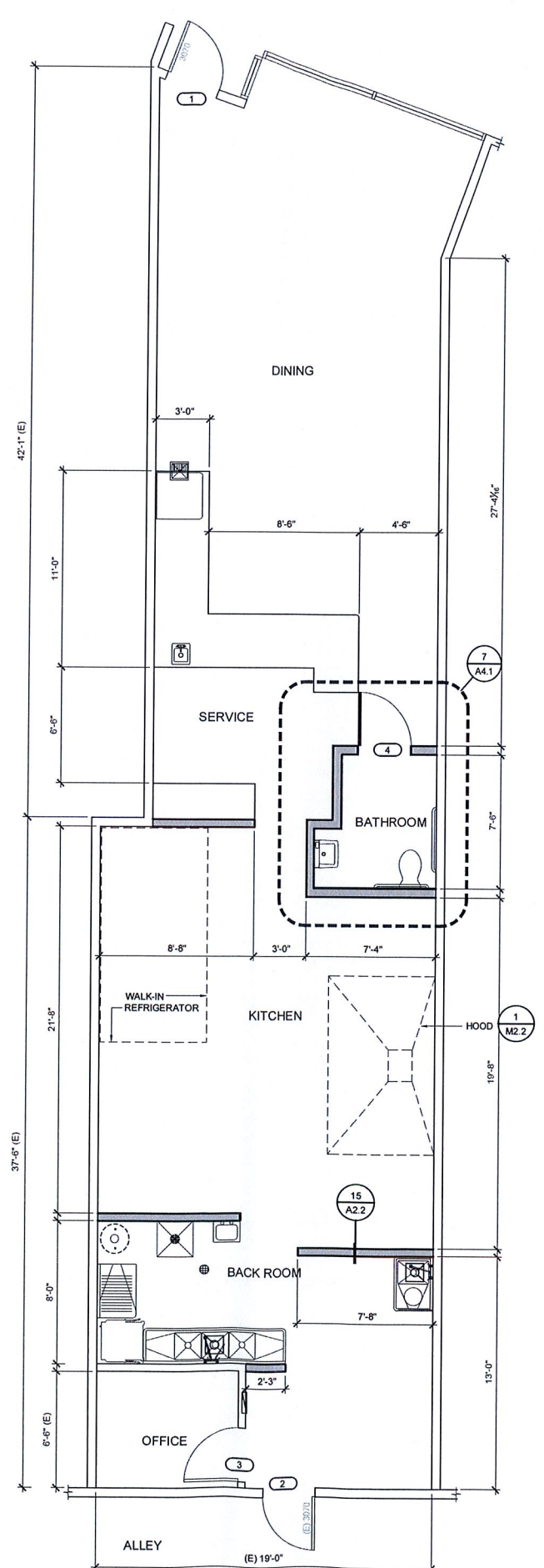
WALL DETAIL 1" = 1'-0" 14



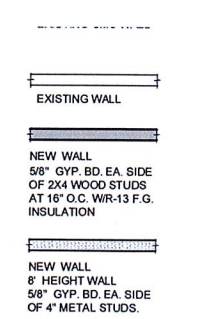
WALL DETAIL 1/2" = 1'-0" 17



WALL DETAIL 1" = 1'-0" 13



FLOOR PLAN 1/4" = 1'-0" 5



WALL LEGEND 4

ROOM NAME	FLOOR	BASE	WALLS	WAINSCOT	CEILING	CEILING HT.	REMARKS
Room Finish Schedule							
DINING	D	2	B	D	A		
SERVICE	B	1	E		B	9'-0"	
BATHROOM	D	2	A		C	8'-0"	
KITCHEN	B	1	C		B	9'-0"	FRP - FLR TO CLG
BACK ROOM	B	1	C		B	9'-0"	
OFFICE							

- FLOOR:**
- A. QUARRY TILE
 - B. CERAMIC TILE
 - C. WOOD LAMINATE
 - D. CARPET
 - E. MANUFACTURER METAL FLOORING
- BASE:**
- 6" QUARRY (MIN. 4" HIGH 3/8" R COVE BASE)
 - 6" COVED CERAMIC TILE (MIN. 4" HIGH 3/8" R COVE BASE)
- WALL:**
- A. CERAMIC TILE
 - B. PAINT w/ LAMINATE WOOD WAINSCOT
 - C. FRP
 - D. LAMINATE PLANKS
- CEILING:**
- B. T-BAR VINYL DROP-IN SMOOTH, NON ABSORBENT, NO TEXTURE, EASY TO CLEAN
 - C. GYP. BD.
 - D. PAINTED SEMI-GLOSS SMOOTH & WASHABLE

FINISH SCHEDULE 1

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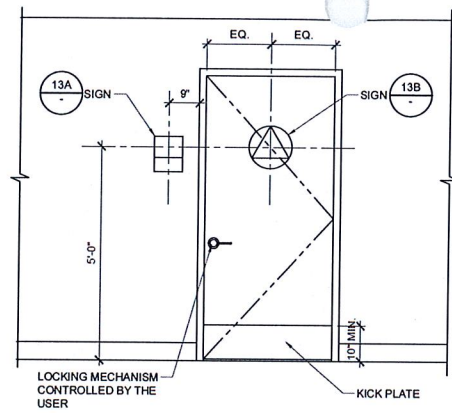
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Issue Date **8/4/17**
 Drawn By **DJE**
 Project Number **1743**
 Sheet Title **FLOOR PLAN**

Sheet Number A2.3



SIGN LOCATION DETAIL 1/2" = 1'-0" 20

- SIGNS SHALL COMPLY WITH SECTION 11B-703.3.1 WHERE BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED, EITHER ONE SIGN WITH BOTH VISUAL AND TACTILE CHARACTERS, OR TWO SEPARATE SIGNS, ONE WITH VISUAL, AND ONE WITH TACTILE CHARACTERS, SHALL BE PROVIDED.
- RAISED CHARACTERS SHALL BE 1/32" MIN. ABOVE THEIR BACKGROUND AND MIN. 5/8" AND MAX. 2" IN HEIGHT
- 11B-703.3.3 BRAILLE: BRAILLE SHALL CONTRACTED (GRADE 2) AND SHALL COMPLY WITH SECTION 11B-703.3 & 11B-703.4
- 11B-703.6.2 FINISH AND CONTRAST PICTOGRAMS AND THEIR FIELD SHALL HAVE A NON-GLARE FINISH. PICTOGRAM SHALL CONTRAST WITH THEIR FIELD WITH EITHER A LIGHT PICTOGRAM ON A DARK FIELD OR A DARK PICTOGRAM ON A LIGHT FIELD.
- 11B-703.4.1 SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT A DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18" MIN. BY 18" MIN., CENTERED ON THE TACTILE CHARACTERS.

- Notes:**
- FLOOR MOUNTED WATER CLOSET
 - WALL HUNG LAVATORY
 - TOILET PAPER DISPENSER
 - TOILET SEAT COVER DISPENSER
 - PAPER TOWEL DISPENSER
 - GRAB BAR
 - MIRROR
 - SOAP DISPENSER
 - DOOR, PAINTED FIN. WITH LEVER HANDLE, LOCKSET AND KICKPLATE
 - FLOOR TO BE SHEET VINYL W/6" COVED BASE W/3/8" RADIUS
 - FRP AT 48" HIGH
 - WALL TO HAVE ENAMEL PAINT FINISH
 - GYP. BD. CEILING TO HAVE ENAMEL PAINT FINISH
 - URINAL
 - WALL

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TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT

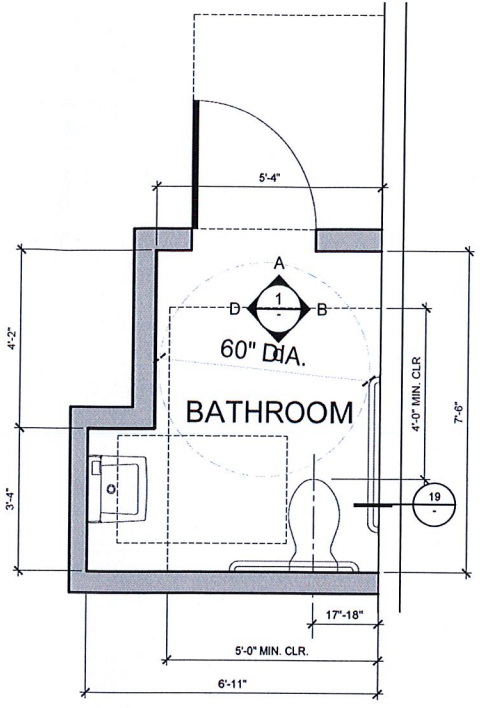
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Revisions		
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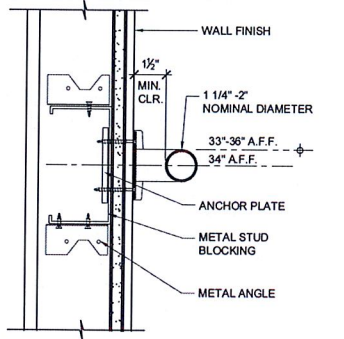


Issue Date: 8/4/17
 Drawn By: DJE
 Project Number: 1743
 Sheet Title: Restroom H.C. Standards & Toilet Details
 Sheet Number: A4.1

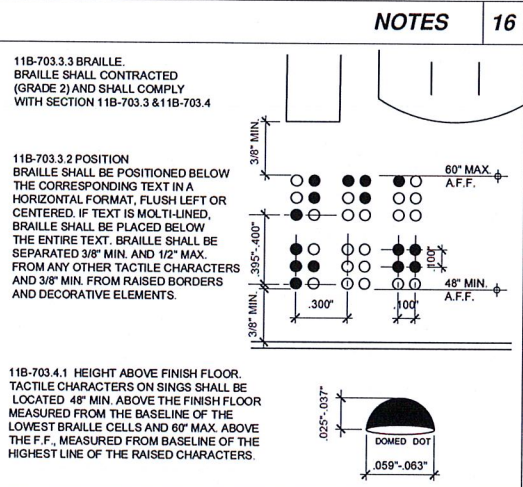


- NOTE:**
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
 - FLOORS IN TOILET AND BATHING ROOMS SHOULD HAVE A SMOOTH, HARD, NONABSORBENT SURFACE WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 6".
 - NONABSORBENT FINISH AND BACKING FOR TOILET ROOM WALLS WITHIN 24" OF WATER CLOSET AND URINALS TO A HEIGHT OF 4" ABOVE FLOOR SHOULD HAVE A SMOOTH, HARD, NONABSORBENT SURFACE.

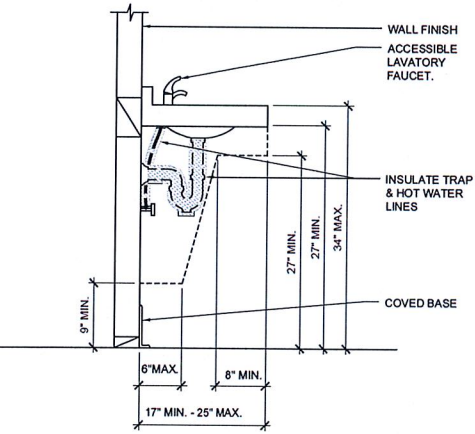
NEW TLT. PLAN 1/2" = 1'-0" 7



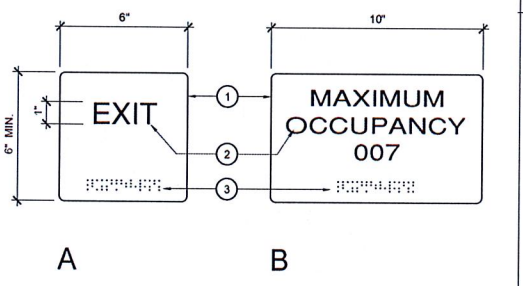
GRAB BAR DETAIL 3" = 1'-0" 19



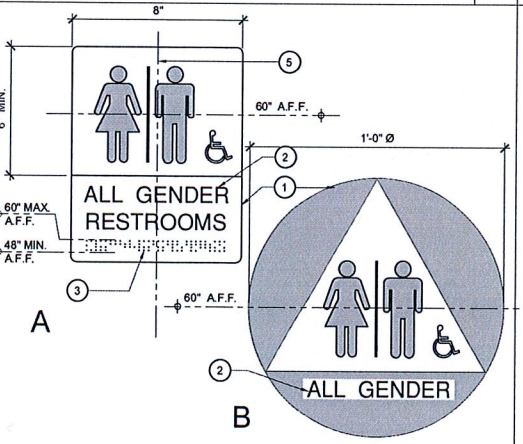
BRAILLE DETAIL n.t.s. 15



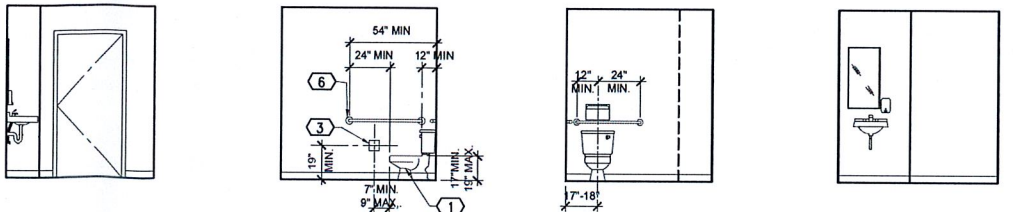
ACCESSIBLE SINK DETAIL 1/2" = 1'-0" 18



WALL SIGN DETAIL 3" = 1'-0" 14



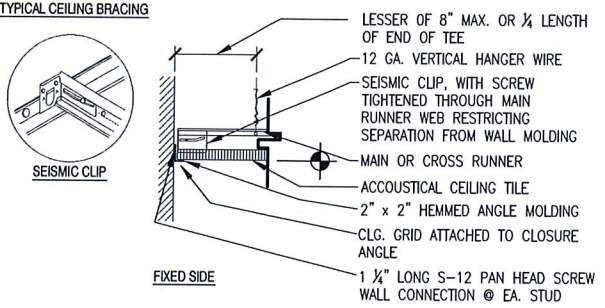
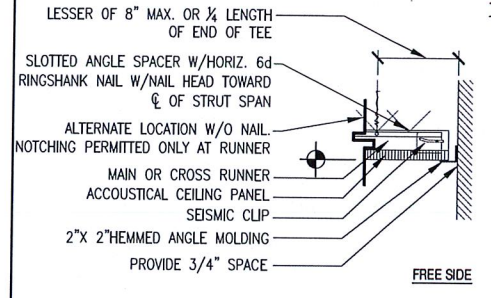
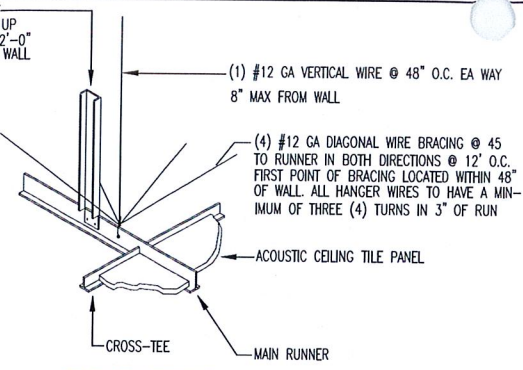
WALL SIGN DETAIL 3" = 1'-0" 13



BATHROOM INTERIOR ELEVATIONS 1/4" = 1'-0" 1

METAL STUD COMPRESSION STRUT FASTENED TO MAIN RUNNER UP TO ROOF STRUCTURE AS 12'-0" O.C. EA WAY & 6'-0" MIN. FROM WALL

METAL STUD SIZES:
 8' MAX.: (1) 3-5/8" 25 GA
 10' MAX.: (2) 1-5/8" 25 GA
 15' MAX.: (2) 2-1/2" 25 GA
 20' MAX.: (2) 3-8/8" 25 GA



SUSPENDED CEILING NOTES

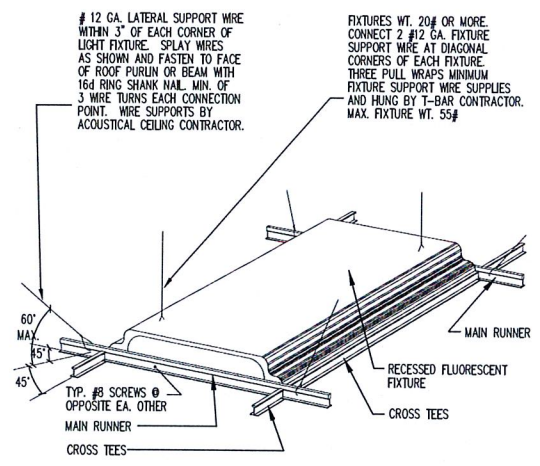
- A. A HEAVY TYPE OF T-BAR CEILING SHALL BE USED.
- B. THE WIDTH OF PERIMETER CLOSURE ANGLE SHALL BE 2" MINIMUM IN WIDTH. IN EACH ORTHOGONAL HORIZONTAL DIRECTION, ONE END OF CEILING GRID SHALL BE ATTACHED TO THE CLOSURE ANGLE. THE OTHER END IN EACH HORIZONTAL DIRECTION SHALL HAVE A MINIMUM 0.75" CLEARANCE FROM THE WALL AND SHALL REST UPON AND BE FREE TO SLIDE ON A CLOSURE ANGLE.
- C. FOR CEILING AREA EXCEEDING 1,000 SF, HORIZONTAL RESTRAINT OF THE CEILING TO THE STRUCTURAL SYSTEM SHALL BE PROVIDED. THE TRIBUTARY AREAS OF THE HORIZONTAL RESTRAINTS SHALL BE APPROXIMATELY EQUAL.
 *COMPRESSION STRUT IS REQUIRED FOR CEILING AREAS LARGER THAN 144 SQ. FT.
- D. FOR CEILING AREA EXCEEDING 2,500 SF, A SEISMIC SEPARATION JOINT OR FULL HEIGHT PARTITION THAT BREAKS THE CEILING UP INTO AREAS NOT EXCEEDING 2,500 SF SHALL BE PROVIDED UNLESS STRUCTURAL ANALYSES ARE PERFORMED OF THE CEILING BRACING SYSTEM FOR THE PRESCRIBED SEISMIC FORCES THAT DEMONSTRATE CEILING SYSTEM PENETRATIONS AND CLOSURE ANGLES PROVIDE SUFFICIENT CLEARANCE TO ACCOMMODATE THE ANTICIPATED LATERAL DISPLACEMENT. EACH AREA SHALL BE PROVIDED WITH CLOSURE ANGLES IN ACCORDANCE WITH ITEM 'B' AND HORIZONTAL RESTRAINTS OR BRACING IN ACCORDANCE WITH ITEM 'C'.

- E. EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTIONS, PENETRATIONS SHALL HAVE A 2" OVERSIZE RING, SLEEVE OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS IS PERMITTED.
- F. CHANGES IN CEILING PLAN ELEVATION SHALL BE PROVIDED WITH POSITIVE BRACING.
- G. CABLE TRAYS AND ELECTRICAL CONDUITS SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING.

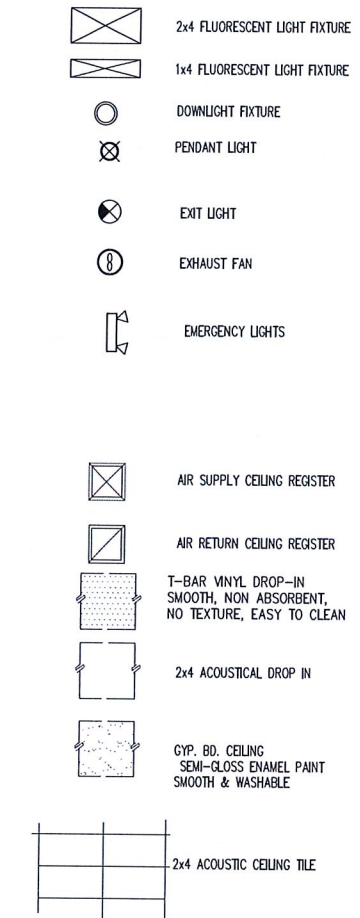
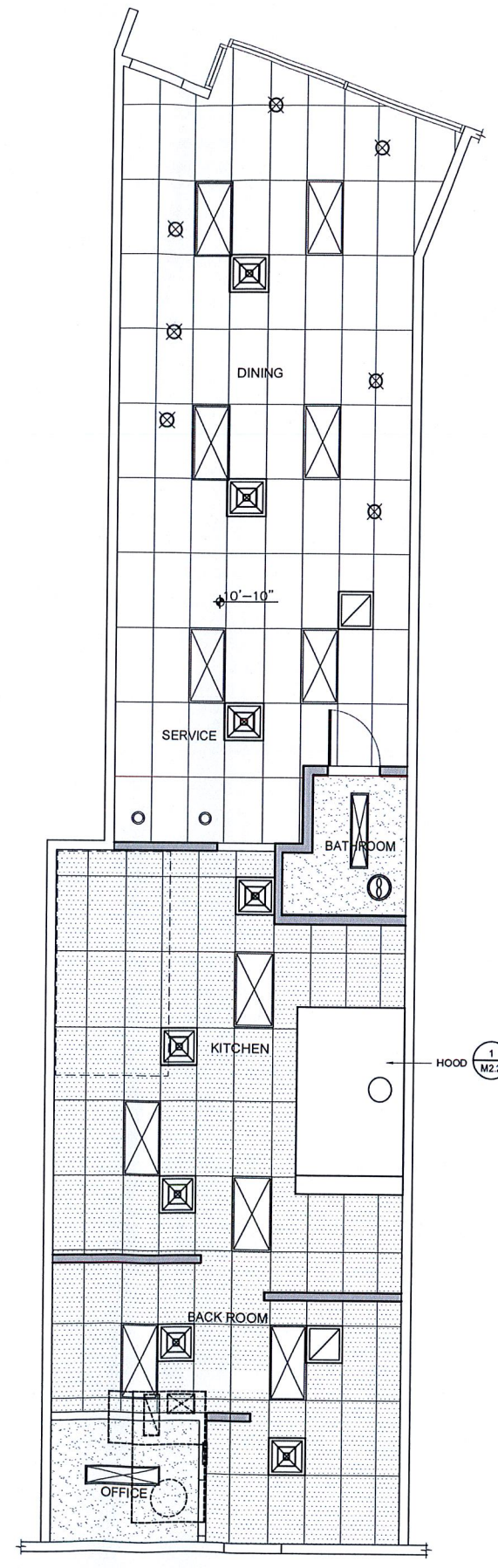
EXCEPTIONS

- 1. RECESSED LIGHTING FIXTURES NOT OVER 56 LBS. IN WEIGHT, AND SUSPENDED AND PENDANT HUNG FIXTURES NOT OVER 20 LBS. IN WEIGHT, MAY BE SUPPORTED AND ATTACHED DIRECTLY TO THE CEILING SYSTEM RUNNERS BY A POSITIVE ATTACHMENT SUCH AS SCREWS OR BOLTS.
- 2. AIR DIFFUSERS NOT OVER 20 LBS. IN WEIGHT, AND WHICH RECEIVE NO TRIBUTARY LOADING FROM DUCT WORK MAY BE POSITIVELY ATTACHED AND SUPPORTED BY THE CEILING RUNNERS.

T-Bar Ceiling 9



Recessed Fluorescent Light 8



Ceiling Legend

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TENANT IMPROVEMENT

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Revisions		
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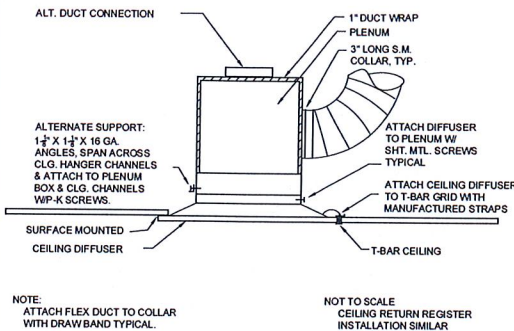


Issue Date	8/4/17
Drawn By	DJE
Project Number	1743
Sheet Title	REFLECTED CEILING PLAN
Sheet Number	A6.1

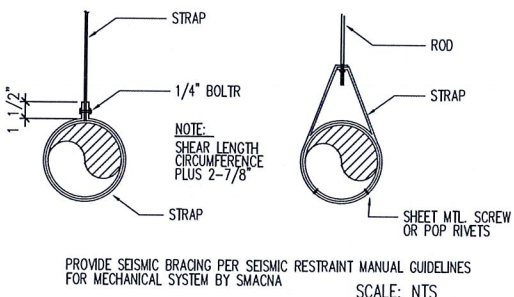
Notes

1. ALL EQUIPMENT AND MATERIALS SHALL BE NEW AND SHALL BE EQUAL IN QUALITY, TYPE, CAPACITY EFFICIENCY AND ACCESSORIES TO THE EQUIPMENT NOTED ON THE DRAWINGS. ADJUSTMENTS TO CONSTRUCTION AND ACCESSORIES ON SUBSTITUTED EQUIPMENT MAY BE REQUIRED TO ACHIEVE THIS EQUALITY, AND SHALL BE INCLUDED AT NO EXTRA COST TO THE OWNER MAKE ANY CHANGES IN DUCTWORK, PIPING, FRAMING, ETC., AS REQUIRED TO ACCOMMODATE SUBSTITUTED EQUIPMENT.
2. INSTALL ALL EQUIPMENT AND MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES. APPLICABLE CODES SHALL INCLUDE, BUT NOT BE LIMITED TO THE LATEST EDITION OF THE UNIFORM MECHANICAL CODE FOR THE STATE OF CALIFORNIA, CALIFORNIA CODE OF REGULATIONS (CCR), UNIFORM FIRE REGULATIONS AND TITLE 24 ENERGY EFFICIENCY STANDARDS. WHERE HEAVIER GAGES OF MATERIAL, LARGER SIZES OR MORE STRINGENT REQUIREMENTS THAT THE CODES ARE REQUIRED BY THE CONTRACT DOCUMENTS, SUCH INCREASE REQUIREMENTS SHALL APPLY.
3. ALL RECTANGULAR OR ROUND RIGID DUCTS SHALL BE OF SMACNA GAGE GALVANIZED STEEL OR ALUMINUM, UNLESS OTHERWISE NOTED ON THE DRAWINGS. PROVIDE FLAT SEAM CONSTRUCTION FOR ANY DUCTS EXPOSED IN OCCUPIED SPACE. NOTE ALUMA-FLEX IS NOT ACCEPTABLE IN LIEU OF ROUND RIGID DUCTWORK.
4. LINE ALL SUPPLY AND RETURN DUCT DROPS FOR A MINIMUM OF 4' FROM THE UNIT WITH 1" THICK O-C F AEROFLEX TYPE 200 OR EQUAL ACOUSTIC DUCT LINER. INSTALL WITH 100% COVERAGE ADHESIVE, AND FURTHER APPLY MECHANICAL PIN FASTENERS WHERE DUCT SIDE EXCEEDS 24". DUCT DIMENSIONS ARE NET INTERNAL DIMENSION. SEAL BUTT ENDS OF EXPOSED INSULATION IN THE DUCTS WITH MANUFACTURERS RECOMMENDED SEALANT OR ADHESIVE.
5. CONTROLS SHALL COMPLY WITH THE LATEST EDITION OF CEC (JUNE 2001) SUBSECTION 3, SECTION 122. ALL CONTROLS AND CONTROL WIRING NOT SPECIFICALLY SHOWN BUT REQUIRED FOR A COMPLETE AND WORKABLE SYSTEM SHALL BE SUPPLIED BY THE CONTRACTOR AND INSTALLED AT NO ADDITIONAL COST TO THE OWNER.
6. ALL AIR SYSTEMS SHALL BE BALANCED BY A QUALIFIED MECHANICAL CONTRACTOR, USING AABC, SMACNA OR NEBB PROCEDURES. AIR QUANTITIES SHALL BE BALANCED TO NOT MORE THAN 10% ABOVE OR 0% BELOW THE QUANTITIES SHOWN ON THE DRAWINGS. CONTRACTOR SHALL SUBMIT A COMPLETE DIFFUSER, THE FINAL OPERATING DATA FOR THE SYSTEMS AND THE AIR CONDITIONING UNITS.
7. CONTRACTOR SHALL VERIFY ALL WORK CONDITIONS PRIOR TO COMMENCING WORK, INCLUDING, BUT NOT LIMITED TO: DIMENSIONS, EQUIPMENT, STRUCTURAL ELEMENTS AND MATERIALS INDICATED AS EXISTING, AS WELL AS THE COORDINATED INSTALLATION OF ALL NEW WORK, MATERIALS, EQUIPMENT, ETC. COORDINATE THE LOCATION OF ALL ROOF MOUNTED EQUIPMENT WITH THE STRUCTURAL ENGINEER.
8. CONTRACTOR SHALL FIELD COORDINATE AND INSTALL PACKAGED ROOFTOP EQUIPMENT TO MAINTAIN A MINIMUM OF 10'-0" CLEARANCE FROM OUTSIDE AIR INTAKE TO ALL EXHAUST OUTLETS AND (VTR) VENT THRU ROOF, TYPICAL.
9. SUBMITTAL NOTE: MECHANICAL SYSTEMS DESIGN REFLECTS EQUIPMENT SPECIFIED. WHEN EQUIPMENT SUBSTITUTIONS OCCUR AND DUCT DESIGN, DUCT DROPS, GAS INPUT AND ELECTRICAL SERVICE VARIES FROM THAT SPECIFIED, THEN IT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR FOR ALL ADDITIONAL ENGINEERING FEES FOR SUBSTITUTED EQUIPMENT REFLECT A REVISION OR CHANGE ON OUR DRAWINGS.

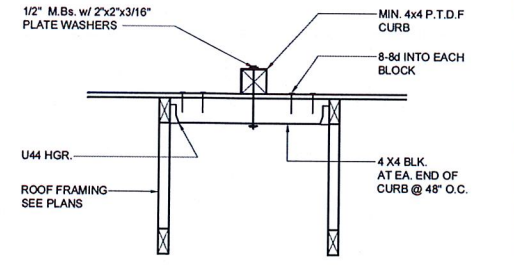
ROUND DUCTS				
MAXIMUM ROUND DUCT DIAMETER	ROD SIZE	STRAP SIZE	HANGER SPACING	
THRU 6"	1/4"	1"x20 GA.	6'-0"	10'-0"
7" THRU 18"	3/8"	1"x16 GA.	6'-0"	10'-0"
19" THRU 48"	3/8"	1"x11 GA.	6'-0"	10'-0"
49" AND ABOVE	1/2"	1"x11 GA.	4'-0"	6'-0"



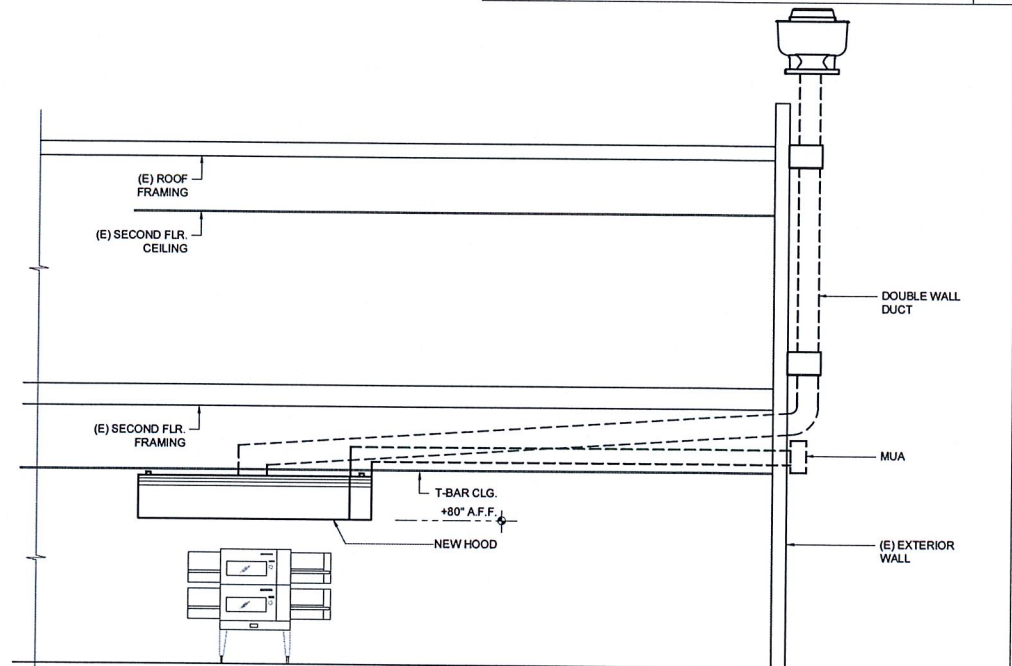
Typical Supply Diffuser Details 17



Round Duct Hanger Details 16



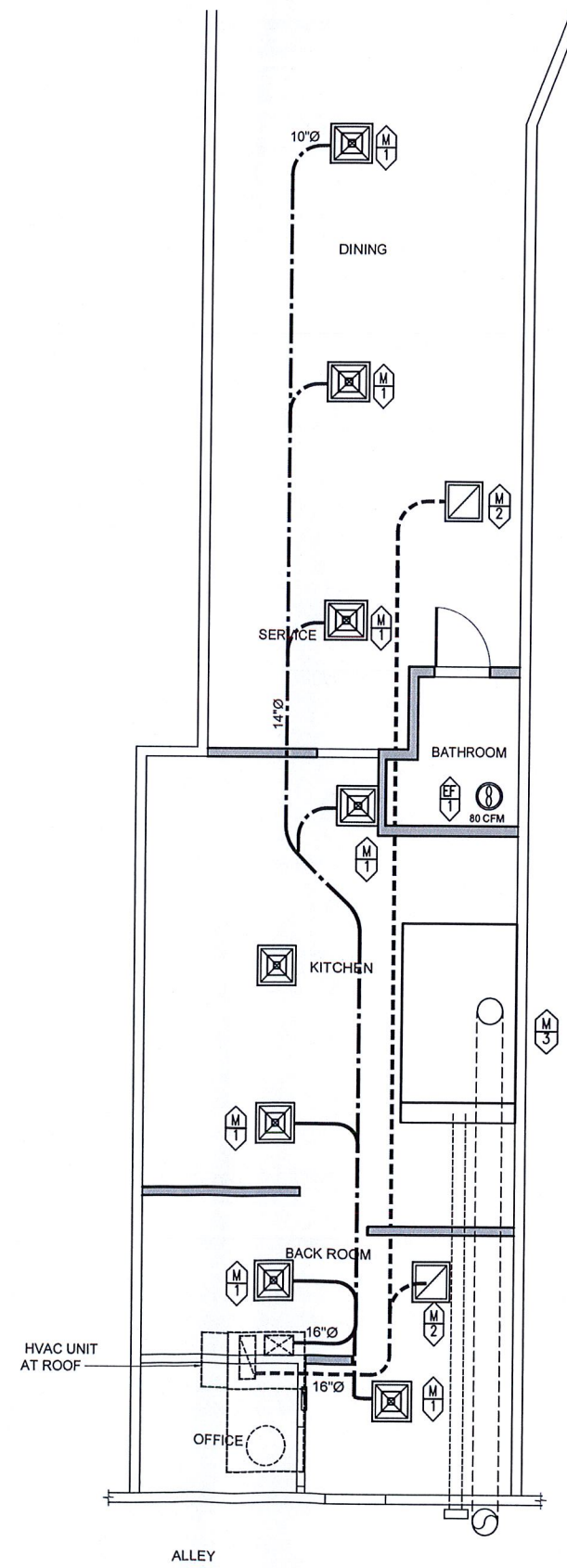
CURB FRAMING DETAIL 15



HOOD ELEVATION 1/4" = 1'-0" 13

Mechanical Equipment Schedule

MK	Description	Manuf.	Model	CFM	Remarks
M-1	SUPPLY REGISTER	TBD	TBD	500	LOCALLY SUPPLIED BY G.C
M-2	RETURN REGISTER	TBD	TBD	1000	LOCALLY SUPPLIED BY G.C
M-3	VENTLESS HOOD	GILES	PO-VH	448	337 lbs. (with wide skirt)
EF	EXHAUST FAN	BROAN	676	80	LOCALLY SUPPLIED BY G.C
AC-1	AC UNIT	TBD	TBD	-	5 TON



MECHANICAL PLAN 1/4" = 1'-0" 5

Notes

1. 10'-0" MIN. CLEAR DISTANCE TO MAINTAIN AMONG ALL ROOF MOUNTED EQUIPMENT AND PENETRATIONS.

General Notes

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TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT

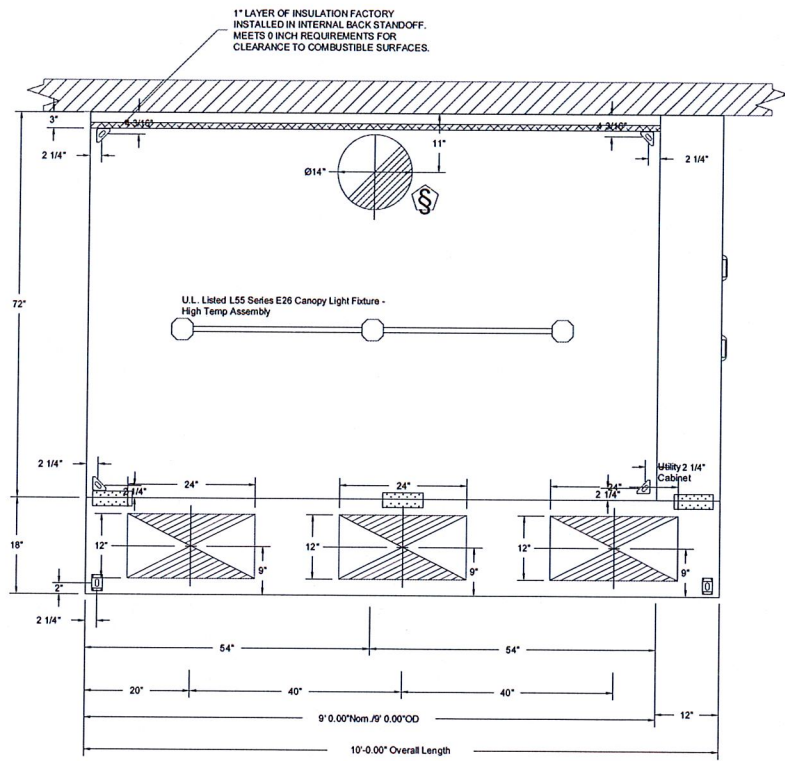
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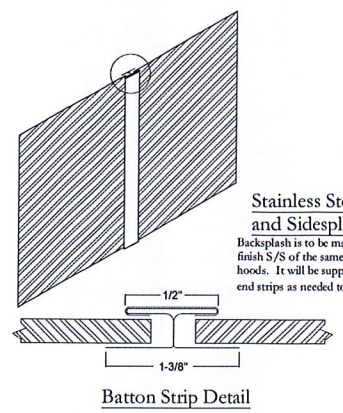
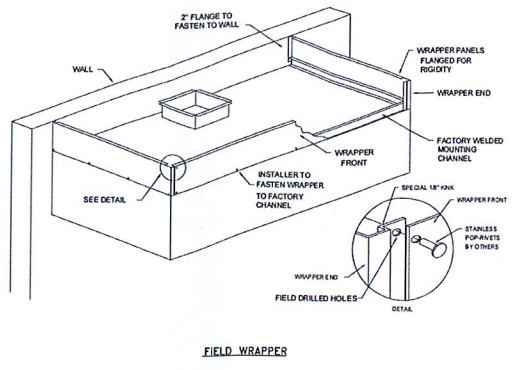
Revisions		
No.	Description	Date
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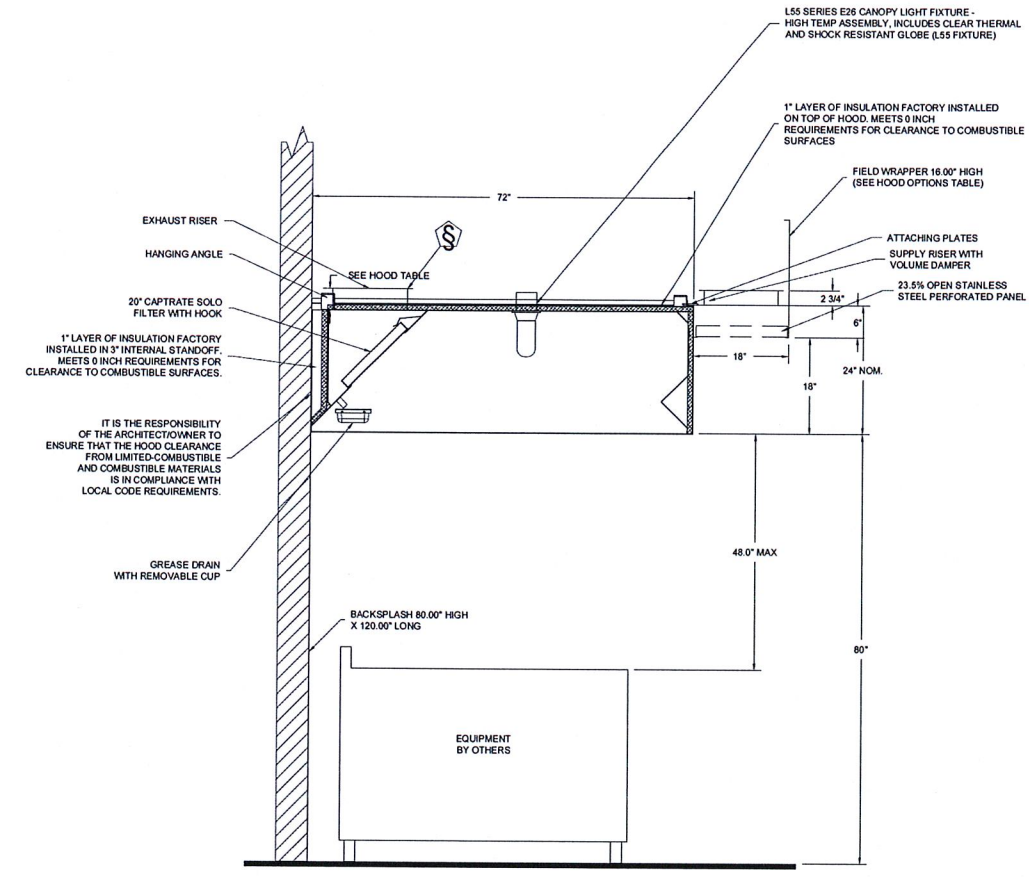
Issue Date	8/4/17
Drawn By	DJE
Project Number	1743
Sheet Title	MECHANICAL PLAN, DETAIL & SCHEDULE
Sheet Number	M2.1



PLAN VIEW - Hood #1
9' 0.00" LONG 7224ND-2-PSP-F



Batton Strip Detail



SECTION VIEW - MODEL 7224ND-2-PSP-F
HOOD - #1

ND-2 Series with PSP Accessory Specification

The model ND-2 with PSP Accessory is a compensating canopy hood rated for all types of cooking equipment. The hood shall have the size, shape and performance specified on drawings.

Construction shall be type 430 stainless steel, with a #3 or #4 polish where exposed. The manufacturer, ETL and NSF shall determine the individual component construction. Construction shall be dependent on the structural application to minimize distortion and other defects. All seams, joints and penetrations of the hood enclosure to the lower outermost perimeter that directs and captures grease-laden vapor and exhaust gases shall have a liquid-tight continuous external weld in accordance with NFPA 96. The hood shall be wall type with a minimum of four connections for hanger rods. Connectors shall have 9/16\"/>

The hood shall be furnished with U.L. classified filters, supplied in size and quantity as required by ventilator. The filters shall extend the full length of the hood and the filter panels shall not be more than 6\"/>

The hood manufacturer shall supply complete computer generated submittal drawings including hood sections view(s) and hood plan view(s). These drawings must be available to the engineer, architect and owner for their use in construction, operation and maintenance.

Exhaust duct collar to be 4\"/>

U.L. incandescent light fixtures and globes shall be installed and pre-wired to a junction box. The light fixtures shall be installed with a maximum of 40\"/>

- The hood shall have:
- A double wall insulated front to eliminate condensation and increase rigidity. The insulation shall have a flexural modulus of 475 EI, meet UL 181 requirements and be in accordance with NFPA 90A and 90B.
 - An integral front baffle to direct grease laden vapors toward the exhaust filter bank.
 - A built-in wiring chase provided for outlets and electrical controls on the hood face and shall not penetrate the capture area or require an external chase way.
 - Removable grease cup for easy cleaning.

The hood shall be ETL Listed as "Exhaust Hood Without Exhaust Damper", NSF Listed and built in accordance with NFPA 96.

The hood shall be listed for 450°F cooking surfaces at 150 CFM/ft, 600°F cooking surfaces at 200 CFM/ft, and 700°F cooking surfaces at 250 CFM/ft. The hood shall be ETL Listed as "Exhaust Hood Without Exhaust Damper".

System Design Verification (SDV)

If ordered, CAS Service will perform a System Design Verification (SDV) once all equipment has had a complete start up per the Operation and Installation Manual. Typically, the SDV will be performed after all inspections are complete.

Any field related discrepancies that are discovered during the SDV will be brought to the attention of the general contractor and corresponding trades on site. These issues will be documented and forwarded to the appropriate sales office. If CAS Service has to resolve a discrepancy that is a field issue, the general contractor will be notified and billed for the work. Should a return trip be required due to any field related discrepancy that cannot be resolved during the SDV, there will be additional trip charges.

During the SDV, CAS Service will address any discrepancy that is the fault of the manufacturer. Should a return trip be required, the general contractor and appropriate sales office will be notified. There will be no additional charges for manufacturer discrepancies.

DEMONSTRATIONS ARE AVAILABLE AT THE CALIFORNIA BAY AREA DISPLAY CENTER FOR PRICES AND QUESTIONS, CALL GUSTAVO BUSTOS REFERENCE JOB# 3104977 REG91@CAPTIVEAIR.COM PHONE: (415) 956-2200 FAX: (919) 227-5940

REVISIONS	
DESCRIPTION	DATE



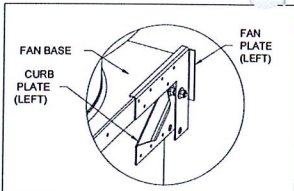
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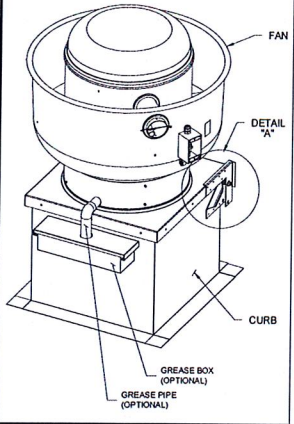
Mountain Mike's (Park Blvd.) - Oakland, CA
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OAKLAND, CA, 94602

DATE: 8/4/2017
DWG.#: 3104977
DRAWN BY:
SCALE: 3/4" = 1'-0"
MASTER DRAWING

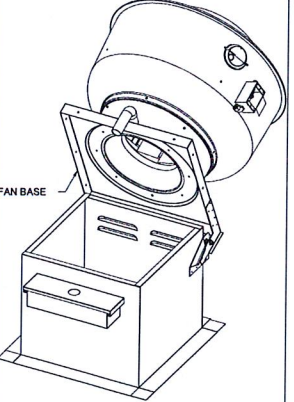
SHEET NO. 2



HINGE KIT DETAIL

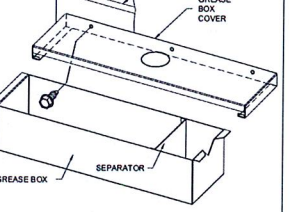


FAN IN CLOSED POSITION



ATTENTION: INSTALLER SHOULD SUPPLY ENOUGH ELECTRICAL CORD TO LET FAN MAKE COMPLETE SWING.

FAN IN OPEN POSITION



ATTACH GREASE BOX COVER TO THE CURB 2" BELOW TOP EDGE OF CURB. USE (2) 1/4" DIA (1/4") SCREWS AS SHOWN. INSTALL GREASE PIPE AS SHOWN.



GREASE BOX INSTALLATION

1. A PRE-WIRED ELECTRICAL CONTROL PACKAGE SHALL BE PROVIDED TO OPERATE THE HOOD LIGHTS AND FANS.
2. PACKAGE SHALL CONSIST OF SWITCH PANEL, MAIN LIGHT SWITCHES AND RED-LIGHTED FAN SWITCHES, STARTER/OVERLOAD ASSEMBLY FOR EACH FAN (OPTIONAL), NUMBERED INPUT/OUTPUT TERMINAL STRIPS, AND A TERMINAL FOR DOUBLE-DUAL FIRE SYSTEM MICROSWITCH CONNECTION.
3. ONE RELAY IS WIRED TO MICROSWITCH (IN FIRE SYSTEM) FOR SUPPLY FAN SHUTDOWN AND OTHER RELAY FOR ADDITIONAL FIRE SYSTEM ACTIVATED DRY CONTACTS.
4. ELECTRICAL CONDUIT DROPS FROM THE FANS SHALL BE CONNECTED TO THE NUMBERED TERMINAL STRIP. CONDUIT BETWEEN THE PRE-WIRE PACKAGE AND FANS SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR.

ELECTRICAL PACKAGE NOTES

EXHAUST FAN INFORMATION - Job#3104977

FAN UNIT NO.	TAG	FAN UNIT MODEL #	CFM	ESP.	RPM	H.P.	B.H.P.	Ø	VOLT	FLA	WEIGHT (LBS.)	SONES
1	KEF-1	DU180HFA	2160	1.250	1099	1.000	0.6950	3	208	3.8	153	13.1

MUA FAN INFORMATION - Job#3104977

FAN UNIT NO.	TAG	FAN UNIT MODEL #	BLOWER	HOUSING	DESIGN CFM	ESP.	RPM	H.P.	B.H.P.	Ø	VOLT	FLA	WEIGHT (LBS.)	SONES
2	MUA-1	A1-G10	G10D	A1	2052	0.500	955	1.000	0.6820	1	115	10.2	196	22

FAN OPTIONS

FAN UNIT NO.	TAG	OPTION (Qty. - Descr.)
1	KEF-1	1 - Grease Box
		1 - Fan Base Ceramic Seal - Installed At Plant - For Grease Ducts
2	MUA-1	1 - ECM Wiring Package-Supply - Manual or 0-10VDC Reference Speed Control (NIDEC Motor)

FAN ACCESSORIES

FAN UNIT NO.	TAG	EXHAUST				SUPPLY		
		GREASE CUP	GRAVITY DAMPER	WALL MOUNT	SIDE DISCHARGE	GRAVITY DAMPER	MOTORIZED DAMPER	WALL MOUNT
1	KEF-1	YES						
2	MUA-1							

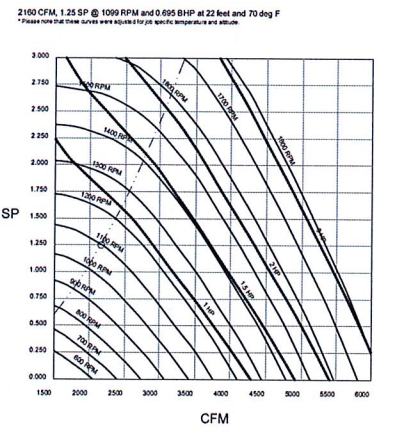
CURB ASSEMBLIES

NO.	ON FAN	WEIGHT	ITEM	SIZE
1	# 1	41 LBS	Curb	26.500"W x 26.500"L x 20.000"H Vented Hinged
2	# 2	29 LBS	Curb	21.000"W x 21.000"L x 15.000"H

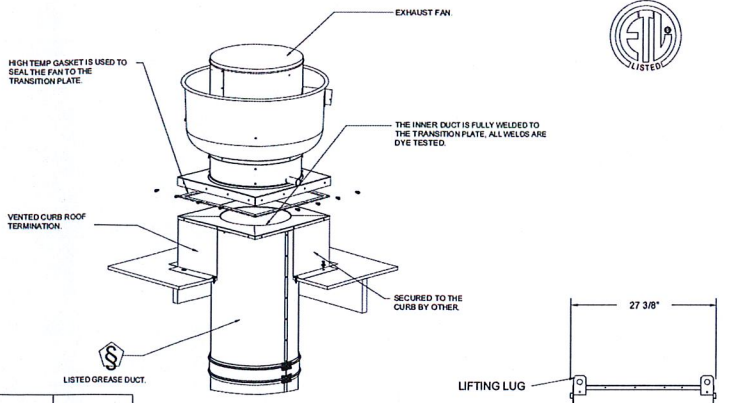
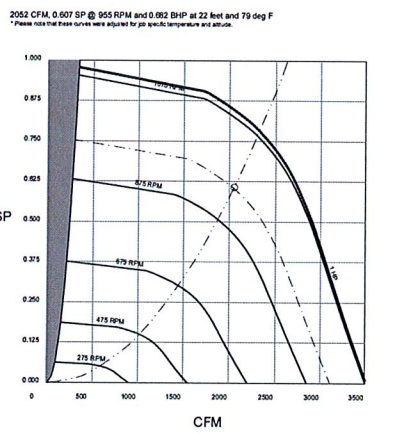
FAN SOUND INFORMATION

FAN UNIT NO.	MOTOR	RPM	LWA	SONES	DBA	DISTANCE FT	OCTAVE 1	OCTAVE 2	OCTAVE 3	OCTAVE 4	OCTAVE 5	OCTAVE 6	OCTAVE 7	OCTAVE 8
1	Exhaust	1099	75.9	13.1	64.4	5	73.3	79.5	81.3	70.9	66.6	64.4	58.7	53
2	Supply	955	83.7	22	72.2	5	87.1	84.3	83.2	79.4	77.7	77.3	71.5	68.5

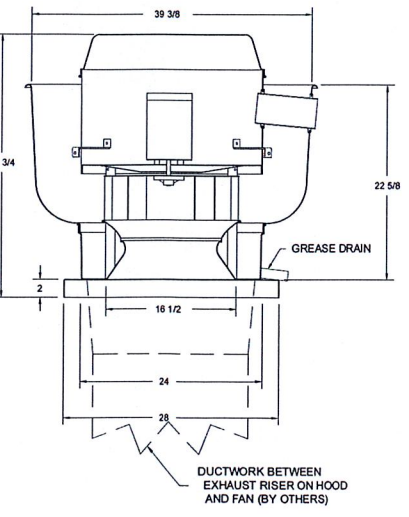
FAN#1 (KEF-1) - EXHAUST PERFORMANCE CURVES



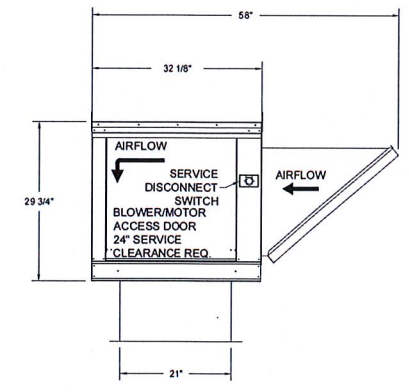
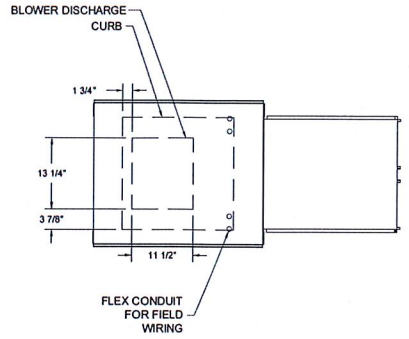
FAN#2 (MUA-1) - SUPPLY PERFORMANCE CURVES



FAN #1 DU180HFA - EXHAUST FAN (KEF-1)



- FAN #1 A1-G10D - SUPPLY FAN (MUA-1)
 1. DIRECT DRIVE DIRECT DRIVE UNTEMPERED SUPPLY UNIT WITH 10" BLOWER IN SIZE #1 HOUSING WITH SPEED CONTROL, DISCONNECT SWITCH.
 2. INTAKE HOOD WITH E2 FILTERS-LOW CFM
 3. DOWN DISCHARGE - AIR FLOW RIGHT -> LEFT
 4. ECM WIRING PACKAGE AND MANUAL OR 0-10VDC CONTROL FOR SUPPLY ECM MOTORS. RTC CONTROLLER.



PITCHED CURBS ARE AVAILABLE FOR PITCHED ROOFS.
 SPECIFY PITCH:
 EXAMPLE: 7/12 PITCH = 30° SLOPE

FEATURES:

- DIRECT DRIVE CONSTRUCTION (NO BELTS/PULLEYS)
- ROOF MOUNTED FANS
- RESTAURANT MODEL
- UL705 AND UL762
- VARIABLE SPEED CONTROL
- INTERNAL WIRING
- WEATHERPROOF DISCONNECT
- THERMAL OVERLOAD PROTECTION (SINGLE PHASE)
- HIGH HEAT OPERATION 300°F (149°C)
- GREASE CLASSIFICATION TESTING

NORMAL TEMPERATURE TEST
 EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

ABNORMAL FLARE-UP TEST
 EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING BURNING GREASE VAPORS AT 600°F (316°C) FOR A PERIOD OF 15 MINUTES WITHOUT THE FAN BECOMING DAMAGED TO ANY EXTENT THAT COULD CAUSE AN UNSAFE CONDITION.

OPTIONS

- GREASE BOX
- FAN BASE CERAMIC SEAL - INSTALLED AT PLANT - FOR GREASE DUCTS

DEMONSTRATIONS ARE AVAILABLE AT THE CALIFORNIA BAY AREA DISPLAY CENTER FOR PRICES AND QUESTIONS, CALL GUSTAVO BUSTOS REFERENCE JOB# 3104977 REG91@CAPTIVEAIRE.COM PHONE (415) 956-2200 FAX: (919) 227-5940

REVISIONS

NO.	DESCRIPTION	DATE

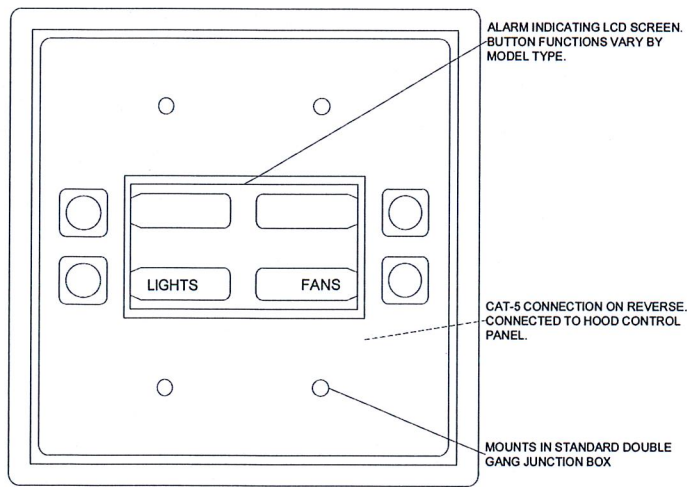
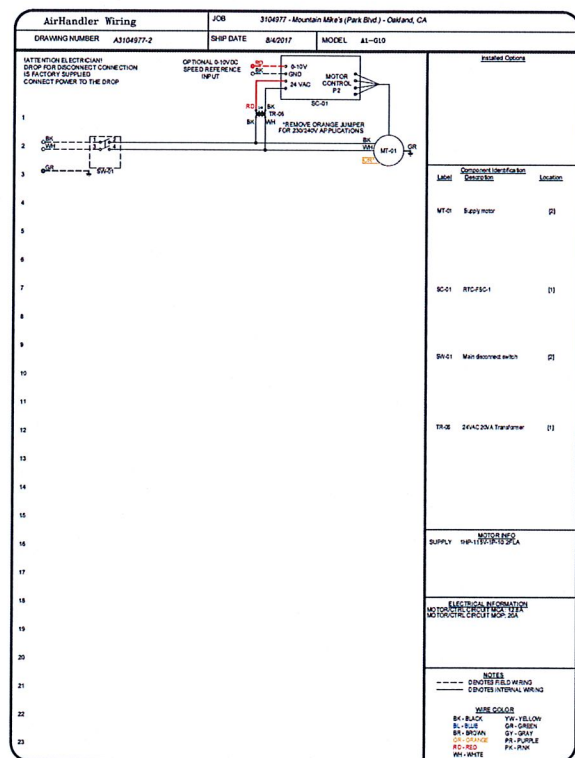
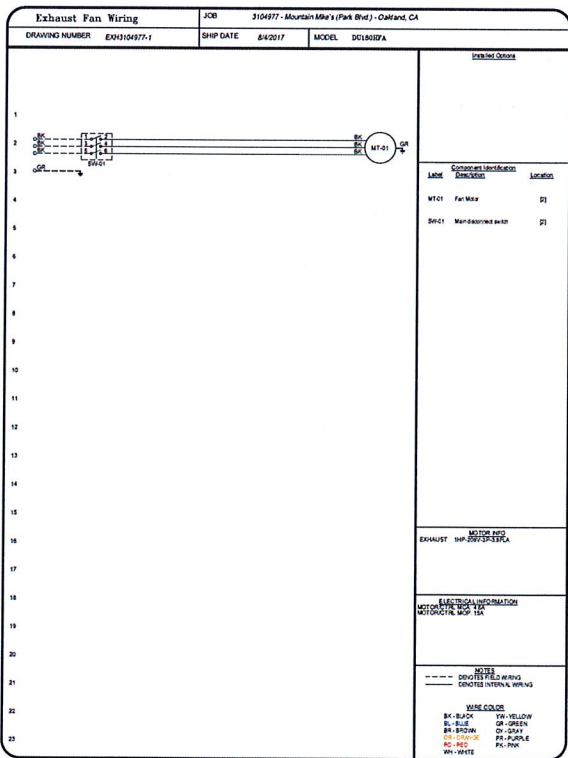
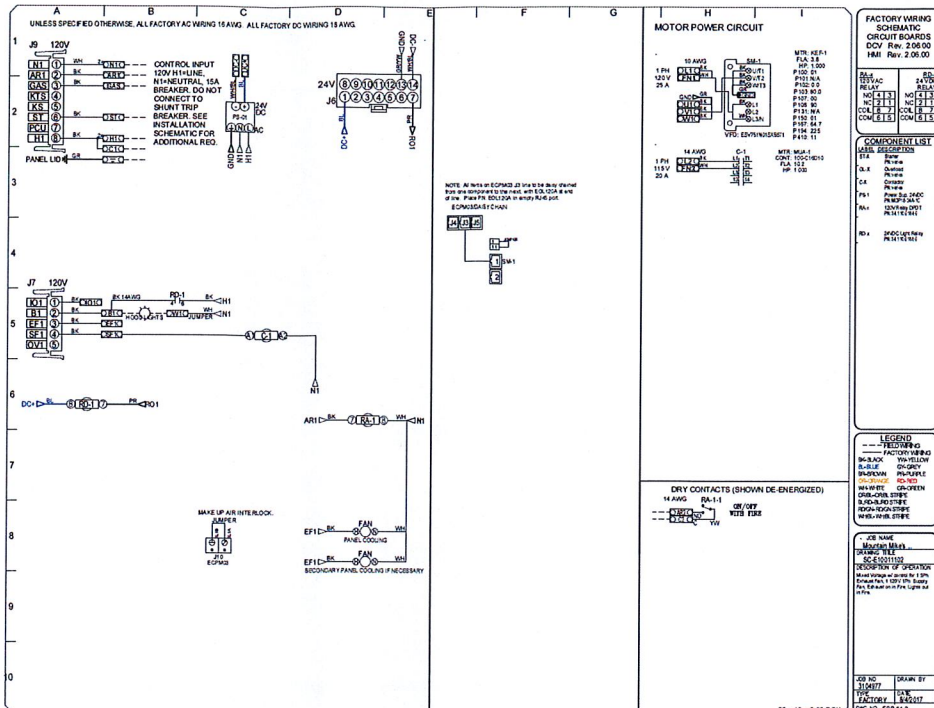
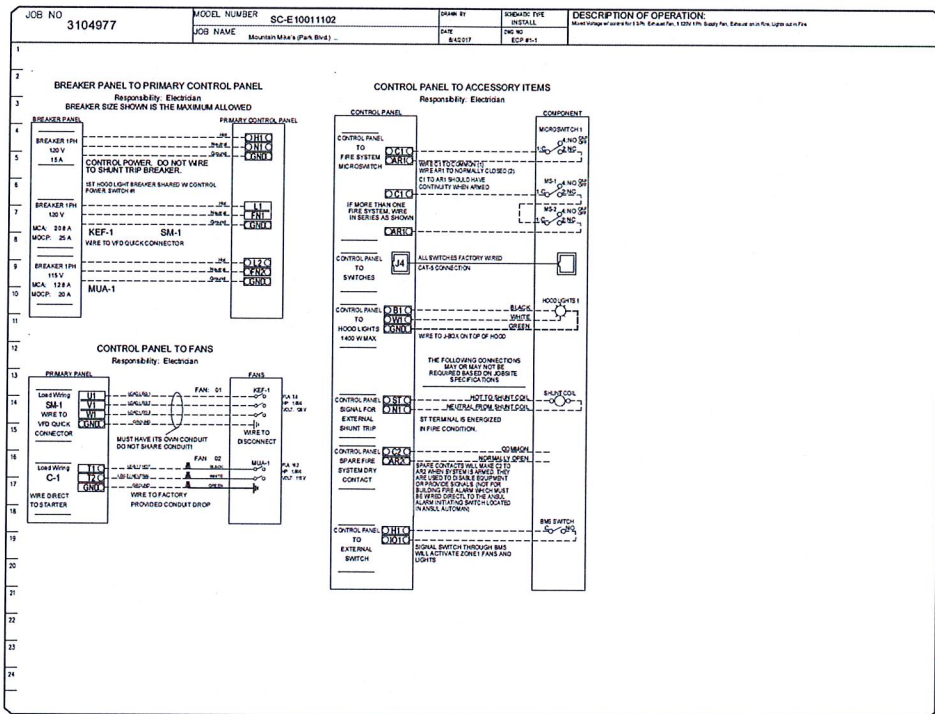
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 CENTRAL CA
 8 Aditan Court, Burlingame, CA, 94010 PHONE: (415) 956-2200 FAX: (919) 227-5940 EMAIL: reg91@captivaire.com

Mountain Mike's (Park Blvd.) - Oakland, CA
 4230 PARK BLVD.,
 OAKLAND, CA, 94602

DATE: 8/4/2017
 DWG.#: 3104977
 DRAWN BY:
 SCALE: 3/4" = 1'-0"
 MASTER DRAWING
 SHEET NO. 3

ELECTRICAL PACKAGES - Job#3104977

NO	TAG	PACKAGE #	LOCATION	SWITCHES		OPTION	FANS CONTROLLED					
				LOCATION	QUANTITY		FAN TAG	TYPE	Ø	H.P.	VOLT	FLA
1		SC-E1001102	Utility Cabinet Right	D4 - Utility Cabinet Right	1 Light	Smart Controls Basic	KEF-1	Exhaust	3	1,000	208	3.8
				Hood # 1	1 Fan		MUA-1	Supply	1	1,000	115	10.2



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Mountain Mike's (Park Blvd.) - Oakland, CA
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DATE: 8/4/2017
 DWG.#: 3104977
 DRAWN BY:
 SCALE: 1/4" = 1'-0"
MASTER DRAWING
 SHEET NO. 4

WATER DEVELOPMENT @ 60 PSI 2" LINE FROM 2" M.V. 100 FT. DEVELOPMENT LENGTH.

TABLE 6-5 UPC

MAKE	QUANTITY	DESCRIPTION	FU	EXT.
P-1	1	WATER CLOSET	5	5
P-2	1	LAVATORY	1	1
MS1	1	MOP	3	3
SK1	2	HAND SINK	1.5	3
SK2	1	VEG SINK	2	4
SK3	1	3 COMP. SINK	1.5	1.5
SK4	1	COUNTER SINK	1.5	1.5
TOTAL			19	FU

HOT/COLD WATER TYPE 'L' COPPER (INSULATE. HW/TITLE-24)
 SANITARY DRAIN ABS
 SANITARY VENT ABS
 GREASE WASTE ABS
 INDIRECT WASTE TYPE 'M' COPPER
 T & P DRAINS TYPE 'M' COPPER
 GAS SCHEDULE 40 BLACK STEEL

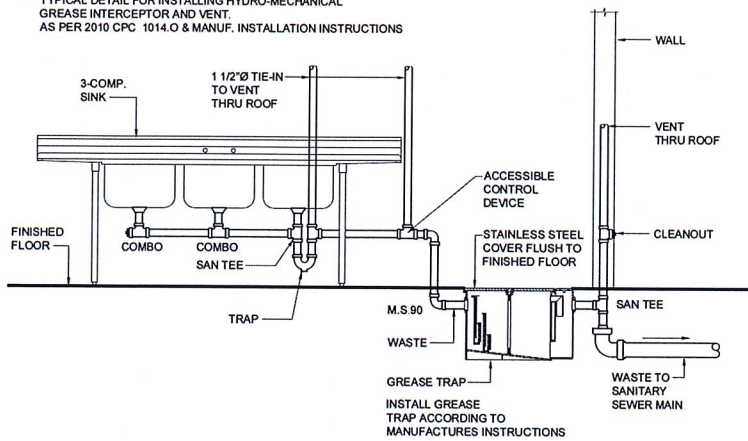
PIPE SCHEDULE 16

Plumbing Fixture Schedule

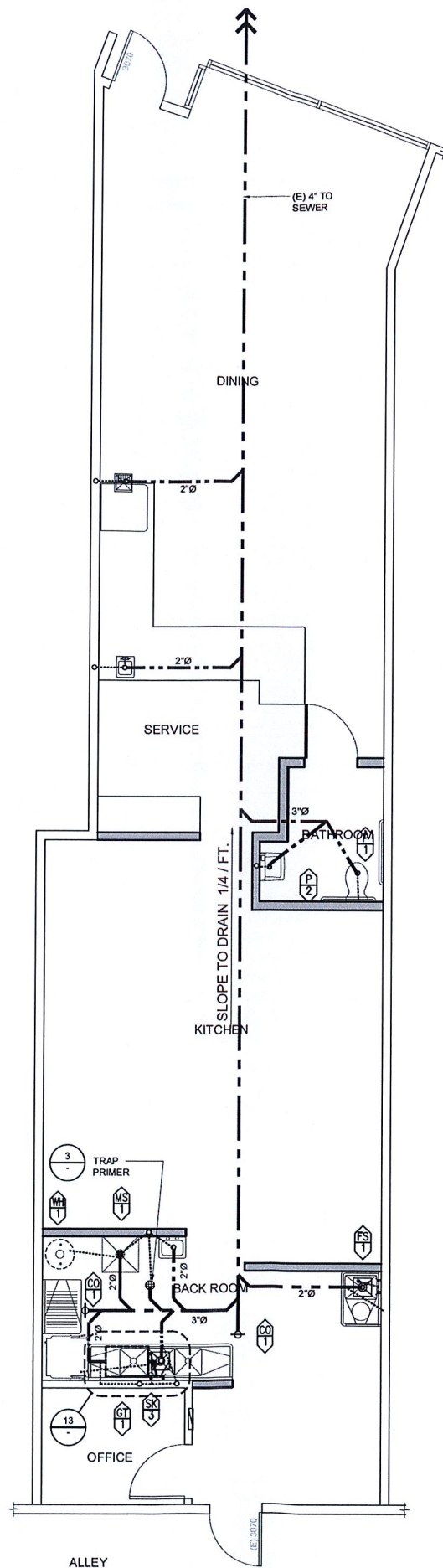
MK	Description	Manuf.	Model	Trap	Waste	Vent	HW	CW	Remarks
P-1	LAVATORY	KOHLER		1 1/2"	2"	2"			LOCALLY SUPPLIED BY G.C WITH THERMOSTATIC VALVE
P-2	WATER CLOSET	KOHLER		3"	3"	2"			LOCALLY SUPPLIED BY G.C (WALL HUNG)
FS-1	FLOOR SINK	Zurn	LC FD-2375	2"	2"	2"			LOCALLY SUPPLIED BY G.C 1" MIN. AIR GAP
FD-1	FLOOR DRAIN	Zurn		2" OR 3"	2" OR 3"				LOCALLY SUPPLIED BY G.C W/ TRAP PRIMER
SK-1	HANDSINK	Duke		1 1/2"	2"	2"	1/2"	1/2"	SUPPLIED BY FRANCHISE
SK-2	PREP. SINK	DUKE		INDIRECT	2"	2"	1/2"	1/2"	SUPPLIED BY FRANCHISE
SK-3	3 COMP. SINK	DUKE		1 1/2"	2"	2"	1/2"	1/2"	SUPPLIED BY FRANCHISE
SK-4	COUNTER SINK	DUKE		1 1/2"	2"	2"	1/2"	1/2"	SUPPLIED BY FRANCHISE
WH-1	WATER HEATER	A.O. Smith	BTH-150				3/4"	3/4"	100 GAL./150,000 BTUs 216 @ 80" RISE LOCALLY SUPPLIED BY G.C
MS-1	MOP SINK	Green World		2" OR 3"	2"	2"	1/2"	1/2"	LOCALLY SUPPLIED BY G.C
CO-1	FLOOR CLEANOUT	Zurn			2" OR 3"				LOCALLY SUPPLIED BY G.C
GT-1	GREASE TRAP	Endura	3920A02		2"	2"			1500 GAL. CAPACITY, FLUSH MOUNTED, LOCALLY SUPPLIED BY G.C

SCHEDULE 15

TYPICAL DETAIL FOR INSTALLING HYDRO-MECHANICAL GREASE INTERCEPTOR AND VENT AS PER 2010 CPC 1014.0 & MANUF. INSTALLATION INSTRUCTIONS



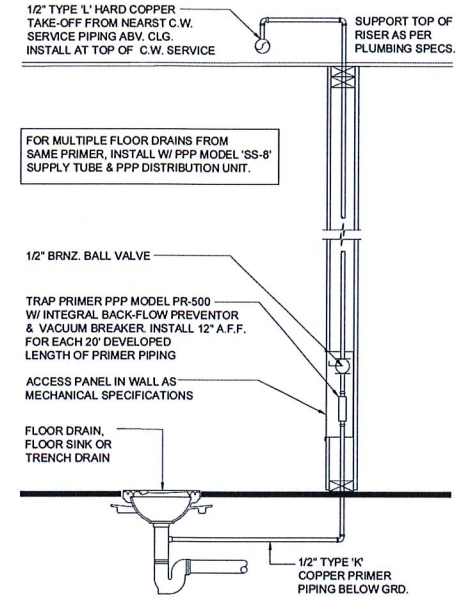
HYDRO-MECHANICAL GREASE INTERCEPTOR DETAIL 13



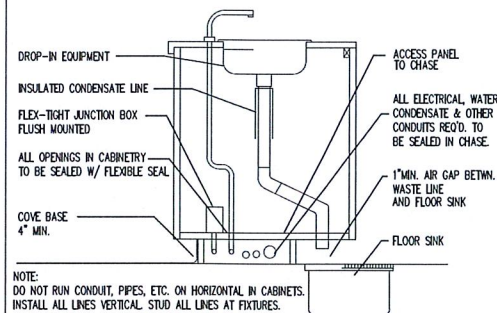
WASTE PLUMBING PLAN 1/4" = 1'-0" 5

Notes

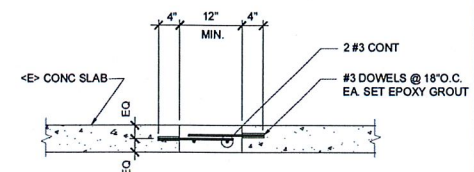
- FIELD VERIFY EXISTING 4" MAIN SS LINE
- CONDENSATE DRAIN TO NEAREST FIXTURE



TRAP PRIMER DETAIL 1" = 1'-0" 3



Typical Cabinet Detail 2



Sawcut <E> Conc. Slab Detail 3/4" = 1'-0" 1

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TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT

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Revisions		
No.	Description	Date
1		



Issue Date 8/4/17

Drawn By DJE

Project Number 1743

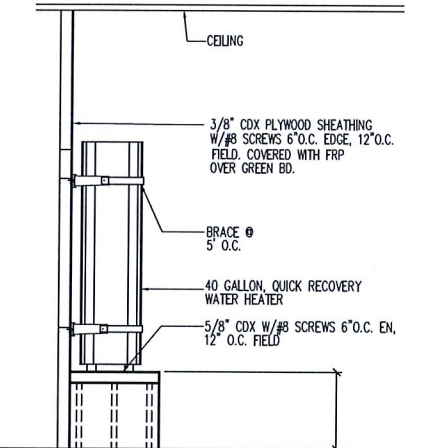
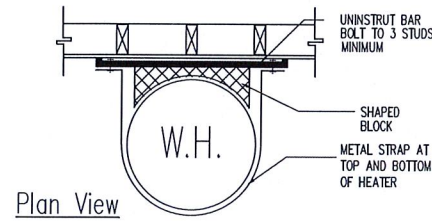
Sheet Title

WASTE PLUMBING PLAN

Sheet Number **P2.1**

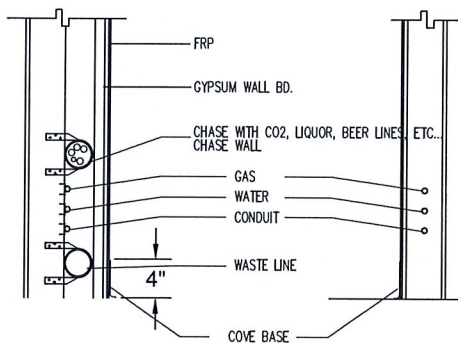
HOT/COLD WATER TYPE 'L' COPPER (INSULATE. HW/TITLE-24)
 SANITARY DRAINAGE ABS
 SANITARY VENT ABS
 GREASE WASTE ABS
 INDIRECT WASTE TYPE 'M' COPPER
 T & P DRAINS TYPE 'M' COPPER
 GAS SCHEDULE 40 BLACK STEEL

PIPE SCHEDULE 3

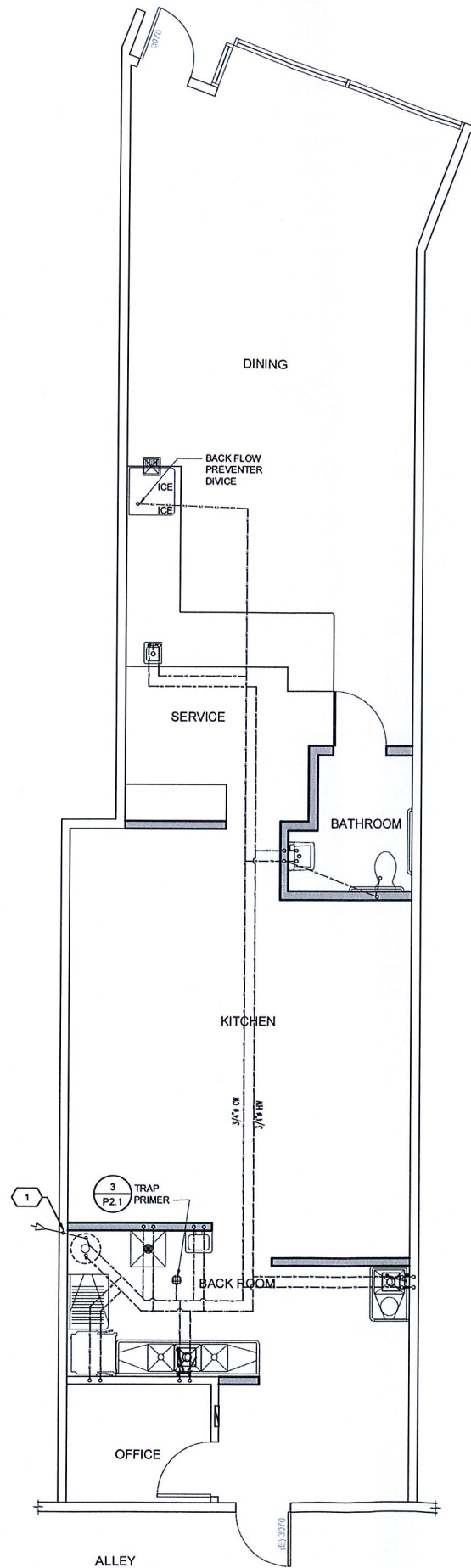


* PROVIDE INSULATION BLANKET AROUND WATER HEATER PER MANUF. RECOMMENDATIONS

Water Heater Details (N.T.S) 17



Typical Wall & Back Bar Detail n.t.s. 12



PLUMBING PLAN 1/4" = 1'-0" 5

Notes #

1. FIELD VERIFY EXISTING 4" MAIN SS LINE
2. CONDENSATE DRAIN TO NEAREST FIXTURE

General Notes

1. NO PLUMBING SHALL BE TERMINATED AND ABANDONED IN PLACE. MUST BE REMOVED BACK TO THE POINT OF ORIGIN.
2. ALL PLUMBING FIXTURES AND PIPING IS TO BE LISTED BY AN APPROVED LISTING AND TESTING AGENCY AND PROPERLY LABELED.
3. PLUMBING SYSTEMS SHALL BE INSTALLED IN A MANNER CONFORMING TO THE 2013 CPC AND THE MANUFACTURERS RECOMMENDATIONS.
4. MINIMUM SLOPE OF ALL DRAINAGE PIPING TO BE 1/4" PER FOOT (2%).
5. SOFT COPPER NOT APPROVED FOR TRAP PRIMER. USE HARD DRAWN COPPER OR OTHER APPROVED MATERIAL.
6. ALL FLOOR DRAIN AND SINK SHALL BE EQUIPPED WITH TRAP PRIMERS.
7. SUSPENDED SLAB HAS BASE BUILDING CONDUITS AND REBAR RUNNING THROUGH IT. ALL CORING LOCATIONS OF THE SUSPENDED STRUCTURAL SLABS SHALL BE CHALKED, SIZE AND REVIEWED BY THE LANDLORD'S STRUCTURAL ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
9. SHOW GREASE WASTE LINE UNDER SLAB. GREASE TRAP NOT PERMITTED FOR THIS PROJECT.
10. ALL AREAS DRAINS AND FLOOR SINKS SHALL BE INSTALLED WITH WATER PROOFING MEMBRANE PRIOR TO INSTALLATION. TENANT SHALL BE REQUIRED TO PERFORM A ONE (1) HOUR FLOOD TEST WITH LANDLORD TO DETERMINE TENANTS PENETRATIONS ARE WATER TIGHT.
11. IF NOT EXISTING TENANT SHALL INSTALL LANDLORD SPECIFIED WATER SUB-METER WHICH SHALL BE INSTALLED AFTER THE SHUT-OFF VALVE. IN NO EVENT SHALL TENANT CONNECT UPSTREAM OR BYPASS SUB-METER
12. THERE SHALL BE NO PIPE TRENCHING OR CHANNELING OF THE SUSPENDED SLAB.
13. WATER CLOSET & LAVATORY FAUCET MUST COMPLY WITH CALIFORNIA GREEN CODE SECTION 5.303.2.2.
14. LAVATORY FAUCET IS TO BE SELF OR AUTOMATIC CLOSING PER CPC 403.4.
15. LAVATORY FAUCET IS TO BE PROVIDED WITH A THERMOSTATIC MIXING VALVE LISTED TO 'ASSE 1070'
16. WATER HEATER IS TO BE PROVIDED WITH A EXPANSION TANK.

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TENANT IMPROVEMENT

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Revisions		
No.	Description	Date
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Issue Date 8/4/17

Drawn By DJE

Project Number 1743

Sheet Title
WATER SUPPLY PLUMBING PLAN

Sheet Number **P2.2**

LOCATION	KITCHEN	PANEL	MLO	XX	MCB	PH.BUS	200A	FLUSH	XX	SURFACE		
VOLTS	120/208V, 3P, 4W					N. BUS	200A	NEMA	1	XX	NEMA	3R
DESCRIPTION	A	B	C	TRIP	CT	PHASE	CT	TRIP	A	B	C	DESCRIPTION
FRONT COUNTER RECEPTS				20/1	1	A	2	20/1	0.50			NEON LIGHT
OVEN		1.80		20/1	3	B	4	20/1	0.50			EXTERIOR SIGN
HOOD		1.80		20/1	5	C	6	20/1	0.72			DINING RECEPTS
MIXER	1.80			20/1	7	A	8	20/1	0.36			BACK ROOM RECEPTS
DISHWASHER		1.80		20/1	2	B	10	20/1	1.26			SERVICE RECEPTS
WALK IN REFRIGERATOR	2.48			20/1	11	C	12	20/1				MUA UNIT
		2.48		30	13	A	14	20/1	0.44			RESTRM FAN/LIGHT/RECEPT
PIZZA TABLE			1.20	20/1	15	B	16	20/1	0.56			DINING TRACK/PENDANT LIGHTS
DOUGH WORK TABLE RECEPTS	0.36			20/1	17	C	18	20/1	0.32			SERVICE LIGHTS
P.O.S.		1.20		20/1	19	A	20	20/1	0.50			DINING LIGHTS
CABINET		0.90		20/1	21	B	22	20/1	0.50			EXIT LIGHTS
SODA DISPENSER	1.40			20/1	23	C	24	20/1	0.64			BACKROOM/OFFICE LIGHTS
ICE MAKER	1.40			20/1	25	A	26	20/1	0.60			SERVICE LIGHTS
SODA SYSTEM/WATER SYSTEM		1.40		20/1	27	B	28	20/1	0.40			MENU BOARD LIGHTS
SODA CARBONATE	1.20			20/1	29	C	30	20/1	0.18			ROOF RECEPT
REFRIG. PREP.				20/1	31	A	32	30	2.40			WATER HEATER
REFRIG. PREP.				20/1	33	B	34	2	2.40			
AC UNIT 2	2.52			30	35	C	36	30	2.52			AC UNIT 1
		2.52		37	37	A	38					
			2.52	39	39	B	40	3				
				41	41	C	42	20/1				
SUBTOTAL	11.28	11.2	9.92	TOTAL LOAD=			57.0 KVA	7.32	8.14	7.18		SUBTOTAL
LARGEST PHASE X3							57.0	11.28	11.2	9.92		SUBTOTAL
(E) LOAD							0.0	18.60	19.34	17.1		TOTAL KVA

RECEPTACLE	9.07 KVA	
100% OF FIRST 10 KVA	9.07 KVA	
50% OF REMAINDER	0.00 KVA	
LIGHTS @ 125%	5.78 KVA	
MOTOR LOADS	14.61 KVA	
EQUIPMENT	24.24 KVA	
TOTAL	53.70 KVA	

RECEPTACLE	9.07 KVA	
1ST 10 KVA AT 100%	9.07 KVA	
REMAINING AT 50%	0.00 KVA	
LIGHTING AT 125%	5.78 KVA	
MOTOR LOADS	15.90 KVA	
EQUIPMENT	24.24 KVA	
EXISTING LOAD	227.52 KVA	
TOTAL	282.51 KVA	
	784.76 AMPS @ 208 V 3 PHASE	

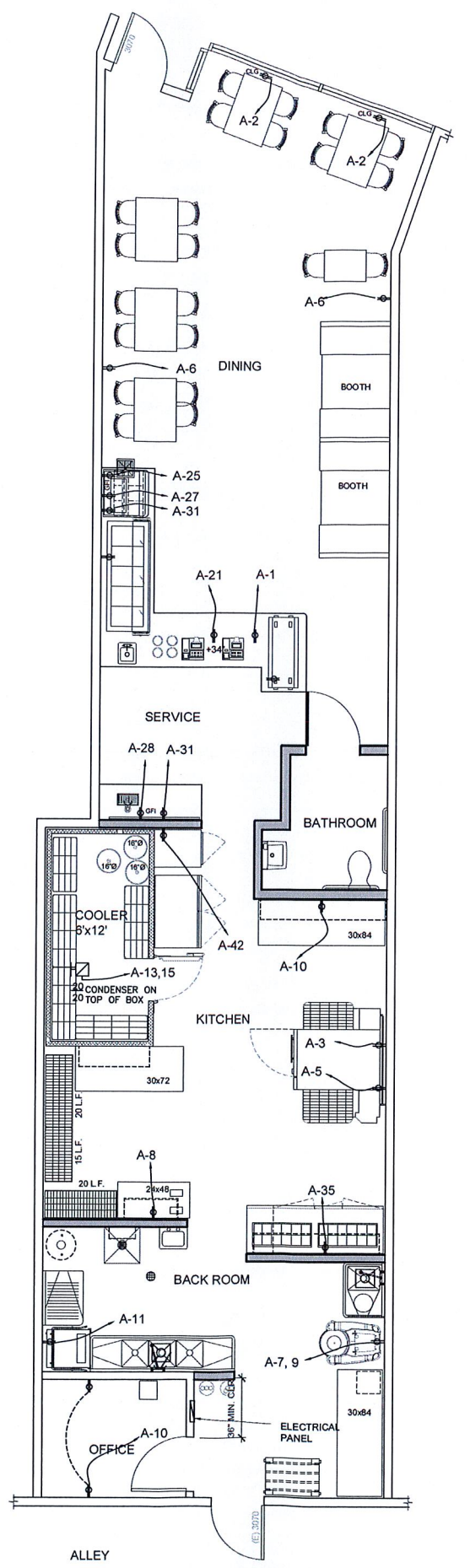
LOAD SUMMARY - "MSB"	
RECEPTACLE	9.07 KVA
1ST 10 KVA AT 100%	9.07 KVA
REMAINING AT 50%	0.00 KVA
LIGHTING AT 125%	5.78 KVA
MOTOR LOADS	15.90 KVA
EQUIPMENT	24.24 KVA
EXISTING LOAD	227.52 KVA
TOTAL	282.51 KVA
	784.76 AMPS @ 208 V 3 PHASE

GENERAL NOTES:

- REFER TO ARCHITECTURAL DRAWING A-2.1 FOR KITCHEN EQUIPMENT LAYOUT AND DETAILS.
- PROVIDE AND INSTALL SIGNAGE THAT READS AS FOLLOWS: "CAUTION - SERIES COMBINATION SYSTEM RATED AMPS, IDENTIFIED REPLACEMENT COMPONENTS REQUIRED" LOCATE SIGN AS REQUIRED BY INSPECTING AUTHORITY.
- ALL ELECTRICAL EQUIPMENT SHALL BE FIELD MARKED WARNING QUALIFIED PERSONNEL OF THE POTENTIAL ARC FLASH HAZARDS AS REQUIRED BY NEC ART 110.16 AND NFPA-70E-2000.
- ALL DOCUMENTATION REGARDING THE SERIES RATED BREAKERS TO BE USED ON THIS PROJECT WILL BE AVAILABLE FOR THE FIELD INSPECTOR UPON REQUEST. THE SERIES RATED COMBINATIONS TO BE HIGHLIGHTED AND LABELED FOR THE INSPECTOR'S USE.
- ALL CONDUITS ENTERING/EXITING COLD STORAGE SPACES TO BE SEALED AS REQUIRED BY NEC ARTICLE 300.7.

Panelboard Schedule 15

Electrical Key Symbols and Abbreviations		
⚡	SINGLE POLE SWITCH	AE APPROVED EQUIVALENT
⚡	DOUBLE POLE SWITCH	AF ABOVE FLOOR FINISH
⚡	THREE WAY SWITCH	EF EXHAUST FAN
⊙	JUNCTION BOX CEILING MOUNTED	EM EMERGENCY LIGHT
⊙	JUNCTION BOX WALL MOUNTED	NL NIGHT LIGHT
⊙	DUPLEX RECEPTACLE WALL OUTLET	NTS NOT TO SCALE
⊙	DUPLEX RECEPTACLE WALL OUTLET GROUND FAULT INTERRUPTER	PROVIDE FURNISH INSTALL AND CONNECT
⊙	DUPLEX RECEPTACLE CEILING OUTLET	GFI GROUND FAULT INTERRUPTER
⊙	120/240 V POWER DUPLEX RECEPTACLE	WP WEATHERPROOF
⊙	QUADRUPLER RECEPTACLE FLOOR OUTLET	UNO UNLESS OTHERWISE NOTED
⊙	TELEPHONE OUTLET	(E) EXISTING TO REMAIN
⊙	COMPUTER MODEM OUTLET	(N) NEW
⊙	ELEC. PANELBOARD	FL FLUORESCENT
⊙	MOTOR, HP AS INDICATED	LUN LUMEN
⊙	DISCONNECT SWITCH	PG&E PACIFIC GAS AND ELECTRIC CO.
⊙	EMERGENCY PUMP SHUT-OFF SWITCH +48"	
⊙	ISOLATED GROUND RECEPTACLE OUTLET	



ELECTRICAL 1/4" = 1'-0" 5

Notes

- TIME CLOCK W/2 HOUR BYPASS
- <E> ELECTRICAL PANEL

General Notes

- REFER TO ARCHITECTURAL DRAWING A-2.1 FOR KITCHEN EQUIPMENT LAYOUT AND DETAILS.
- ELECTRICAL OUTLET HEIGHTS MEASURED TO BOTTOM OF BOX.
- ONE ELECTRICAL JUNCTION BOX TO BE LOCATED IN CEILING ABOVE EACH WINDOW.
- PROVIDE AND INSTALL SIGNAGE THAT READS AS FOLLOWS: "CAUTION - SERIES COMBINATION SYSTEM RATED AMPS, IDENTIFIED REPLACEMENT COMPONENTS REQUIRED" LOCATE SIGN AS REQUIRED BY INSPECTING AUTHORITY.
- ALL ELECTRICAL EQUIPMENT SHALL BE FIELD MARKED WARNING QUALIFIED PERSONNEL OF THE POTENTIAL ARC FLASH HAZARDS AS REQUIRED BY NEC ART. 110.16 AND NFPAE-2000.
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- ALL CONDUITS ENTERING/EXITING COLD STORAGE SPACES TO BE SEALED AS REQUIRED BY NEC ARTICLE 300.7.
- EXIT LIGHTS INSTALLED BY G.C. PER LOCAL CODE.
- EMERGENCY LIGHTS INSTALLED BY G.C. PER LOCAL CODE.
- A NATIONALLY RECOGNIZED TESTING LABORATORY SHALL LIST ALL THE EQUIPMENT IN COMPLIANCE WITH 2013 NEC.
- A DISCONNECT SWITCH FOR ALL KITCHEN APPLIANCES AND MOTORS IN COMPLIANCE WITH 05 NEC.
- LIGHT FIXTURES LOCATED OVER UNCOVERED FOOD OR UTENSILS MUST BE SHATTERPROOF AND CLEANABLE.

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 Tel. 831/663-1418
 Fax 831/663-6385
 david@djelliott.net

TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT

4230 PARK BLVD.
 OAKLAND, CA. 94602

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Revisions		
No.	Description	Date
1		



Issue Date 8/4/17
 Drawn By DJE
 Project Number 1743
 Sheet Title POWER ELECTRICAL PLAN
 Sheet Number E2.1

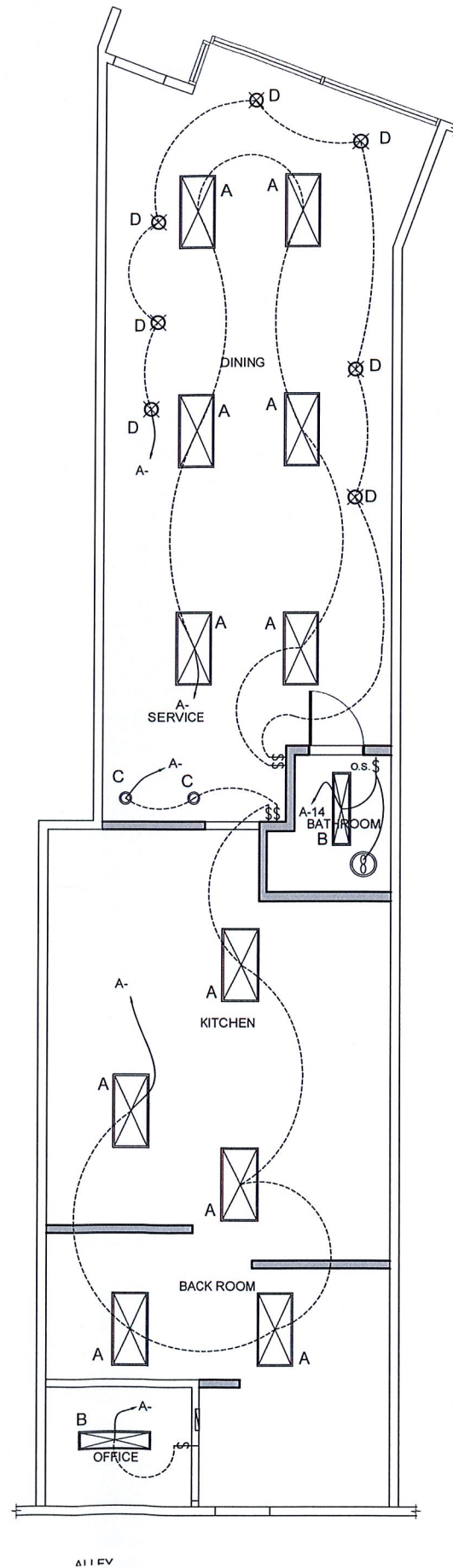
SYMBOL	DESCRIPTION	SUPPLY	FROM	NO.	NOTES
A	2'x4' FLUORESCENT FIXTURE	LIGHTOLIER	G.C.	G.C.	11 (1) RECESSED & (3) SURFACE MOUNT FLUORESCENT FIXTURE WITH ENERGY SAVING BALLAST USES (3) 32W T8 BULBS
B	1'x2' SURFACE MOUNTED FLUORESCENT FIXTURE	LIGHTOLIER	G.C.	G.C.	2 SURFACE MOUNT FLUORESCENT FIXTURE USES (2) 32W T8 LIGHT BULBS.
C	6" RECESS CAN LIGHT FIXTURE	---	G.C.	G.C.	2 15W LED
D	PENDANT LIGHT	FORECAST	G.C.	G.C.	7 ADJUSTABLE PENDANT LIGHT FIXTURE (FS112) WITH SEPERATE HOLDER (FS114-45). USE 20W/RF FROSTED BULB. WHEN USING BOOTH SEATING A PENDANT LIGHT IS REQUIRED, CENTERED OVER THE TABLE TOP. WHEN INSTALLING PENDANT LIGHTS, IN ANY APPLICATION, THEY SHOULD BE INSTALLED AT A HEIGHT OF 6'-6" (198.1cm) FROM THE FLOOR TO THE BOTTOM OF THE FIXTURE. (A PENDANT STEM KIT IS AVAILABLE THROUGH SPECIALTY STORE LIGHTING FOR USE WITH HIGH CEILING)
E	EXHAUST FAN	---	G.C.	G.C.	2 100 CFM EXHAUST FAN
F	EMERGENCY/EXIT LIGHT	---	G.C.	G.C.	2 6" UNIVERSAL LED EXIT SIGN, RED LETTERS, WHITE HOUSING, SINGLE OR DOUBLE. FACE
G	EMERGENCY LIGHT	---	G.C.	G.C.	2

Electrical Key Symbols and Abbreviations

⊠	SINGLE POLE SWITCH	AE	APPROVED EQUIVALENT
⊠	DOUBLE POLE SWITCH	ATF	ABOVE FLOOR FINISH
⊠	THREE WAY SWITCH	EF	EXHAUST FAN
⊠	JUNCTION BOX CEILING MOUNTED	EM	EMERGENCY LIGHT
⊠	JUNCTION BOX WALL MOUNTED	NL	NIGHT LIGHT
⊠	DUPLEX RECEPTACLE WALL OUTLET	NTS	NOT TO SCALE
⊠	DUPLEX RECEPTACLE WALL OUTLET GROUND FAULT INTERRUPTER	PROVIDE	FURNISH INSTALL AND CONNECT
⊠	DUPLEX RECEPTACLE CEILING OUTLET	GFI	GROUND FAULT INTERRUPTER
⊠	120 - 240 V POWER DUPLEX RECEPTACLE	WP	WEATHERPROOF
⊠	QUADRUPLX RECEPTACLE FLOOR OUTLET	UN	UNLESS OTHERWISE NOTED
⊠	TELEPHONE OUTLET	(E)	EXISTING TO REMAIN
⊠	COMPUTER MODEM OUTLET	(N)	NEW
⊠	ELEC. PANELBOARD	FL	FLUORESCENT
⊠	MOTOR, HP AS INDICATED	LUM	LUMEN
⊠	DISCONNECT SWITCH	PG&E	PACIFIC GAS AND ELECTRIC CO.
⊠	EMERGENCY PUMP SHUT-OFF SWITCH +48"	ATS	AUTO-TIME SWITCH
⊠	ISOLATED GROUND RECEPTACLE OUTLET		

General Notes

- REFER TO ARCHITECTURAL DRAWING A-2.1 FOR KITCHEN EQUIPMENT LAYOUT AND DETAILS.
- ELECTRICAL OUTLET HEIGHTS MEASURED TO BOTTOM OF BOX.
- ONE ELECTRICAL JUNCTION BOX TO BE LOCATED IN CEILING ABOVE EACH WINDOW.
- PROVIDE AND INSTALL SIGNAGE THAT READS AS FOLLOWS: "CAUTION - SERIES COMBINATION SYSTEM RATED _____ AMPS, IDENTIFIED REPLACEMENT COMPONENTS REQUIRED" LOCATE SIGN AS REQUIRED BY INSPECTING AUTHORITY.
- ALL ELECTRICAL EQUIPMENT SHALL BE FIELD MARKED WARNING QUALIFIED PERSONNEL OF THE POTENTIAL ARC FLASH HAZARDS AS REQUIRED BY NEC ART. 110.16 AND NFPA-700.
- ALL DOCUMENTATION REGARDING THE SERIES RATED BREAKERS TO BE USED ON THIS PROJECT WILL BE AVAILABLE FOR THE FIELD INSPECTOR UPON REQUEST. THE SERIES RATED COMBINATIONS TO BE HIGHLIGHTED AND TABBED FOR THE INSPECTORS USE.
- ALL CONDUITS ENTERING/EXITING COLD STORAGE SPACES TO BE SEALED AS REQUIRED BY NEC ARTICLE 300.7.
- EXIT LIGHTS INSTALLED BY G.C. PER LOCAL CODE.
- EMERGENCY LIGHTS INSTALLED BY G.C. PER LOCAL CODE.
- A NATIONALLY RECOGNIZED TESTING LABORATORY SHALL LIST ALL THE EQUIPMENT IN COMPLIANCE WITH 05 NEC.
- A DISCONNECT SWITCH FOR ALL KITCHEN APPLIANCES AND MOTORS IN COMPLIANCE WITH 05 NEC.
- LIGHT FIXTURES LOCATED OVER UNCOVERED FOOD OR UTENSILS MUST BE SHATTERPROOF AND CLEANABLE.



Notes

- TIME CLOCK W/2 HOUR BYPASS
- <E> ELECTRICAL PANEL

DJE Planning Architecture Interiors
David J. Elliott & Associates

17800 Cunha Lane
 Salinas, CA 93907
 Tel. 831/663-1418
 Fax 831/663-6385
 david@djellott.net

TENANT IMPROVEMENT

Mountain Mike's Pizza RESTAURANT

4230 PARK BLVD.
 OAKLAND, CA. 94602

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Revisions		
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1		



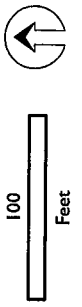
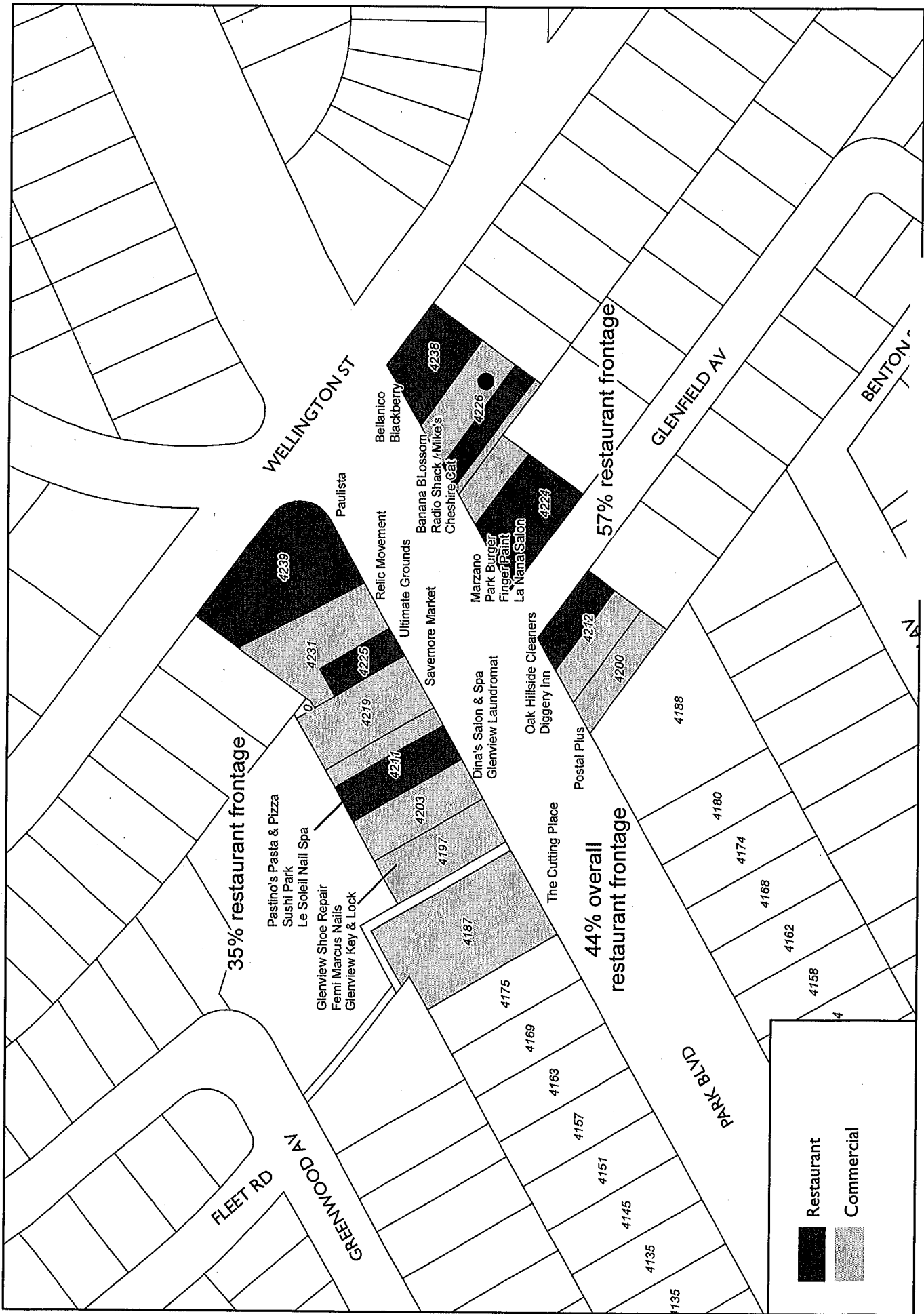
Issue Date **8/4/17**

Drawn By **DJE**

Project Number **1743**

Sheet Title
LIGHTING ELECTRICAL PLAN

Sheet Number **E2.2**



Attachment D

Glenview Commercial District



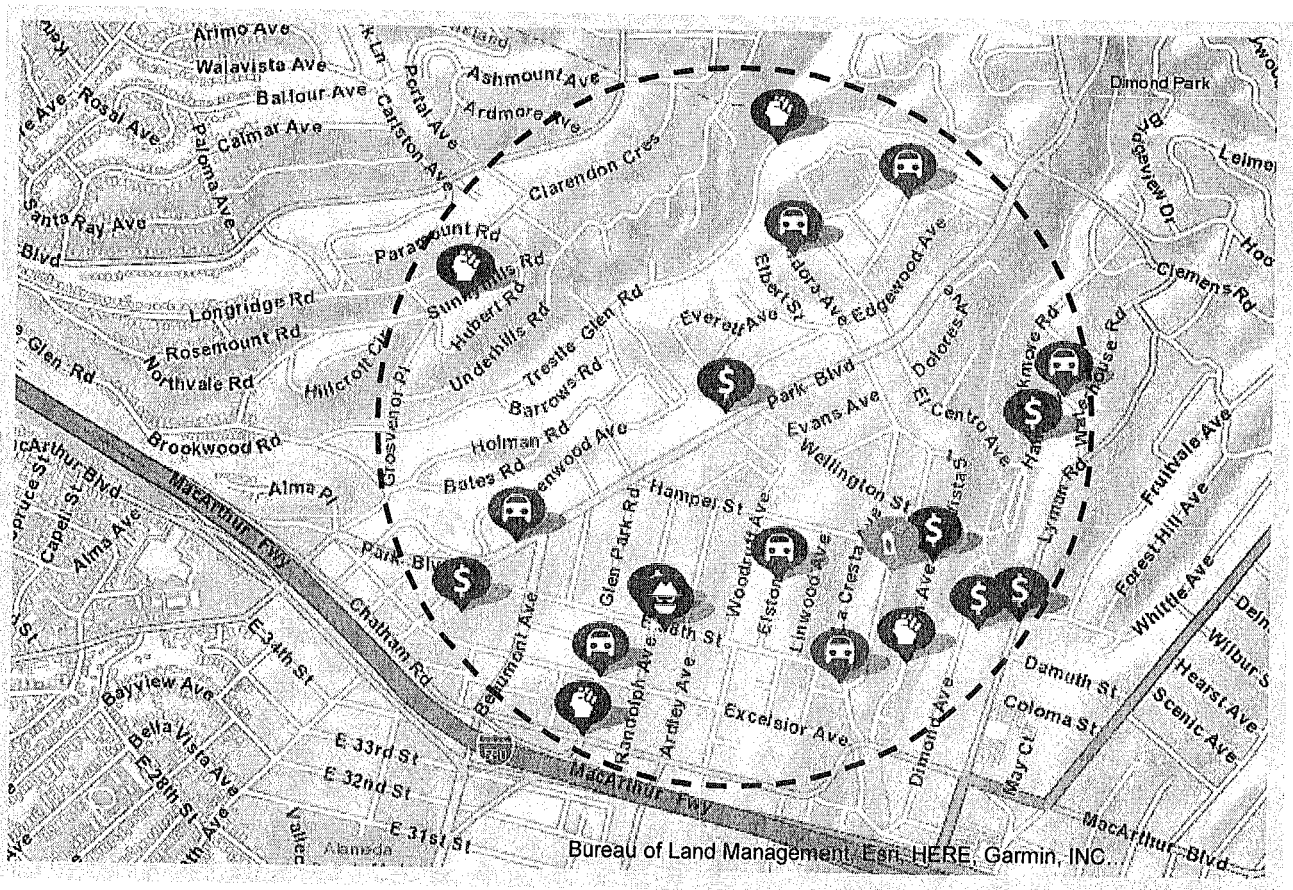
Print

CrimeMapping.com Map

Wednesday, November 1, 2017 through Tuesday, November 28, 2017

Showing crime types: Arson, Assault, Burglary, Disturbing the Peace, Drugs / Alcohol Violations, DUI, Fraud, Homicide, Motor Vehicle Theft, Robbery, Sex Crimes, Theft / Larceny, Vandalism, Vehicle Break-In / Theft, Weapons

Show crime report Show crime chart



Grab the bottom/right borders to resize the map or the handle in the bottom right corner.

All representations on this map are distributed and transmitted "AS IS" without warranties of any kind, either express or implied including without limitation, warranties of title or implied warranties of merchantability or fitness for a particular purpose. In no event shall CrimeMapping.COM become liable to users of these data for any loss or damages, consequential or otherwise, including but not limited to time, money, goodwill, arising from the use, operation or modification of the data. The visual presentation of data is being provided strictly as a courtesy, not as an obligation to its users.

Attachment E

Attachment F

Hackett, Maurice

From: Mary Goodell <mgoodell5@gmail.com>
Sent: Friday, November 03, 2017 5:44 PM
To: Hackett, Maurice
Subject: We oppose Mountain Mike's pizza in Montclair

As Glenview residents and registered voters, we strongly oppose Mountain Mike's opening on Park Blvd in Glenview. We have Pastino's, a wonderful pizza restaurant that supports local schools and community efforts, and is family owned. We do not want Mountain Mike's moving into the former Radio Shack store. Please - we urge you - oppose this application.

Mike Ratener and Mary Goodell
3940 Park Blvd

Hackett, Maurice

From: Charity Ferreira <charityferreira@sonic.net>
Sent: Tuesday, November 07, 2017 9:56 AM
To: Gallo, Noel; Hackett, Maurice
Cc: Turner, Preston
Subject: saying NO to Mountain Mike's

Hi,

I'm a Glenview resident and am very opposed to having a Mountain Mike's on Park Blvd. I would personally not support this restaurant and I strongly believe the neighborhood wouldn't either. It does not go with the character or the dining habits of the neighborhood, at all. I appreciate your taking note of any feedback you receive on this subject!

Charity Ferreira

1101 Glendora Avenue

Oakland, CA 94602

--

510.501.1611
@charityferreira

Hackett, Maurice

From: Rebecca <rebecca@nygrenfamily.net>
Sent: Friday, November 03, 2017 9:27 AM
To: dimond-news-group@googlegroups.com
Cc: Hackett, Maurice
Subject: Re: [Dimond News Group] Mountain Mike's pizza applied for the old Radio Shack location on Park

Subject:
Mountain Mike's Pizza
From:
Rebecca <rebecca@nygrenfamily.net>
Date:
11/3/17, 9:22 AM
To:
MHackett@oaklandnet.com

Good Day Mike Hackett,

I write strongly to protest the possibility of a Mountain Mike's Pizza at the corner of MacArthur and Fruitvale. We already have two family-owned and tasty pizza parlors in the general area.

The Veg Hub at 2214 MacArthur is doing a wonderful job of offering fresh organic vegetarian foods to the neighborhood. Mountain Mike's would degrade The Veg Hub's effort. The Veg Hub was enthusiastically welcomed into the neighborhood in part to upgrade the food choices available to the high school and middle school students who use the MacArthur-Fruitvale intersection to change buses and hang out. The closing of MacDonald's and the opening of The Veg Hub contributed greatly to the improved food offerings in the Dimond neighborhood.

Persistent work by the Dimond Improvement Association, the neighbors, AC Transit, the OPD, the Dimond Library, Farmer Joe's, and others has enhanced our neighborhood. Mountain Mike's would invite back the disruptions we all worked so hard to reduce.

Congestion, too, would worsen.

Our neighborhood has worked cooperatively, attentively, and long to make the Dimond District an attractive area for locals to patronize local businesses. Please support our efforts to keep our neighborhood neighborly, healthy, and locally-focused.

Kind regards,
-Rebecca Nygren

Hackett, Maurice

From: Catherine Saunders <catsaunders@comcast.net>
Sent: Sunday, November 05, 2017 10:51 PM
To: Hackett, Maurice; Gallo, Noel; Turner, Preston
Subject: Proposed Opening of Mountain Mike's Pizza shop in Glenview District at 4230 Park Blvd.

I am writing to express my opposition to Mountain Mike's Pizza proposed business location at the above address. My husband and I are long term Glenview residents and home owners (38 years). We have seen many businesses come and go in our small business district on Park Blvd over the years, some more welcome than others. In my opinion, a chain pizza shop offering pick up and delivery is highly inappropriate for that setting, is not welcome, and is unlikely to thrive for a number of important reasons.

We already have two very popular neighborhood Italian restaurants that serve pizza, **Pastino's** at 4207 Park Blvd and **Marzano** at the corner of Park & Glenfield. In addition, we have a third Italian eatery, **Bellanico** at 4238 Park Blvd. These are all small independent businesses which are well patronized and, in return, support our community.

We do not need another Pizza/Italian restaurant.

We do not want the Planning Commission to allow a surplus of competition of one type of business, pitting an unwanted newcomer against long-standing eateries providing superior products.

We do not want a chain restaurant in our small business district. A number of years ago, Starbucks withdrew plans to locate across the street from our existing independent, family owned coffee shop due to neighborhood opposition. They smartly decided not to establish an outpost where they were unwanted.

We do not want an exacerbation of the traffic and parking issues that currently exist, especially at evening rush hour, along the business stretch. With customers and delivery persons of the new business coming and going, there is bound to be double parking and greatly increased congestion.

We request that you please be respectful of the positive dynamic we have in the Glenview District with our existing restaurants.

We respectfully request that you hold a hearing or otherwise survey residents of the neighborhood before making a decision about Mountain Mike's becoming a part of our wonderful neighborhood.

Thank you,

Catherine Saunders
Rufus Turner
1127 Glendora Ave
Oakland, CA 94602

Hackett, Maurice

From: Ron Storchlic <rstorhlic@gmail.com>
Sent: Thursday, November 09, 2017 8:15 AM
To: Hackett, Maurice
Subject: Proposed Opening of Mountain Mike's Pizza shop in Glenview District

Dear Mr. Hackett,

As a long-time resident of Oakland's Glenview district, I am writing to express my opposition to Mountain Mike's Pizza proposed location on Park Blvd in the Glenview shopping district. A chain pizza shop offering pick up and delivery is highly inappropriate for that setting. It will negatively impact the business of the two existing family-owned Italian restaurants in that district, which enjoy much community support. It will also create more traffic as well as hazardous driving conditions, as people undoubtedly double-park to pick up pizzas. As you know, parking in that stretch is already very tight.

We request that you be respectful of the positive dynamic we have in the Glenview District with our existing restaurants. We do not want the Planning Commission to allow a surplus of competition of one type of business, pitting an unwanted newcomer against long-standing eateries providing superior products.

We respectfully request that you hold a hearing or otherwise survey residents of the neighborhood before making a decision about Mountain Mike's becoming a part of our wonderful neighborhood.

Thank you,

Ron Storchlic
1121 Glendora Ave
Oakland, CA 94602

Hackett, Maurice

From: Sandra Bressler <1sbressler1@gmail.com>
Sent: Sunday, November 05, 2017 8:57 PM
To: Hackett, Maurice
Subject: Proposed Mountain Mike's Restaurant on Park Boulevard

Administrator Hackett,

I wrote previously concerned about Mountain Mike's opening a pizza establishment on Park Boulevard in the Glenview Neighborhood. I understand that you will know when the Planning Commission will consider this item. I am asking that you inform me when the item is scheduled for the Commission's consideration so that I will have the opportunity to attend that meeting.

Thank you,

Sandra E. Bressler
3837 Woodruff Ave
Oakland, CA 94602
510/482-5371
1sbressler1@gmail.com

Health Care Consulting

Hackett, Maurice

From: Beth Bernstein <bethelb8@att.net>
Sent: Friday, November 03, 2017 6:51 AM
To: Hackett, Maurice
Subject: Proposed Mountain Mike's pizza for Park Street

I recently learned that the chain restaurant Mountain Mike's pizza has applied for a permit to open a restaurant on Park Street in the Glenview neighborhood.

I'm asking the planning commission to look at the Glenview business district and neighborhood as a whole and consider the potential negative impact of putting in an unnecessary chain restaurant. There's already 2 restaurants that serve pizza in this small 2 block long district (high end: Marzano's, low end: Postino's). Mountain Mike's is a chain that's expanding aggressively into Oakland, competing with locally owned businesses. They are opening a location in Montclair - maybe 3 miles away. If people want their pizza, they can get it there.

The parking in the business district is already difficult and congested. If you put in a restaurant where people want to run in to pick up a pizza, there's going to be more drivers illegally double parking with their blinkers on, blocking or slowing down traffic on Park. This is a desirable location in a distinctively charming business village, there's got to be other businesses who are a better fit and would add to the charm, not detract from it.

Thank you,

Beth Bernstein
1439 Allman Street
Oakland, CA 94602

Hackett, Maurice

From: glassgardener@juno.com
Sent: Wednesday, November 08, 2017 4:34 PM
To: Hackett, Maurice
Subject: Please say no to Mountain Mikes in Glenview

Hello!

I live just a couple of blocks away from the thriving Glenview shopping area on Park Blvd, and have live here for 18 years. I understand there might be interested from Mountain Mike's pizza to take over the empty storefront once held by Radio Shack. As an artist, I miss Radio Shack and I miss the hardware store that once was on Park Blvd, but would rather have anything else but a chain fast food restaurant in our neighborhood. The idea of litter and delivery cars in and out of the few parking spaces available are undesirable to say the least. Please protect our neighborhood from Mountain Mikes!

Thank you.

Kim

Kim Webster

www.kwebsterglass.com

www.oaklandeastbaybookkeeper.com

www.sniffthemovie.com

Cell: (510) 409-8727

Hackett, Maurice

From: Joslin K. Herberich <joslink@yahoo.com>
Sent: Sunday, November 05, 2017 6:48 PM
To: Hackett, Maurice
Subject: Opposition to Mountain Mike's Pizza

Dear Mr. Hackett,

I understand that you are the one I need to contact to register my opposition to Mountain Mike's Pizza in locating in the Glenview District. I am a home owner and our family has lived in the Glenview District for 13 years.

Our neighborhood shops are on just 1 1/2 blocks.

We already have a neighborhood pizza place which is very popular: Pastinos!

1) Pastino's
4207 Park Blvd

Additionally Marzano at the corner of Park & Glenfield serves pizza.

2) Marzano
4214 Park Blvd

If that wasn't enough, we have a 3rd Italian Restaurant : Bellancio's

3) Bellancio's
4238 Park Blvd

We do not need another Pizza/Italian restaurant much less a chain.

We do not want the Planning Commission pitting neighborhood restaurants against each other.

We do not want a chain restaurant in our small neighborhood : example, the intense opposition against putting Starbucks across the street from our existing neighborhood coffee shop.

Please be respectful of the positive dynamic we have in the Glenview District with our existing restaurants.

It is easy enough to survey our residents through our Glenview Neighborhood Association for the types of businesses which we would like to see occupy the space where Radio Shack was.

The Planning Commission needs to conform to Oakland's own description of the City Planning Commission:

"The purpose of the Oakland Planning Commission is 'to promote the orderly growth and development of the City through studies, decisions on development proposals, policy recommendations to the City Council, and related activities.'"

<http://www2.oaklandnet.com/government/o/PBN/OurOrganization/PlanningZoning/o/Commissions/index.htm>

I would appreciate being added to your mailing list so that I know when the Planning Commission will be taking this item up on your agenda.

Thank you,
Joslin Herberich
3718 Randolph Ave
Oakland, CA 94602

Hackett, Maurice

From: Sandy Gess <sjgess@earthlink.net>
Sent: Sunday, November 05, 2017 12:00 PM
To: Hackett, Maurice
Subject: Opposed to Mountain Mike's Pizza in Glenview District

I understand that you are the one I need to contact to register my opposition to Mountain Mike's Pizza in locating in the Glenview District. I am a home owner and our family has lived in the Glenview District for 25 years.

Our neighborhood shops are on just 1 1/2 blocks.

We already have a neighborhood pizza place which is very popular: **Pastinos!**

1) Pastino's
4207 Park Blvd

Additionally **Marzano** at the corner of Park & Glenfield serves pizza.

2) Marzano
4214 Park Blvd

If that wasn't enough, we have a 3rd Italian Restaurant : **Bellancio's**

3) Bellancio's
4238 Park Blvd

We do not need another Pizza/Italian restaurant much less a chain.

We do not want the Planning Commission pitting neighborhood restaurants against each other.

We do not want a chain restaurant in our small neighborhood : example, the intense opposition against putting Starbucks across the street from our existing neighborhood coffee shop.

Please be respectful of the positive dynamic we have in the Glenview District with our existing restaurants. It is easy enough to survey our residents through our Glenview Neighborhood Association for the types of businesses which we would like to see occupy the space where Radio Shack was.

Please conform to Oakland's own description of the City Planning Commission:

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<http://www2.oaklandnet.com/government/o/PBN/OurOrganization/PlanningZoning/o/Commissions/index.htm>

I would appreciate being added to your mailing list so that I know when the Planning Commission will be taking this item up on your agenda.

Thank you,

Sandy Gess
4332 Everett Ave
Oakland
(510) 482-5627

Hackett, Maurice

From: Ardleygirls <ardleygirls@earthlink.net>
Sent: Tuesday, November 07, 2017 5:52 AM
To: Hackett, Maurice
Subject: Opposed to Mountain Mike's permit for Glenview location

Mr. Hackett,

I am contacting you to register my opposition to an application for Mountain Mike's Pizza to locate on Park Boulevard, in the Glenview District.

I am a home owner and have lived in the Glenview District for nearly 20 years. One of the features I appreciate about our neighborhood is that I can enjoy and support so many locally grown and owned businesses shops just 2 blocks from my home, in a quietly bustling "downtown." We already enjoy a multitude of Italian influenced restaurants: Pastino at 4207 Park Blvd; Marzano at the corner of 4214 Park & Glenfield; and Bellancio at 4238 Park Blvd.

We also enjoy other locally managed businesses (a grocery store, nail salons, a locksmith, a cobbler, shipping/mail services, dry cleaner, a tutoring center, at least two fitness/yoga centers, and many other small, local restaurants). I am concerned that the addition of a chain restaurant would alter the chemistry of our neighborhood and pit small business owners against a larger chain-managed storefront making it untenable for them to remain profitable, local employers and service providers. We have a history of standing for local business and rejecting chains and larger brand names, having successfully blocked a Starbucks from taking a spot on Park Blvd, in competition with our existing neighborhood coffee shop.

Please be respectful of the positive dynamic we have in the Glenview District and reject the application from Mountain Mike's.

Thank you,
Colleen Connery

Hackett, Maurice

From: Matt Drury <drurymatthewp@gmail.com>
Sent: Friday, November 03, 2017 4:14 PM
To: Hackett, Maurice
Subject: No to Mt Mikes Pizza on Park Blvd

Dear sir

I live in the Glenview neighborhood adjacent to Park Blvd. I've recently learned that Mountain Mikes Pizza is trying to open a location where the Radio Shack used to be located on Park Blvd. I strongly urge you to not permit this business at this location.

My reasoning is that there are already two restaurants with 300 feet of that location that have pizza as their main entree and another sit down and delivery pizza place within one mile (Red Boy). All three of these restaurants are locally owned and operated.

For Oakland to allow a chain restaurant to undermine these established restaurants would do a great disservice to the residents of this area. Personally, I feel that my neighbors and I do not need nor want Mountain Mikes in this location.

Respectfully,
Matt Drury

Hackett, Maurice

From: TOM LANDIS <tlandis100@comcast.net>
Sent: Friday, November 03, 2017 7:27 PM
To: Hackett, Maurice
Subject: No to Mountain Mike's!

Dear sir:

There is a very good local pizzeria and restaurant In Glenview already; Pastino's! Chain competition to existing local businesses is not healthy for Oakland's business environment. I respectfully wish to register my opposition to allowing Mountain Mike's restaurant to move into the former Radio Shack location in Glenview.

Thank you for your consideration,

Thomas Landis

1421 E. 23rd St.

Oakland, CA 94606

Hackett, Maurice

From: Carla Moore <cattleranchmoon@gmail.com>
Sent: Friday, November 03, 2017 7:22 PM
To: Hackett, Maurice
Subject: No Mountain Mike's Pizza in Glenview

Dear Mr. Hackett,

Please do not give a permit to Mountain Mike's Pizza for occupancy of the old Radio Shack in Glenview on Park Blvd.

We already have a wonderful local family-owned pizza place, Pastino's, right across the street on Park Blvd., as well as an upscale pizza place 1/2 block away (Marzano's) and another family-owned pizza place on Leimert Blvd.

Our family's first restaurant outing after the birth of our first child was to Pastino's. He lay in his bouncy chair on top of the table while we ate. He is now 24 years old! We value our local businesses in our community. Please do not jeopardize these businesses that are involved in our neighborhood for a chain business.

Thank you,

Carla Moore

Hackett, Maurice

From: Rabiya Tuma <rabiya.tuma@gmail.com>
Sent: Friday, November 10, 2017 10:47 AM
To: Hackett, Maurice
Subject: No Mountain Mike's on Park Blvd

Hi Mr Hackett,

I am writing to ask that you do NOT approve the permit application for Mountain Mike's on Park Blvd. This is a very small retail district and we already have two pizza places; we do not need another one. Additionally, traffic in this area is very bad already; we do not need delivery drivers trying to pull in and out or more traffic from people trying to pick up pizzas.

This franchise restaurant would not be at all in line with our community. Please do NOT approve it.

Rabiya Tuma
1466 Allman Street
Oakland, CA 94602
646-320-0306

Hackett, Maurice

From: Stephanie Drotter <steffdrotter@gmail.com>
Sent: Friday, November 03, 2017 9:24 AM
To: Hackett, Maurice
Subject: No Mountain Mike's Pizza

Mo,

I'm a 20 year resident of Oakland and have owned my home in Glenview for 3 years. I'm writing to express my concerns about Mountain Mike's Pizza going in to space vacated by Radio Shack on Park Blvd. My reasons:

- There is limited retail space in Glenview and we already have three pizza spots, all of which are locally owned.
- Chain stores and restaurants take away from the charm and desirability of the neighborhood.
- Given the limited retail space in Glenview, why not actively pursue good or services we don't have to improve the retail landscape in Glenview. Even if it's a restaurant or delivery, we don't need another pizza spot. So many more options.

Thank you,

Stephanie Drotter

Sent from my iPhone

Hackett, Maurice

From: gailtaback@comcast.net
Sent: Friday, November 03, 2017 10:41 PM
To: Hackett, Maurice
Subject: neighborhood concerns

Dear Mr. Hackett,

I am a home owner in Glenview. My family and I have lived here since 1977. We are very opposed to Mountain Mike Pizza store moving into Glenview on Park Boulevard. We already have two pizza restaurants in this 2-block area. Both are owned by families that live in our neighborhood. They have very quality pizza and they don't deliver. We feel that delivery service will create far more traffic congestion on Park Blvd. It already suffers from congestion and a lack of parking spaces. Also, we have a family owned pizza restaurant on Leimert Street which is very close by. Mountain Mike's does not belong in our tiny Glenview commercial area which is all of two blocks long. Please do not allow them to open a store in Glenview. The Diamond District is a much larger commercial area and can handle a Mountain Mike Store.

Sincerely,

Gail and Gene Taback
4137 Randolph Ave.
Oakland, CA 94602

510-530-8298

Hackett, Maurice

From: B-L GMail <brett.linda2014@gmail.com>
Sent: Friday, November 03, 2017 4:55 PM
To: Hackett, Maurice
Subject: Mt Mike's

I am writing as a Glenview resident to register concern with the proposed permit for a Mt Mikes on Park. There are already 2 places that serve pizza within doors of the proposed site, not to mention 6 other eateries on this short block. With consideration to parking, traffic, and mix Rather than another food establishment I think the area would be better served by service or retail.

With thanks for hearing neighbors out,
Linda Larkin
Allman St

Sent from my iPhone

Hackett, Maurice

From: citabria.phillips@gmail.com on behalf of Citabria Ozzuna
<citabria@woodentablebaking.com>
Sent: Tuesday, November 07, 2017 5:27 PM
To: Hackett, Maurice
Subject: Mt Mike Pizza

Dear Mr. Hackett,

I understand that you are the one I need to contact to register my opposition to Mountain Mike's Pizza in locating in the Glenview District. I am a home owner and have lived in the Glenview District for 13 years.

Our neighborhood shops are on just 1 1/2 blocks.

We already have a neighborhood pizza place which is very popular: Pastinos!

1) Pastino's
4207 Park Blvd

Additionally Marzano at the corner of Park & Glenfield serves pizza.

2) Marzano
4214 Park Blvd

If that wasn't enough, we have a 3rd Italian Restaurant : Bellancio's

3) Bellancio's
4238 Park Blvd

We do not need another Pizza/Italian restaurant much less a chain.

We do not want the Planning Commission pitting neighborhood restaurants against each other. (Also no more nail shops, please.)

We do not want a chain restaurant in our small neighborhood : example, the intense opposition against putting Starbucks across the street from our existing neighborhood coffee shop.

Please be respectful of the positive dynamic we have in the Glenview District with our existing restaurants. It is easy enough to survey our residents through our Glenview Neighborhood Association for the types of businesses which we would like to see occupy the space where Radio Shack was.

The Planning Commission needs to conform to Oakland's own description of the City Planning Commission:
"The purpose of the Oakland Planning Commission is 'to promote the orderly growth and development of the City through studies, decisions on development proposals, policy recommendations to the City Council, and related activities.'"
<http://www2.oaklandnet.com/government/o/PBN/OurOrganization/PlanningZoning/o/Commissions/index.htm>

I would appreciate being added to your mailing list so that I know when the Planning Commission will be taking this item up on your agenda.

Thank you,
Citabria Ozzuna
3918 Glen Park Rd

--
Citabria Ozzuna
woodentablebaking.com
415.218.1952

Hackett, Maurice

From: Katie Meadow <ktmeadow@gmail.com>
Sent: Friday, November 03, 2017 5:27 PM
To: Hackett, Maurice
Subject: Mountain Mike's

I recently commented in an email to you that I was opposed to a MM pizza in Montclair. Now I hear that they are also looking at a space in the 2 block Glenview shopping area, which would be near Blackberry Bistro and Bellanico. The would be even worse than in Montclair. I have lived in the Glenview just up the street from the small shopping area. Mountain Mike's would be a parking disaster, plus it would not fit in at all with the small independent businesses on this strip of stores. And Marzano already serves pizza.

Here is what's needed for an available space along the Glenview strip:

A store that sells breads and cheeses

A quality deli that sells a variety of take-out stuff for people who get off the bus in the afternoon Any type of artisanal food store A store that sells coffee and tea, retail Anything but a poor quality chain store

Good grief, keep Mountain Mike's the hell out of our neighborhood. Please.

Thanks for listening,

Katie Meadow
4640 Edgewood Avenue

Hackett, Maurice

From: Katie Meadow <ktmeadow@gmail.com>
Sent: Friday, November 03, 2017 6:56 AM
To: Hackett, Maurice; Herrera, Jose
Subject: Mountain Mike's proposal Mountain Blvd

Hi, and good morning.

I have lived just down the hill off Park below Montclair for 30 years. I use Montclair for a variety of services: drug store, Peets Coffee, my dentist and some other businesses. One notable fact about Montclair is that for some weird reason, it rarely attracts appealing restaurants. Many of the restaurants that have cycled in and out have been terrible. To be honest, Montclair needs more independent businesses with quality products, not a commercial pizza chain. There are some interesting Pizza places around, such as Boot and Shoe on Lakeshore, which is close enough to those of us living in the shadow of Montclair. Mountain Mike's is pretty lousy quality, compared with many pizza places in the east bay. Keep MM out; their presence would be just one more reason not to go to Montclair.

Montclair has two large grocery stores: Lucky's and Safeway. The produce in both is poor. We buy toilet paper and paper towels in those stores but not much else. Neither holds a candle to Farmer Joe's down the hill. It's always been a mystery to me why the services in Montclair seem to belong to a different city.

Yeah, I know I'm cranky, but despite living closer to the Montclair shopping district we find ourselves down on Fruitvale or making the trip to Rockridge to shop. The safeway in Montclair doesn't even have a pharmacy, so if you want good drug prices on Medicare you have to go to a different Safeway. Again, I go down to Fruitvale for that.

Thanks,

Katie Meadow

Hackett, Maurice

From: Rebecca <rebecca@nygrenfamily.net>
Sent: Friday, November 03, 2017 9:22 AM
To: Hackett, Maurice
Cc: Dimond serve
Subject: Mountain Mike's Pizza

Good Day Mike Hackett,

I write strongly to protest the possibility of a Mountain Mike's Pizza at the corner of MacArthur and Fruitvale. We already have two family-owned and tasty pizza parlors in the general area.

The Veg Hub at 2214 MacArthur is doing a wonderful job of offering fresh organic vegetarian foods to the neighborhood. Mountain Mike's would degrade The Veg Hub's effort. The Veg Hub was enthusiastically welcomed into the neighborhood in part to upgrade the food choices available to the high school and middle school students who use the MacArthur-Fruitvale intersection to change buses and hang out. The closing of MacDonald's and the opening of The Veg Hub contributed greatly to the improved food offerings in the Dimond neighborhood.

Persistent work by the Dimond Improvement Association, the neighbors, AC Transit, the OPD, the Dimond Library, Farmer Joe's, and others has enhanced our neighborhood. Mountain Mike's would invite back the disruptions we all worked so hard to reduce.

Congestion, too, would worsen.

Our neighborhood has worked cooperatively, attentively, and long to make the Dimond District an attractive area for locals to patronize local businesses. Please support our efforts to keep our neighborhood neighborly, healthy, and locally-focused.

Kind regards,
-Rebecca Nygren

Hackett, Maurice

From: Irwin Kaplan <imos1@yahoo.com>
Sent: Friday, November 03, 2017 12:10 PM
To: Hackett, Maurice
Subject: Mountain Mikes Pizza
Attachments: image001.jpg; image002.jpg

If you are interested in possible legal issues to raise with the Planning Commission, please call me, preferably today.

Irwin
910-2220

Hackett, Maurice

From: Patti Gima <patti@gima.us>
Sent: Friday, November 03, 2017 10:54 AM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza Permit to replace Radio Shack on Park Blvd.

Dear Mr. Hackett:

I am writing to you as a resident of the Glenview district in Oakland to express my concern about the filing of permits by Mountain Mike's Pizza to occupy the space that was Radio Shack on Park Blvd in the Glenview district. Almost all of the spaces in our tiny shopping area are occupied by small family or worker-owned businesses. A chain establishment would harm the character of this commercial block and the Glenview neighborhood as a whole. There are already 3 existing restaurants that offer pizza, two of them with delivery, and all are either family or worker-owned establishments. Glenview is not lacking in restaurants offering pizza, both affordable and upscale, and a Mountain Mike's will not add to the needs of our community.

Thank you for allowing community feedback on these permits.

All the best,

Patricia Gima
1075 Glendora Avenue
Oakland, CA 94602

Hackett, Maurice

From: Jolee Hoyt <joleehoyt@gmail.com>
Sent: Thursday, November 02, 2017 11:05 PM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza on Park Blvd.

Hello,

Thank you for soliciting concerns regarding this permit request. I object to the proposed Mountain Mike's Pizza restaurant due to the following reasons. There are already two pizza restaurants on the same block (Marzano's a few doors away and Pastino's directly across the street). There is also Red Boy Pizza up on Liemert and Cybelle's up in Montclair. That would be three pizza places in one block! In addition, the other's I mentioned are one-offs with individuality and creativity as opposed to Mountain Mike's which is a very commercial chain.

Please do not allow Mountain Mike's to replace the former Radio Shack on Park Blvd. in the Glenview.

Thank you.

Jolee Hoyt

Hackett, Maurice

From: Jolee Hoyt <joleehoyt@gmail.com>
Sent: Thursday, November 02, 2017 11:05 PM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza on Park Blvd.

Hello,

Thank you for soliciting concerns regarding this permit request. I object to the proposed Mountain Mike's Pizza restaurant due to the following reasons. There are already two pizza restaurants on the same block (Marzano's a few doors away and Pastino's directly across the street). There is also Red Boy Pizza up on Liemert and Cybelle's up in Montclair. That would be three pizza places in one block! In addition, the other's I mentioned are one-offs with individuality and creativity as opposed to Mountain Mike's which is a very commercial chain.

Please do not allow Mountain Mike's to replace the former Radio Shack on Park Blvd. in the Glenview.

Thank you.

Jolee Hoyt

Hackett, Maurice

From: Kathy Kenworthy <kenbarale@gmail.com>
Sent: Sunday, November 05, 2017 6:05 PM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza in the Dimond District

Hello M Hackett,

I would like to add my voice to those of several of my neighbors in strongly urging you NOT to approve a Mountain Mike's Pizza restaurant at Fruitvale and MacArthur in the Dimond District. We have pizza places (family owned and operated ones) available in the vicinity already, and do not need another one - especially a chain. Having McDonald's close and a vegetarian place come in has changed the variety of food options for the better. We do not need a place that would move us back in the direction of fast food, particularly when we have similar, but non-chain options already available.

Thank you.
Kathy Kenworthy

Hackett, Maurice

From: Judith Schonebaum <judithschonebaum@gmail.com>
Sent: Friday, November 03, 2017 11:25 AM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza in Glenview

Hello,

It doesn't make sense to have another pizza establishment so close to a local, family-owned establishment. We need less competition and more variety!

Judith Schonebaum
Oakland, California
310-614-6335
www.judithschonebaum.com

Hackett, Maurice

From: Jenna Whitman <jenna_whitman@yahoo.com>
Sent: Friday, November 03, 2017 3:38 PM
To: Hackett, Maurice
Subject: Mountain mikes pizza in Glenview?

Dear Mr. Hackett:

I write to express my concern about the application of Mountain Mike's to open a location in Glenview. It really isn't a good fit with our neighborhood, and we already have two family owned pizzerias right here. Plus I heard Mountain Mike's is opening up in Montclair as well. Strongly suggest they look elsewhere.

Thank you,

Jenna Whitman
1049 Norwood Ave

Hackett, Maurice

From: Jan Leuin <asymetry@earthlink.net>
Sent: Friday, November 03, 2017 7:57 AM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza - to replace Radio Shack in Glenview Business District

As someone who has lived in Glenview for almost 28 years, I am writing with my concerns about Mountain Mike's Pizza opening on Park Boulevard. It would be almost directly across the street from Pastino's, a small, family-owned restaurant that has been there as long as I can remember. Glenview already has a pizza restaurant and doesn't need another one.

Sincerely,

Jan Leuin
Ardley Avenue

Hackett, Maurice

From: Catherine Lyons <calyons33@gmail.com>
Sent: Sunday, November 05, 2017 11:24 AM
To: Hackett, Maurice
Subject: Mountain Mikes in Glenview

Hello,

It is my understanding there is an application in the planning commission from Mountain Mike's to have one of their restaurants on Park Boulevard at the site of the old Radio Shack. As a long time resident of this neighborhood I have to say this does not seem like the best fit. We have several 2 other restaurants that already sell pizza. The area is quite congested as it is and a fast food/take out place will only make matters much worse. I suspect the majority of the neighborhood is not opposed to a new store or restaurant but would much prefer something more local. I can think of many preferable ventures - hardware store (which we once had on that block), bakery, clothing, bookstore etc.

Thank you,
Catherine Lyons
Woodruff Avenue

Hackett, Maurice

From: Allyson Hance <ahance@pacbell.net>
Sent: Saturday, November 04, 2017 12:00 PM
To: Hackett, Maurice
Subject: Mountain Mike's in Glenview - Opposed

Mr. Hackett, I am strongly opposed to the city granting permits for Mountain Mike's to move into the former Radio Shack space on Park Blvd. in the Glenview neighborhood.

- there are 11 other restaurants/market within a one block span.
 - 8 sell alcohol
 - 2 sell pizza - one of which is a family-owned long-time Glenview establishment
- there is another pizza restaurant (Red Boy) a few blocks away on Leimert
 - they also sell alcohol
- parking is already very difficult. More and more cars are moving into the surrounding neighborhoods to find parking making it increasingly difficult for residents to park their own vehicles.
- Mountain Mike's plans to deliver - where will they keep their delivery vehicle?? How often will it be double parked on Park Blvd loading pizza for delivery?
- Another Mountain Mike's is hoping to move into a location in Montclair (I do not know the status of their application)
- A chain such as Mountain Mike's is not in keeping with our current retail community.

Thank you for taking the time to consider the negative impact this business may have on our community.

Allyson Hance
4371 Townsend Ave.

Hackett, Maurice

From: peterd.barnett@gmail.com on behalf of Peter D. Barnett <pbarnett@facrimelab.com>
Sent: Friday, November 03, 2017 11:38 AM
To: Hackett, Maurice
Subject: Mountain Mike's application for Park Blvd. store

Most of the time from mid-morning until late evening parking on Park Blvd. in the two blocks of the Mountain Mike's proposed location is very difficult. That means the pizza delivery vehicles will double park and prove to be a traffic hazard.

Peter Barnett
San Sebastian Ave.

Hackett, Maurice

From: Zee Wong <zwong8@gmail.com>
Sent: Monday, November 06, 2017 11:50 AM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza

Dear Mr. Hackett,

I live in Glenview, around the corner from the business district and have been there since 1991.

I share the same sentiments as my neighborhood that we do not need another restaurant or nail salon.

In particular, I am concerned that the landlord (although he has the choice who he chooses to rent his business property) is renting to Mountain Mike's Pizza, another corporate entity, although locally headquartered.

My objections are as follow:

1. Many years ago we objected to Starbucks in our neighborhood and now Mountain Mike's Pizza. I do not want our neighborhood to turn into "corporate recognized and owned" businesses.

It is the absence of these type of entities that makes Glenview such a community-oriented neighborhood.

2. Most importantly, we already have three to four locally owned businesses that serve pizza. One of them, Pastino's specializes in pizza. Why would we want to have another business that will take away from these businesses? The slim profit margin continues to be a challenging issue. I would be so disappointed that we will lose the complexion of our cozy business district.

If you have any questions please feel free to follow up with me anytime.

Thank you for this opportunity to voice my concerns.

Zee

Ms. Zee Wong
zwong8@gmail.com
510-479-3999

Hackett, Maurice

From: Julie Benson <juliebenson58@yahoo.com>
Sent: Friday, November 03, 2017 5:15 PM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza on Park Blvd.

As a resident of Glenview, I am writing to express my concerns about the proposal of Mike's Mt Pizza moving into the vacant spot of the former Radio Shack on Park Blvd.

I do not believe this would be a good fit for our neighborhood. The commercial district already has two pizza places (one a long time family owned business with modest prices, the other slightly more upscale). And, along with all the other restaurants on this block, parking is an issue. Additionally, there is one more pizza place on Leimert just up the hill. How many pizza places can successfully compete in such a small area?

From what I understand, Mt Mike's is a chain and the pizza isn't even that good. The charm of Glenview is that its businesses are small, unique and family owned; an inferior chain restaurant does not offer added appeal or fit in with the area's vibe. In fact, it would detract from our charm.

Sincerely,

Julie Benson
1220 Hampel Street

Sent from my iPhone

Hackett, Maurice

From: Michael Surowiec <msurowiec@sbcglobal.net>
Sent: Monday, November 06, 2017 1:03 PM
To: Hackett, Maurice
Subject: Mountain Mike on Park

Dear Mr. Hackett,

I have been advised by a neighbor that an application has been submitted to place a Mountain Mike's Pizzeria in the former Radio Shack space in the Glenview Shopping District. I would like to voice my opposition to having a Mountain Mike's Pizzeria in this spot. As a general rule, I am not in favor of franchise food operations. We already have two places serving pizza in this shopping area. Pastino's has been in the area for many years and is family owned. Marzano also offers pizzas. There already is a Red Boy Pizzeria on Leimert as well as a Round Table pizzeria on MacArthur near Fruitvale. A Mountain Mike's Pizzeria is not a welcome addition to an area that has pizza covered.

Thanks for your consideration.

Michael Surowiec
3956 Greenwood Avenue
Oakland, Ca 94602

510-517-7977

Hackett, Maurice

From: Sandra Bressler <1sbressler1@gmail.com>
Sent: Friday, November 03, 2017 3:49 PM
To: Hackett, Maurice
Subject: Mike's Pizza Application for Park Boulevard

Dear Administrator Hackett,

I understand that Mike's Pizza has applied to turn the old Radio Shack on Park Boulevard into a pizza restaurant. I would like to suggest this is not a good fit for our little two block business strip in the Glenview. We already have a wonderful family owned pizza restaurant, Pastino's, which is heavily patronized by neighbors. Mike's is a chain that is ill suited for our neighborhood and the very busy corridor of Park Boulevard. There is also another pizza restaurant in Oakmore a short distance up Park. We have a lot of restaurants already in this small area, and another one that is the same type as one existing here is just bad policy for a small very active and concerned neighborhood, the Glenview. This reminds me of the old application of Starbucks, years ago, that tried to settle in at what is now Marzano's and would likely have run out our lovely family owned coffee shop across the street, Ultimate Grounds.

I believe the entire neighborhood will be in quite an uproar about this, so save yourselves the headache and don't move forward with this project. There will be other interested businesses. Give someone who offers something new a chance.

Best,

Sandra Bressler
3837 Woodruff Ave
Oakland, CA 94602
1sbressler1@gmail.com
510-482-5371

Sandra E. Bressler
Health Care Consulting

Hackett, Maurice

From: Judy Pounder <judymspounder@gmail.com>
Sent: Friday, November 03, 2017 7:44 PM
To: Hackett, Maurice
Subject: Maontain Mikes on Park Blvd

Dear Mr. Hackett,

As a resident of the Glenview District for more than 25 years, I strongly urge the planning commission to reconsider the addition of Mountain Mike's Pizza to the Glenview. We don't need another pizza place since there is Pastino's, Marzano, Red Boy, Cybelles all within walking distance for many Glenview residents. And we especially do not need a tasteless chain in a neighborhood that loves and cherishes the originality of small family owned and operated eating establishments. Please, please don't allow the character of the Glenview to be so negatively impacted and diminished by the addition of an unwanted chain restaurant.

Sincerely,

Judy Pounder, longtime resident of Edgewood Ave

Sent from my iPad

Hackett, Maurice

From: c.badran@juno.com
Sent: Friday, November 03, 2017 5:48 PM
To: Hackett, Maurice
Subject: Glenview resident

Hello Moe,

I am a resident of the Glenview neighborhood and I've heard that Mountain Mike's Pizza has applied for a permit for the building on Park Blvd. where Radio Shack used to be. I am opposed to having a pizza franchise in our tiny neighborhood, especially because we already have a small independent Italian restaurant right across the street from this location that has delicious food, including pizza. We need to protect our small businesses that have been good to the neighborhood.

Thank you for your consideration of my opinion regarding this. If you have any questions for me, please feel free to email or call me (510-479-3773).


- Carol Badran

1481 E. 38th St.

After Weeks Of Rumors, Joanna Gaines Comes Clean

trecommanews.com

<http://thirdpartyoffers.juno.com/TGL3142/59fd0e5a54281e5a0279st01vuc>

Sponsored Links 

Hackett, Maurice

From: Dana Blankman <danablankman@yahoo.com>
Sent: Monday, November 06, 2017 8:38 AM
To: Hackett, Maurice
Subject: Glenview resident opposed to Mountain Mike's Pizza

Dear Mr. Hackett,

I just read a posting from our neighborhood listserv "Glenfriends" that Mountain Mike's Pizza may be coming to the Glenview District. I am a home owner and our family has lived in Glenview 16 years. I believe I'm supposed to contact you about my opposition to Mountain Mike's. If there is someone else I should contact, please let me know.

Here is why we do not want Mountain Mike's:

- 1) The shopping area of Glenview is about two blocks long and very little street parking. This is the kind of place where neighbors "walk into town" for a cup of coffee or to dine.
- 2) We have two Italian restaurants and a pizzeria.
 - * Marzano
 - * Bella Nico
 - * Pastino's
- 3) The current neighborhood pizza joint serves "okay" pizza. We do not need a mediocre pizzeria coming here.
- 4) Another pizza restaurant is just up the hill: Red Boy, which is a small local chain and serves good pizza.
- 5) We are a locally minded community and do not want a chain restaurant here.

Thank you,

Dana L. Blankman
3819 Linwood Avenue

Dana L. Blankman
(510) 325-5485
danablankman@yahoo.com
www.danalewenthal.com
www.leadingladydelights.com

Applaud Leading Lady Delights on [Facebook!](#)

Hackett, Maurice

From: manali karmarkar <mkarma@gmail.com>
Sent: Thursday, November 02, 2017 10:37 PM
To: Hackett, Maurice
Subject: Glenview resident concerned about mountain mikes...

Hi there- I am a glenview resident and I heard mountain mikes was going to take over radio shack. I'd really prefer a smaller family owned restaurant- glenview is not a neighborhood that needs chains or another pizza place when we already have red boy pizza in oakmore.

Best
Manali

Sent from a tiny keyboard

Hackett, Maurice

From: C.Heard <heardwhat@yahoo.com>
Sent: Friday, November 03, 2017 9:49 AM
To: Hackett, Maurice
Subject: Glenview Business District - Mountain Mikes Pizza

Mr. Hackett,

I was at the GNA meeting listening to the proposal for Mountain Mike's Pizza to occupy the vacant Radio Shack location.

I strongly oppose having Mountain Mike's Pizza occupy this spot for the following reasons:

1. There is already a long established locally owned restaurant, Pastino's that the community supports.
2. The neighborhood does not support chain restaurants, only locally owned establishments.
3. We do not need another establishment selling alcohol, especially when it is in close proximity to a school, Glenview School.
4. There are 11 establishments that serve food:
 1. Pastino's
 2. Park Sushi
 3. Savemore Market
 4. Ultimate Grounds
 5. Paulista
 6. Blackberry Cafe
 7. Belanico
 8. Banana Blossom
 9. Park Burger
 10. Marzano's
 11. Diggery Inn
5. Parking is extremely limited
 1. Owner indicated there will be delivery service - Where will the vehicles park? Double parking is not allowed
 2. Where will employees and customers park?
6. Trash service - where will the trash be located.

Carol Heard
Edgewood Avenue

Hackett, Maurice

From: Ben Pierce <benjaminthomaspierce@yahoo.com>
Sent: Friday, November 03, 2017 8:48 AM
To: Hackett, Maurice
Subject: Fw: [glenfriends] Mountain Mike's pizza applied for the old Radio Shack location on Park

Good morning Mo.

The Mountain Mike's news hit the Glenview neighborhood email list this morning. And I have serious concerns about neighborhood impact.

I am NOT a fan of a chain restaurant moving in. Especially when there is a family-owned Italian/pizza restaurant right across the street (Pastino's), and another family-owned pizza place just up the hill (Red Boy).

However, my bigger concerns are around neighborhood impact regarding traffic and safety. Apparently Mountain Mike's wants to offer delivery, which means ... delivery vehicles. That 2-block stretch of Park Blvd is ALREADY dangerously congested, with several restaurants, a couple nail salons, a grocery store, a martial arts studio, and other busy businesses. Cars are constantly double-parking and parking illegally, for pickups and drop-offs.

Add to the mix the very high volume of pedestrian traffic AND the fact that cars go extremely fast up and down Park ... and you have a recipe for disaster. Bringing extra DELIVERY vehicles into that block would only add to the chaos. These are vehicles that are ... making deliveries. Which means parking, running in for pickup, and running back out again. Where will they park? Their livelihood depends on SPEED. So you can be pretty confident that they will NOT circle the neighborhood, looking for a legal parking place.

Again, not happy about the "chain restaurant" angle. But safety in a neighborhood full of families and kids who love to WALK into Glenview, is my main concern.

Thanks.

Ben Pierce / Dolores Ave. / Oakland

Saw this on Next Door:

Mountain Mike's Pizza - to replace Radio Shack in Glenview Business District

Mountain Mike's Pizza has filed for permits with Oakland Planning Commission. This includes a conditional permit for the sale of alcohol. In addition, they will offer pizza delivery service. If you have any concerns, please email your concerns to Mo Hackett at <mailto:MHackett@oaklandnet.com>

MHackett@oaklandnet.com.

[Non-text portions of this message have been removed]

Hackett, Maurice

From: Kirsten Barrere <barrere0424@sbcglobal.net>
Sent: Monday, November 06, 2017 8:06 AM
To: Hackett, Maurice
Subject: Approval of the Mountain Mike's Pizza application in Glenview.

r. Hackett

I was given your name as the Oakland Planning Committee person who is reviewing the application of Mountain Mike's Pizza in the Glenview District. I am a home owner and our family has lived in the Glenview District for 40 plus years.

Our neighborhood shops are on just 1 1/2 blocks. Currently there are no chain restaurants. We are proud to have independently owned and operated restaurants. We believe it enhances our neighborhood and thus enhances Oakland. Furthermore we already have two (2) pizza restaurants.

1) Pastino's
4207 Park Blvd

2) Marzano
4214 Park Blvd

Hackett, Maurice

From: michael garibay <michael.garibay@gmail.com>
Sent: Friday, November 10, 2017 2:44 PM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza on Park Blvd.

Mr. Hackett,

I'm writing to voice my concerns about the proposed Mountain Mike's Pizza going into Glenview at 4230 Park Blvd.

I just now heard word about the project. I hope it is not too late in the process to voice my concerns. Also, if there is a hearing about the project, please let me know of the date and location.

I do not want this business in our neighborhood.

It is a chain restaurant, and chain restaurants do not fit in with the fabric of our small commercial district.

I have seen a number of Mountain Mike's Pizza stores --typically in strip malls. They never seem to offer any charm or value to their locale, and I doubt this one will be offer the charm that each of the existing brick and mortar, one-off stores brings to our neighborhood.

Also, please note we are saturated by pizza stores. Not only do we have Red Boy Pizza up on Liemert Blvd., and Cybelle's Pizza and Little Caesar's Pizza down on MacArthur & Fruitvale, but we already have 2 pizza stores --within a hundred feet or so-- in this tiny commercial area on Park Blvd.: Marzano and Pastino.

Given the corporate chain store quality of Mountain Mike's, and the fact that our quaint neighborhood is already busting at the seams with pizza places, I ask that you not allow this business in the proposed location. If you do feel it necessary to allow what would be another pizza store withing a approximately 100' of the 2 existing pizza stores, I ask that you allow the neighborhood to weigh in heavily on the design of the storefront and type of operation that is permitted.

Kind regards,

Michael Garibay
3928 Elston Avenue
Oakland, CA 94602

Hackett, Maurice

From: Maya Markovich <maya.markovich@gmail.com>
Sent: Saturday, November 11, 2017 12:34 PM
To: Hackett, Maurice
Subject: Glenview - Mountain Mike's Permit Application

Dear Ms. Hackett,

I am writing to register my opposition to Mountain Mike's opening a location in Glenview. I am a home owner and our family has lived in Glenview for 11 years.

Our neighborhood shops are a tiny commercial strip on less than 2 blocks.

We already have an Oakland-owned neighborhood pizza place which is very popular: Pastinos, at 4207 Park Blvd. Marzano at the corner of Park & Glenfield also serves pizza at 4214 Park Blvd. Red Boy, just up the hill in Oakmore, is also another Oakland-owned family business.

We are strongly opposed to a chain restaurant in our small business district, especially one which will do delivery business and jam up our already highly congested parking situation. There was intense opposition to a Starbucks not too long ago for the same reason. Glenview supports local, neighborhood businesses and absolutely do not want a national chain which will irrevocably change the character of our beloved Park Blvd strip. We do not want the Planning Commission pitting neighborhood restaurants against each other.

Please be respectful of the positive dynamic we have in the Glenview District with our existing restaurants. It is easy enough to survey our residents through our Glenview Neighborhood Association for the types of businesses which we would like to see occupy the space where Radio Shack was.

The Planning Commission needs to conform to Oakland's own description of the City Planning Commission: "The purpose of the Oakland Planning Commission is 'to promote the orderly growth and development of the City through studies, decisions on development proposals, policy recommendations to the City Council, and related activities.'" <http://www2.oaklandnet.com/government/o/PBN/OurOrganization/PlanningZoning/o/Commissions/index.htm>

I would appreciate being added to your mailing list so that I know when the Planning Commission will be taking this item up on your agenda.

Thank you,
Maya Markovich
3841 Glen Park Road
Oakland 94602

Hackett, Maurice

From: Melissa Lucas <melissalu71@gmail.com>
Sent: Saturday, November 11, 2017 2:51 PM
To: Hackett, Maurice
Cc: Gallo, Noel; Turner, Preston
Subject: Mountain Mike's in Glenview: Please no!

Moe Hackett
Planning Commission
City of Oakland

Mr. Hackett:

I writing to express my concerns about the application of a Mountain Mike's Pizza franchise location in the Glenview business district on Park Boulevard. I am a homeowner of over ten years on Wellington Street.

I believe Mountain Mike's is a very poor fit for Glenview and encourage the denial of their permit application. Mountain Mike's would lead to poorer quality of life in the Glenview neighborhood because:

- The village has a sufficient number of pizza restaurants, and restaurants in general. MMP would not contribute to the diversity of goods and services that a thriving business district requires.
- The village character and reputation tends toward "unique" in that its majority of businesses are standalone, not franchise, operations.
- Parking and through traffic are already very congested along Park Boulevard in Glenview. A new pizza takeout and delivery operation would only make this worse.
- Competition for parking would negatively impact current businesses already functioning in Glenview -- businesses that are desirable to the neighbors and that we want to see succeed.

Thank you very much for your time and attention to my email. Please keep me informed of developments on this application.

Sincerely,

Melissa Lucas
1621 Wellington Street

Hackett, Maurice

From: Joe Lachoff <joe@lachoff.com>
Sent: Saturday, November 11, 2017 2:55 PM
To: Gallo, Noel; Turner, Preston; Hackett, Maurice
Subject: Just saying "No, thank you" to Mountain Mikes Pizza in Glenview

Hi government representatives,
I'm a 20+ year home owner in the Glenview district, and recently learned that Mountain Mike's Pizza is hoping to open in the old Radio Shack location on Park Blvd. in the Glenview district. Our neighborhood is already blessed with several delicious pizza options, including (at least) 2 right there in the same 1-block business district.

I am concerned that adding a busy nationwide pizza franchise to the Glenview will increase traffic, reduce parking, and overall bring the quality of our local dining options DOWN, not up. We have a really good thig going in this neighborhood, but it's not clear how a Mountain Mikes will do anything to improve the neighborhood.

thanks,
Joe Lachoff
1075 Glendora Avenue, Oakland

Hackett, Maurice

From: SUSAN GRANDT <suegrandt@yahoo.com>
Sent: Monday, November 13, 2017 12:33 AM
To: Hackett, Maurice
Subject: MOUNTAIN MIKE'S GLENVIEW
Attachments: PAGE 2 4230 PARK Blvd attachment.docx

RE: 4230 PARK BOULEVARD MOUNTAIN MIKE'S PLN _____

DEPENDING ON HOW THE DISTANCE IS MEASURED, I BELIEVE WE LIVE WITHIN 300 FEET OF THIS SITE, CAN YOU CONFIRM THAT WE ARE ON THE MAILING LIST? CHARLES D. AND SUSAN L. GRANDT.

THE GLENVIEW COMMERCIAL DISTRICT USED TO SERVE THE GLENVIEW RESIDENTS, MANY OF WHOM WALKED TO THE STORES. . DUE TO THE LARGE NUMBER OF GOOD RESTAURANTS IN GLENVIEW, WE ARE NOW A DESTINATION POINT, WITH ALL THE PROBLEMS THAT BRINGS. WE HAVE TO SAY "ENOUGH IS ENOUGH".

AT ONE TIME, THE GENERAL PLAN ACKNOWLEDGED THE VALUE OF MIXED USE IN COMMERCIAL AREAS. I AM NOT SURE WHAT THE GENERAL PLAN CALLS FOR NOW. CURRENTLY FOOD SERVICE BUSINESSES MAKE UP APPROXIMATELY 50% OF THE BUSINESSES IN GLENVIEW'S ONE BLOCK COMMERCIAL DISTRICT BUT PROBABLY TAKE UP 70% OR MORE OF THE STREET FRONTAGE.

- 1) MOUNTAIN MIKE'S DOES NOT FIT THE CHARACTER OF THE BUSINESS DISTRICT AND THE SURROUNDING NEIGHBORHOOD. THERE ARE NO "CHAINS" IN GLENVIEW; MOST RESTAURANTS ARE RUN BY THE OWNERS OR AN ON SITE MANAGER.
- 2) THIS LIMITED SERVICE RESTAURANT WILL NOT ENHANCE THE QUALITY OF LIFE FOR THE NEARBY RESIDENTS OR THE NEIGHBORHOOD IN GENERAL.
- 3) WE ARE BY NO MEANS UNDERSERVED IN THE FOOD SERVICE DEPARTMENT. IN FACT, WE ARE OVERBURDENED BY RESTAURANTS. IT WOULD BE WONDERFUL TO GET IN A BUSINESS THAT OFFERED SOMETHING THE COMMUNITY NEEDED/WANTED.
- 4) GIVEN THE HIGH VOLUME OF TAKE OUT THAT IS ANTICIPATED, WE WOULD ALSO REQUEST THAT THE HARMFUL EFFECT OF THE GENERATION OF TRAFFIC AND THE CAPACITY OF THE SURROUNDING RESIDENTIAL STREETS BE REVIEWED. I BELIEVE NO MORE THAN 9 PARKING PLACES HAVE BEEN CREATED IN THE COMMERCIAL DISTRICT IN THE LAST 50 YEARS DESPITE THE CHANGES IN TRAFFIC OVER THAT PERIOD. THE RESIDENTIAL STREETS TAKE MUCH OF THE PARKING AND TRAFFIC BURDEN CONNECTED WITH THE EXISTING RESTAURANTS.

I HAVE INCLUDED SOME BACKGROUND INFORMATION AND SOME OF MY CONCERNS. THANK YOU FOR YOUR CONSIDERATION. WE APPRECIATED YOUR ATTENDING OUR NOV. 1ST GENERAL MEETING OF THE GNA. IF YOU NEED ANY ADDITIONAL INFORMATION, PLEASE FEEL FREE TO CONTACT ME.

SUSAN L. GRANDT, 510-530-7039

1321 WELLINGTON ST OAKLAND, CA 94602

DATED: NOVEMBER 11, 2017

Hackett, Maurice

From: stephen foster <frosty4383@att.net>
Sent: Friday, November 17, 2017 4:39 PM
To: Hackett, Maurice
Subject: No Glenview Mountain Mikes, please

As a 40 year resident of Glenview, one block away from the proposed Mountain Mikes, I can say that the parking problem there is terrible. We already have many restaurants in that area, and we don't need one that will create even more parking problems with delivery vehicles.

Thank you,

Steve Foster

4424 Edgewood Ave.

Oakland, CA 94602

frosty4383@att.net

Hackett, Maurice

From: scout hebinck <ssdydrm@gmail.com>
Sent: Monday, November 20, 2017 11:50 AM
To: MHackett@oakland.net.com; Hackett, Maurice
Subject: Re: No to MM's pizza

Dear Sirs or Madam:

Please reconsider allowing ANOTHER CHAIN and ANOTHER PIZZA place, not a good one at that come into our quaint neighborhood- PLEASE, let's keep or neighborhood chain free and let's be methodical about the businesses that go into Glenview. Ma and Pa businesses are fair, and who doesn't want to put their money into them. They are most always better tasting food as well as people who care about the neighborhood. Also, we have so many pizza places in Glenview and nearby Dimond that why do we need another, especially one that isn't a good one. PLEASE let me know what I can do personally to fight this.

Respectfully,

Scout E. Hebinck (Glenview resident)

On Fri, Nov 17, 2017 at 12:19 PM, scout hebinck <ssdydrm@gmail.com> wrote:

Dear Sirs or Madam:

Please reconsider allowing ANOTHER CHAIN and ANOTHER PIZZA place, not a good one at that come into our quaint neighborhood- PLEASE, let's keep or neighborhood chain free and let's be methodical about the businesses that go into Glenview. Ma and Pa businesses are fair, and who doesn't want to put their money into them. They are most always better tasting food as well as people who care about the neighborhood. Also, we have so many pizza places in Glenview and nearby Dimond that why do we need another, especially one that isn't a good one. PLEASE let me know what I can do personally to fight this.

Respectfully,

Scout E. Hebinck (Glenview resident)

--

Scout E.Hebinck
ssdydrm@gmail.com
Scout E.Hebinck Photography
www.scoutEhebinck.com
freespiritedscoutandboo.com
phone [405.413.6352](tel:405.413.6352)

"Every moment of your life is infinitely creative"----Mahatma Gandhi"

--

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freespiritedscoutandboo.com
phone [405.413.6352](tel:405.413.6352)

"Every moment of your life is infinitely creative"----Mahatma Gandhi"

Hackett, Maurice

From: Matt Drury <drurymatthewp@gmail.com>
Sent: Monday, November 20, 2017 2:40 PM
To: Hackett, Maurice
Cc: Gallo, Noel; Turner, Preston; At Large; Thao, Sheng
Subject: Re: No to Mt Mikes Pizza on Park Blvd

Mr Hackett

I have not heard a response to my email below and now I see further progress with Mountain Mikes business establishment in my neighborhood.

I again respectfully urge you to reconsider allowing Mountain Mike's Pizza to occupy space in Oakland's Glenview District for reasons as I have outlined below.

Thank you,
Matt Drury

> On Nov 3, 2017, at 4:14 PM, Matt Drury <drurymatthewp@gmail.com> wrote:

>

> Dear sir

>

> I live in the Glenview neighborhood adjacent to Park Blvd. I've recently learned that Mountain Mikes Pizza is trying to open a location where the Radio Shack used to be located on Park Blvd. I strongly urge you to not permit this business at this location.

>

> My reasoning is that there are already two restaurants within 300 feet of that location that have pizza as their main entree and another sit down and delivery pizza place within one mile (Red Boy). All three of these restaurants are locally owned and operated.

>

> For Oakland to allow a chain restaurant to undermine these established restaurants would do a great disservice to the residents of this area. Personally, I feel that my neighbors and I do not need nor want Mountain Mikes in this location.

>

> Respectfully,

> Matt Drury

Hackett, Maurice

From: michael garibay <michael.garibay@gmail.com>
Sent: Monday, November 20, 2017 2:47 PM
To: Hackett, Maurice
Subject: Fwd: Mountain Mike's Pizza on Park Blvd.

Mr. Hackett,

I am following up regarding my last email.

Again, I urge you not to allow this project to go forward.

Kind regards,

Michael Garibay

----- Forwarded message -----

From: michael garibay <michael.garibay@gmail.com>
Date: Fri, Nov 10, 2017 at 2:44 PM
Subject: Mountain Mike's Pizza on Park Blvd.
To: MHackett@oaklandnet.com

Mr. Hackett,

I'm writing to voice my concerns about the proposed Mountain Mike's Pizza going into Glenview at 4230 Park Blvd.

I just now heard word about the project. I hope it is not too late in the process to voice my concerns. Also, if there is a hearing about the project, please let me know of the date and location.

I do not want this business in our neighborhood.

It is a chain restaurant, and chain restaurants do not fit in with the fabric of our small commercial district.

I have seen a number of Mountain Mike's Pizza stores --typically in strip malls. They never seem to offer any charm or value to their locale, and I doubt this one will be offer the charm that each of the existing brick and mortar, one-off stores brings to our neighborhood.

Also, please note we are saturated by pizza stores. Not only do we have Red Boy Pizza up on Liemert Blvd., and Cybelle's Pizza and Little Caesar's Pizza down on MacArthur & Fruitvale, but we already have 2 pizza stores --within a hundred feet or so-- in this tiny commercial area on Park Blvd.: Marzano and Pastino.

Given the corporate chain store quality of Mountain Mike's, and the fact that our quaint neighborhood is already busting at the seams with pizza places, I ask that you not allow this business in the proposed location. If you do feel it necessary to allow what would be another pizza store withing a approximately 100' of the 2 existing pizza stores, I ask that you allow the neighborhood to weigh in heavily on the design of the storefront and type of operation that is permitted.

Kind regards,

Michael Garibay
3928 Elston Avenue
Oakland, CA 94602

Hackett, Maurice

From: Gallo, Noel
Sent: Monday, November 20, 2017 3:45 PM
To: Valerie A
Cc: Turner, Preston; Hackett, Maurice
Subject: RE: Opposition - Proposed Mountain Mike's Pizza on Park Blvd

Thank you for your email.

From: Valerie A [mailto:valerie.ackerman@gmail.com]
Sent: Tuesday, November 14, 2017 4:12 PM
To: Hackett, Maurice <MHackett@oaklandnet.com>
Cc: Gallo, Noel <NGallo@oaklandnet.com>; Turner, Preston <PJTurner@oaklandnet.com>
Subject: Opposition - Proposed Mountain Mike's Pizza on Park Blvd

Dear Mr. Hackett,

As concerned residents of Glenview, we are writing to express our vigorous opposition to the proposed variance to allow Mountain Mike's pizza to sell alcohol at a location on Park Boulevard in the Glenview area.

The Glenview business district is very small and the proposed site is located within 1000 feet of a church, a school and another store that already sells alcohol. It is our understanding that the proximity to these sites would require a major variance to allow this use. (Sec. 17.103 (B)(2) and (3).) This site is located around the corner from Glenview Elementary and in the center of the walking route of both Elementary & Middle School students. This is a very sensitive area of Park Boulevard and allowing this use would cause unreasonable and unacceptable burdens on our neighborhood. There is no need or desire to have this limited service restaurant serve alcohol at this location.

The City of Oakland has expressed a desire to avoid having an area that is over concentrated with establishments selling alcohol. This small one block business area of Park Blvd already has more than enough establishments serving and selling alcohol and adding another one of the type proposed would negatively impact the residents of

this neighborhood. It is also not advisable to put such a business so close to sensitive areas like the nearby local church and school.

In addition, this proposed site will undoubtedly make traffic and parking on an already crowded and dangerous block much worse, thereby adversely affecting the character and livability of the area. Moreover, because of the nature of the business, it is likely to create additional noise, trash and other negative impacts on the area. Further, we support our local businesses and hope to retain them rather than having them be driven out of business by a national chain restaurant. Finally, we already have several pizza places on this block and believe the neighborhood would benefit from some alternative type of business to the one proposed to allow for more diversity of establishments to serve the community.

Many residents of the area have already expressed their opposition and dismay at this proposed variance to allow alcohol at this limited service restaurant. We add our voices to theirs and hope that the planning commission will be responsive to the neighborhood concerns and opposition to granting this variance.

Thank you for your consideration of the overwhelming neighborhood opposition to this project.

Sincerely,

Valerie Ackerman– 1701 Wellington St.

(VP – Glenview Neighborhood Assn. -

in individual capacity for ID purposes ony)

Allan Brill –4365 Townsend

(President, Glenview Neighborhood Assoc./NCPC 16Y

in individual capacity for ID purposes only)

Hugh Morrison – 4509 Park Blvd.

(GNA Board member, Edna Brewer MS Parent & PTSA Member - in individual capacity for ID purposes ony)

Mary Vail - 4406 Park Blvd. (GNA Board member - in individual capacity for ID purposes ony)

Sid Sattler – 1624 Vista St.(GNA Board member - in individual capacity for ID purposes ony)

Rich Johnson – 4629 Park Blvd.(GNA Board member - in individual capacity for ID purposes ony)

Allyson Hance – 4371 Townsend – GNA volunteer

Hackett, Maurice

From: Gallo, Noel
Sent: Monday, November 20, 2017 3:45 PM
To: Melissa Lucas; Hackett, Maurice
Cc: Turner, Preston
Subject: RE: Mountain Mike's in Glenview: Please no!

Thank you for your email.

From: Melissa Lucas [mailto:melissalu71@gmail.com]
Sent: Saturday, November 11, 2017 2:51 PM
To: Hackett, Maurice <MHackett@oaklandnet.com>
Cc: Gallo, Noel <NGallo@oaklandnet.com>; Turner, Preston <PJTurner@oaklandnet.com>
Subject: Mountain Mike's in Glenview: Please no!

Moe Hackett
Planning Commission
City of Oakland

Mr. Hackett:

I writing to express my concerns about the application of a Mountain Mike's Pizza franchise location in the Glenview business district on Park Boulevard. I am a homeowner of over ten years on Wellington Street.

I believe Mountain Mike's is a very poor fit for Glenview and encourage the denial of their permit application. Mountain Mike's would lead to poorer quality of life in the Glenview neighborhood because:

- The village has a sufficient number of pizza restaurants, and restaurants in general. MMP would not contribute to the diversity of goods and services that a thriving business district requires.
- The village character and reputation tends toward "unique" in that its majority of businesses are standalone, not franchise, operations.
- Parking and through traffic are already very congested along Park Boulevard in Glenview. A new pizza takeout and delivery operation would only make this worse.
- Competition for parking would negatively impact current businesses already functioning in Glenview -- businesses that are desirable to the neighbors and that we want to see succeed.

Thank you very much for your time and attention to my email. Please keep me informed of developments on this application.

Sincerely,

Melissa Lucas
1621 Wellington Street

Hackett, Maurice

From: scout hebinck <ssdydrm@gmail.com>
Sent: Tuesday, November 21, 2017 7:54 AM
To: Hackett, Maurice
Subject: Fwd: No to MM's pizza

----- Forwarded message -----

From: **scout hebinck** <ssdydrm@gmail.com>
Date: Fri, Nov 17, 2017 at 12:19 PM
Subject: No to MM's pizza
To: MHackett@oakland.net.com
Cc: Jonathan Ordanez <jonathan.ordanez@gmail.com>

Dear Sirs or Madam:

Please reconsider allowing ANOTHER CHAIN and ANOTHER PIZZA place, not a good one at that come into our quaint neighborhood- PLEASE, let's keep or neighborhood chain free and let's be methodical about the businesses that go into Glenview. Ma and Pa businesses are fair, and who doesn't want to put their money into them. They are most always better tasting food as well as people who care about the neighborhood. Also, we have so many pizza places in Glenview and nearby Dimond that why do we need another, especially one that isn't a good one. PLEASE let me know what I can do personally to fight this.

Respectfully,

Scout E. Hebinck (Glenview resident)

--

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"Every moment of your life is infinitely creative"----Mahatma Gandhi"

Hackett, Maurice

From: C.Heard <heardwhat@yahoo.com>
Sent: Tuesday, November 21, 2017 9:31 AM
To: Hackett, Maurice
Subject: No to MM's pizza

Dear Sirs or Madam:

Please reconsider allowing ANOTHER CHAIN and ANOTHER PIZZA place, not a good one at that come into our quaint neighborhood-

PLEASE, let's keep or neighborhood chain free and let's be methodical about the businesses that go into Glenview. Ma and Pa businesses are fair, and who doesn't want to put their money into them. They are most always better tasting food as well as people who care about the neighborhood.

Also, we have so many pizza places in Glenview and nearby Dimond that why do we need another, especially one that isn't a good one.

PLEASE let me know what I can do personally to fight this.

Respectfully,

Scout E. Hebinck (Glenview resident)

--
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www.scoutEhebinck.com
freespiritedscoutandboo.com
phone 405.413.6352

"Every moment of your life is infinitely creative"----Mahatma Gandhi"

Hackett, Maurice

From: BB Borowitz <bbwitz@sonic.net>
Sent: Tuesday, November 21, 2017 4:58 PM
To: Hackett, Maurice
Subject: NO mtn mike in glenview

hello Mo,
along w many of my neighbors I oppose Mountain Mike's coming to Glenview . . .
we already have many restaurants in our tiny commercial district, several that sell pizza.
additionally, we do not want more delivery trucks on our over-crowded streets . . .
please find another venue, not in Glenview!
thank you,
BB

Hackett, Maurice

From: Thomas Niesar <Thomas@Niesar.com>
Sent: Tuesday, November 21, 2017 10:50 PM
To: Hackett, Maurice; Gallo, Noel; Turner, Preston; At Large; Thao, Sheng
Subject: Proposed District 5 "mountain mikes" restaurant on Park Blvd

Dear sirs and madams-

I am writing in regard to a proposed 'Mountain Mike's' pizza on Park boulevard in the Glenview District.

As a believer in free market economics, it is after great self reflection that I write this email. But frankly I can't comprehend this concept. I don't know what business model this chain has used to pick our neighborhood, but I believe the idea is flawed, bound for failure, and will be a setback for the neighborhood. We already have two pizzerias within one block, both of which are owned by local business persons who live in the community. Furthermore there are no chain restaurants here and that is likely for a reason.

Most of us in this neighborhood are here for a reason. This unique community has character and is exemplified by the spirit of the local businesses that populate Park Blvd. We count on our council members to understand us, to represent our interests, and to support our communities rather than supporting corporate chains that do not contribute to Oakland nor to it's people.

Sincerely,

Previous supporter of Noel Gallo:

Thomas Niesar
3926 Elston Ave
Oakland 94602

Sent from my iPhone

Hackett, Maurice

From: Etai Weininger <etaiw@hotmail.com>
Sent: Sunday, November 26, 2017 9:36 PM
To: Hackett, Maurice
Subject: Mountain Mike at 4230 Park Blvd in Glenview

Hello Mr. Hackett,

As a resident of Glenview, I am writing to express my extreme displeasure to hear that Mountain Mike's will be replacing Radio Shack at 4230 Park Blvd. I think that a fast food chain like Mountain Mike's is not only a bad match for this health-conscious neighborhood, but more importantly it will also negatively impact the already struggling restaurants in the neighborhood. As you can imagine, it is hard to get people to come to our small commercial area for our restaurants due to the difficulties parking, no nearby BART and the very residential area. Adding a fast-food pizzeria, especially considering we already have 2 pizzerias on our single-block commercial strip, makes no sense. I think this will have a negative impact on the businesses here and it will do more harm than good.

I am sure you have the best intentions in mind, but this is a poor choice and I do hope you reconsider. If we neighbors can help find a better tenant, would you reconsider? I am sure I could get a group together to find a better match for our neighborhood. Mountain Mike's is about the worst choice imaginable (other than maybe Domino's).

Thank you,
Etaí

Hackett, Maurice

From: Matthew Antaky <mantaky@comcast.net>
Sent: Monday, November 27, 2017 2:59 PM
To: Matt Drury
Cc: Hackett, Maurice; Gallo, Noel; Turner, Preston; At Large; Thao, Sheng
Subject: Re: No to Mt Mikes Pizza on Park Blvd

Mr Hackett et al,

I would like to add my name and concerns to the chorus of dissent regarding the intention of allowing a Mountain Mikes Pizza establishment into our community of local owned businesses. Another pizza place (especially a corporate owned one) is absolutely the last thing we need or desire in our modest little block of commerce.

Having lived here for more then 20 years I've personally experienced the evolution, with continuing enjoyment, of the increase in quality and diversification of our neighborhood and the businesses that occupy it. There must be other options available that would continue to support the values and wishes of our community as well as make financial sense.

Respectfully as well,
Matthew Antaky
3949 Elston Ave

Matthew Antaky
510-459-6022
mantaky@comcast.net

On Nov 20, 2017, at 2:40 PM, Matt Drury <drurymatthewp@gmail.com> wrote:

Mr Hackett

I have not heard a response to my email below and now I see further progress with Mountain Mikes business establishment in my neighborhood.

I again respectfully urge you to reconsider allowing Mountain Mike's Pizza to occupy space in Oakland's Glenview District for reasons as I have outlined below.

Thank you,
Matt Drury

On Nov 3, 2017, at 4:14 PM, Matt Drury <drurymatthewp@gmail.com> wrote:

Dear sir

I live in the Glenview neighborhood adjacent to Park Blvd. I've recently learned that Mountain Mikes Pizza is trying to open a location where the Radio Shack

used to be located on Park Blvd. I strongly urge you to not permit this business at this location.

My reasoning is that there are already two restaurants within 300 feet of that location that have pizza as their main entree and another sit down and delivery pizza place within one mile (Red Boy). All three of these restaurants are locally owned and operated.

For Oakland to allow a chain restaurant to undermine these established restaurants would do a great disservice to the residents of this area. Personally, I feel that my neighbors and I do not need nor want Mountain Mikes in this location.

Respectfully,
Matt Drury

Hackett, Maurice

From: Ben Pierce <benjaminthomas pierce@gmail.com>
Sent: Tuesday, November 28, 2017 2:50 PM
To: Hackett, Maurice
Subject: Mountain Mike's, Park Blvd

Good afternoon Mr. Hackett.

I understand that you have already received multiple emails regarding Mountain Mike's on Park Blvd. I would like to add my voice and I will try and make it brief by sticking to one specific point (I do NOT want a chain restaurant in the neighborhood but that's an email for another time)

I don't want to assume anything here, so forgive me if you are already familiar with that stretch of Park Blvd. Parking (and DOUBLE parking) is already a huge issue. But adding a restaurant shoe livelihood depends heavily on delivery vehicles? Huge mistake.

Apparently your response reads like this: "Mountain Mike's was planning to use Uber delivery and there would be less than 1 minute wait or double parking on Park Blvd."

Pardon me for being blunt but that's insane. 1 minute is a VERY LONG TIME for a car to be double parked in a busy thoroughfare.

You are basically admitting that cars will be actively double parking on Park Blvd. Seriously? That's your answer?

Plus, come on -- really? Delivery drivers are regularly going to make it in and out of their cars for pizza deliveries in a minute or less? No way.

Park Blvd needs LESS traffic and double parking. Not MORE.

Spend some time, at various hours of the day and night, along that stretch of Park. It's a zoo. Please don't make it worse.

Hackett, Maurice

From: Steven Brower <slbrower@sbcglobal.net>
Sent: Tuesday, November 28, 2017 3:16 PM
To: Hackett, Maurice
Subject: Mountain Mikes on Park

As you know Glenview already has 11 restaurants in a 75 yard area with very limited parking. Two serve Pizza. Ridiculous to add another. People who live in the neighborhood who do not have a driveway already have no place to park. No to Mountain Mikes in Glenview.

Hackett, Maurice

From: Enid Meyer <dinemeyer@yahoo.com>
Sent: Tuesday, November 28, 2017 3:13 PM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza in Glenview

Dear Mr. Hackett - Thank you for talking with me today. I am submitting my comments on the proposed Mountain Mike's Pizza on Park Boulevard in the Glenview District.

I am AGAINST having this restaurant being given a permit to open due to terrible parking conditions with too many restaurants. Also I do not want a franchise restaurant that does not have waiters or waitresses to pay, competing with local businesses that comply with the city mandated minimum wages for waiters. It would be the sixth restaurant on that side of the block serving beer and wine! Not to mention the three restaurants across the street serving beer and wine, and the store selling it.

My husband and I are homeowners and have been Glenview neighbors for over 30 years. We watched the fight years ago over lack of parking before the Cantina opened on the corner of Wellington and Park Blvd. Since then at least an additional 5 restaurants have opened, with additional parking and congestion problems. Enough already.

Please forward my email to the Planning Commissioners for the December 6 meeting. Thank you,

Enid Meyer
4323 La Cresta Ave. Oakland, 94602

Hackett, Maurice

From: Michelle Ellison <m.ellison@emailoffice.com>
Sent: Tuesday, November 28, 2017 4:05 PM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza - Glenview District

Hello Mr. Hackett,

I am concerned about the proposed Mountain Mike's Pizza at 4230 Park Blvd block of Park Blvd. in the Glenview district. Specifically, whether the proposed location is suitable given the context of the tiny commercial district.

There are currently 10 full-service, locally-owned, family-friendly restaurants within the 1 block Glenview commercial district where the proposed Mountain Mikes would be located:

Marzano's Restaurant @ 4214 Park Blvd. (only a few doors down from the proposed Mountain Mike's
Pastino's Pasta & Pizza @ 4207 Park Blvd. (across the street,
Bellamico Restaurant & Wine Bar @ 4238 Park Blvd.
Paulista Brazilian Kitchen & Taproom @ 4239 Park Blvd.
Sushi Park @ 4209 Park Blvd.
Diggery Inn @ 4212 Park Blvd.
Ultimate Grounds Et Al @ 4225 Park Blvd.
Park Burger @ 4218 Park Blvd.
Banana Blossom Thai Cuisine @ 4228 Park Blvd.
Blackberry Bistro @ 4240 Park Blvd.

Marzano's and Pastinos are independently owned and operated pizza restaurants offering dine-in, pickup and delivery options. Both restaurants have deep roots in the neighborhood and have been active in supporting the neighborhood association, local schools and community at large. They have invested in Glenview and 'stuck it out' even when the economy was poor – they deserve our continued support, thus I am concerned about the impact of another pizza restaurant diluting the viability of their already thin-margin businesses.

Note that Glenview is also well-served by three additional pizza restaurants within ¼ mile of the proposed location: Red Boy Pizza (Leimert), Cybelles's Pizza (Dimond) and Little Ceasar Pizza (Dimond). We are also home to Pizza Matador – a locally owned (delivery-only) purveyor of artisanal pizzas. We may already be hitting a saturation point for dining establishments (and, more specifically, pizza restaurants) in a small affecting viability of the various businesses.

With the current economic boom in Oakland, I understand and welcome that our neighborhoods are newly attractive to national chain restaurants and their franchisee – which is great news for Oakland! Nonetheless, I think it is important to consider context and diversity for placement of new businesses.

Sincerely,
Michelle Ellison
3727 Ardley Avenue
Oakland, CA 94602
(510) 482-3516

Hackett, Maurice

From: G Piscitelli <ginaquilts@yahoo.com>
Sent: Tuesday, November 28, 2017 4:34 PM
To: Hackett, Maurice
Subject: Mountain Mike's Pizza - Proposed Park Boulevard Location

Dear Mr. Hackett,

My husband and I have lived on Wellington Street just south of Park Boulevard for nearly 40 years. During most of this time, there was a nice ebb and flow of business traffic. However, since the tiny Glenview business district became restaurant row, with most of the restaurants and other eateries open for dinner and beyond, the living situation has become intolerable. Once the restaurant workers arrive during the afternoon, there is no parking available for restaurant patrons. Exacerbating the situation, it has become widely known that we have no traffic or parking enforcement in the neighborhood. Visitors to Glenview feel they are entitled to parking, so they park anywhere possible, including across our driveways, in front of fire hydrants, and in red zones, knowing that it will be many hours or even days before they could be towed. On busy Friday and Saturday nights, Wellington Street looks more like 580 at the height of the evening commute, with traffic on our narrow two-way street at an absolute standstill.

There are already a dozen restaurants and coffee shops in the single block of Park Boulevard between Wellington and Glenfield, including two restaurants already serving pizza. Please use your good sense and disallow a chain establishment from getting a foothold in the neighborhood. We need a mixture of businesses that serve the needs of the neighborhood, not a cheap pizza joint and an influx of Uber delivery vehicles.

Thank you for your consideration.

Sincerely,

Gina Piscitelli

Hackett, Maurice

From: Jenny Falcon <jrfalcon@yahoo.com>
Sent: Tuesday, November 28, 2017 5:01 PM
To: Hackett, Maurice
Subject: Mountain Mike's Permit Glenview

Dear City of Oakland Planning Commission,

I am writing to express my strong opposition for permitting Mountain Mike's on Park Blvd. in the Glenview district. As a 26 year resident I have seen many changes in the Glenview business district. It is already saturated with hair/nail salons and restaurants, and parking is often a problem. I don't see the value for the neighborhood in having another restaurant, it would just cause more congestion and we already have two restaurants that serve pizza.

Thank you,

Jennifer Falcon
4068 Everett Ave.
Oakland CA 94602

Hackett, Maurice

From: Avi Rose <avirose53@gmail.com>
Sent: Tuesday, November 28, 2017 5:08 PM
To: Hackett, Maurice
Subject: Mountain Mike's on Park Blvd.

Hello Mr. Hackett,

I understand you are gathering comments to submit to the Planning Commission. I am a 19-year resident of Glenview. I am dismayed by the prospect of a chain pizza place coming into our business district. We already have ample pizza in the neighborhood from independent restaurants. We would be glad for a hardware store, a meat or fish market, an ice cream parlor, a bookstore - the list could go on and on. I implore the Planning Commission to act in the best interest of our neighborhood and disallow this deal.

Thank you,

Avi Rose
1121 Glendora Ave.

Hackett, Maurice

From: Paula Larsen-Moore <PLMoore@leapfrog.com>
Sent: Tuesday, November 28, 2017 3:10 PM
To: Hackett, Maurice
Cc: paula@coolwater.org
Subject: Mountain Mikes on Park Blvd

Importance: High

Mr. Hackett,

I wanted to express my concern about another pizza place coming to our small neighborhood commerce area. We have 2 pizza places already – one upscale, one less-expensive/family friendly with delivery. These 2 pizza restaurants serve the neighborhood just fine. For a 2 block commerce strip we certainly don't need a third. I'm also concerned that is a chain restaurant that will directly compete with small businesses that have been doing so much to contribute to the community. It's just not aligned with what we want in the neighborhood. Lastly, I'm very concerned about increased traffic for delivery drivers and double parking. It is already nearly impossible to find a spot to park in the evenings and we certainly don't need more congestion with double-parking delivery drivers. Since our neighborhood DOESN'T NEED another pizza place, my guess is that it will mostly be take-out which will be a nightmare for Park Blvd traffic.

Please take this into consideration. I would really like to see some community feedback BEFORE new businesses apply for permits. It's nice to have a variety of options – like maybe a hardware store, bookstore, ice cream shop for the kids OR allow existing businesses expand which I heard was also proposed. We don't need a chain to threaten and duplicate small businesses that exist already. It makes no sense.

Thanks for hearing my concerns.

Regards,
Paula Larsen Moore
Elsinore Avenue, Glenview, Oakland

Hackett, Maurice

From: Audey S <audeyseawright@gmail.com>
Sent: Wednesday, November 29, 2017 8:35 AM
To: Hackett, Maurice
Subject: Fwd: No Mountain Mike, No Uber Stop

> I'm writing in opposition to Mountain Mike's on Park BLVD. I live in Lower Glenview now and have lived in the adjacent Dimond neighborhood for 12 years.

>

> I actually like Mountain Mike's pizza for a quick stop in— but they are reaching saturation. There is already a Mountain Mike's in High St. and another on Telegraph— both of which deliver to the proposed location and surrounding areas.

>

> The last thing we need is more Uber drivers double parking and clogging up traffic. Uber is one of the biggest challenges a we are facing in terms of congestion, traffic code violations, and plain incivility. It's not a "feature" for me, it's a "bug" and I don't want another Uber hub nearby.

> Meanwhile, the Mountain Mike's on Telegraph is almost always empty of customers —besides the steady stream of Uber and Grub Hub drivers coming and going.

>

> Pleased consider those of us who live on Park and MacArthur and have to navigate the majority of the traffic and congestion that will accompany a place like this. We don't want it.

>

> Audey Seawright

> Glenview

>

> Sent from 

Hackett, Maurice

From: Russell Yee <ryee@att.net>
Sent: Wednesday, November 29, 2017 9:34 AM
To: Hackett, Maurice
Subject: NO to Mountain Mike's on Park Blvd.

Dear Mr. Hackett -

Thank you for your work for our city.

I'm a native Oaklander and 25-year homeowner in the Glenview.

I'm writing to OPPOSE the permitting of Mountain Mike's Pizza (or any other delivery-intensive business) in the Glenview shopping district.

There is already one affordable (Pastino's) and one upscale (Marzano's) pizza restaurant in our small district.

A "chain" restaurant will be out of character for our district.

And the inevitable illegal parking and time-pressured car ingress and egress from such a delivery-centered business will be simply dangerous.

Thank you for your time.

Russell Yee
4044 La Cresta Ave.

Hackett, Maurice

From: Betty Gray <bettygray6878@gmail.com>
Sent: Wednesday, November 29, 2017 10:13 AM
To: Hackett, Maurice
Cc: Gallo, Noel
Subject: Mountain Mike's on Park Blvd.

Mo,

I sincerely hope you will reconsider any plans to allow Mountain Mike's to open a restaurant/take-out pizza place on Park Blvd. The street already has ten or eleven restaurants and two have pizza they are neighborhood locations and enjoyed by the community but parking is a huge issue. Check with the city traffic department if you question it, they are current working on plans for the street. Ride share is not the answer, they double park which is already a problem.

Please they already have enough locations close by that those customers who want a slice of Mountain Mike's can go to.

Sincerely,

Elizabeth R. Gray
La Cresta Ave

Hackett, Maurice

From: sandra morey <sandi.morey@gmail.com>
Sent: Wednesday, November 29, 2017 11:27 AM
To: Hackett, Maurice
Subject: Mountain Mikes on Park Blvd.

As a resident not far from this location, I feel it would not be helpful to put Mountain Mikes pizza chain on Park Blvd.

There are lots of small businesses that have been there for near to 20 years-some even longer. There are restaurants and one of them is a long standing Italian eatery with Pizza. MM intends to use Uber for delivery. This is not a solution to the parking problem on Park. There will still be double parkers and all kinds of congestion. The already established businesses struggle with that. Why bring in a large Pizza chain. The area is saturated with Pizza already. A new Arizmendi style Pizza place just opened on MacArthur up from Fruitvale. Cybeles Pizza is kitty corner across Fruitvale. I think the space could be better used for something else.

Sandra Morey
3461 Laguna Ave
Oakland CA

November 29, 2017

To: Oakland Planning Commission

Subject: Proposed Mountain Mike's Pizza on Park Blvd.

As a Glenview resident and homeowner living on Glenfield Avenue, around the corner from the Glenview Neighborhood business district on Park Blvd, I have the following observations and objections to the proposed Mountain Mike's Pizza establishment moving in to the space vacated by Radio Shack:

- **Traffic.** The Glenview Neighborhood is already severely impacted by poor traffic management. Park Blvd is currently being excessively utilized as an 'access road' between highway 13 and 580. With no effective traffic calming strategies in place, the business district in Glenview is always congested, and consequently presents dangerous conditions with cars coming and going from limited parking spaces, idling double-parked, and circling at reduced speeds seeking parking. This neighborhood is heavily accessed via foot-traffic, with children coming and going to school, families, neighbors, dog-walkers, etc. navigating the business district.
Upshot: Adding a 'fast food' restaurant - the very nature of whose business model will create expectations for rapid entry/exit from patrons - to this already complex and congested scenario will create further public hazards and create even more traffic problems up and down Park Blvd.
Has a traffic study been conducted?
- **Parking.** As noted above, parking is extremely constrained in this busy business district. As a homeowner on Glenfield, half a block from Park Blvd, we witness daily, intense chronic problems with double-parking, drivers illegally blocking driveways, and illegally parking on the 'no parking' side of this one-way street and in red and yellow zones along Park- while they try to access local businesses (East Bay Dance Center, Marzano's pizza, Savemore Grocery).
Upshot: While Mountain Mike's proposes to use Uber for pick-up and delivery (just one minute!), we are already over-compromised with problems accessing existing businesses, with no reinforcement of parking regulations.
Has a parking study been conducted?
- **C02 Emissions.** Given the extensive practice of double-parking and idling along Park Blvd (and Glenfield), the air quality is already at high risk. Adding a business whose model is 'fast food', relying on Uber or other patrons to double-park, and particularly to idle will negatively impact a growing air quality problem in a family-oriented neighborhood.
Upshot: This is an environmental justice issue; we want our neighborhood to be a healthy place for children and families.
Has an air quality study been conducted?
- **Urban Decay.** There are already two local, privately owned pizza establishments in the Glenview business district. Adding a 'fast-food chain', that also serves pizza will undercut prices and definitely will jeopardize the profitability and sustainability of these (in one case, family-owned) businesses; if they close, this impacts the quality of the neighborhood, and ultimately our

property values. Further, a 'fast-food chain' is not a good fit for the character of the neighborhood; we have worked hard to protect and support our local, often family-owned businesses; it is why people come from afar to visit Glenview for a meal. A faceless corporate chain runs counter to the vibrant and diversified culture we promote as a neighborhood.

Upshot: Adding a commercial chain restaurant is not compatible with Glenview neighborhood values; by adding a commercially-driven competitor to the already crowded pizza market will negatively impact existing businesses, jeopardizing their financial viability, ultimately leading to closure and urban decay – a poor outcome for all Glenview residents and property owners.

Has there been an analysis done to evaluate social and economic impacts to this neighborhood by bringing in a 'fast food chain'?

As you review the Mountain Mike's Pizza proposal, please evaluate these conditions very carefully. We are proud of the slow-but-steady economic and social renewal and growing vitality of Glenview. If proper studies or analyses are conducted related to the topics above, it will become evident that the Mountain Mike's Pizza establishment will not only contribute to – but greatly exacerbate problems we are already struggling to manage related to accessibility, and protection of neighborhood values.

Respectfully,

Kate Mirante
1321 Glenfield Avenue
Oakland, CA 94602
415-519-4550

Hackett, Maurice

From: Mike Bradley <mike@mikegerri.net>
Sent: Wednesday, November 29, 2017 12:42 PM
To: Hackett, Maurice
Cc: 'Glenfriends Listserve'; Gallo, Noel
Subject: Mountain Mike's

I'm opposed to Mountain Mike's opening a shop in the Glenview.

Our success in stopping Starbucks scared off the chains for a good number of years. We need to renew our reputation for insisting on local businesses only.

If one chain gets a toehold here, others will follow.

= Mike Bradley
Glen Park Rd

Hackett, Maurice

From: Ben Pierce <benjaminthomas pierce@yahoo.com>
Sent: Wednesday, November 29, 2017 12:48 PM
To: Mike Bradley; Hackett, Maurice
Cc: 'Glenfriends Listserve'; Gallo, Noel
Subject: Re: [glenfriends] Mountain Mike's

Couldn't agree more. For many wide-ranging, sound, practice reasons I too am opposed to a pizza delivery chain coming to Glenview.

--Ben Pierce / Dolores Ave.

From: "'Mike Bradley' mike@mikegerri.net [glenfriends]" <glenfriends-noreply@yahoogroups.com>
To: mhackett@oaklandnet.com
Cc: 'Glenfriends Listserve' <glenfriends@yahoogroups.com>; 'Councilman Gallo' <Ngallo@oaklandnet.com>
Sent: Wednesday, November 29, 2017 12:42 PM
Subject: [glenfriends] Mountain Mike's

I'm opposed to Mountain Mike's opening a shop in the Glenview.

Our success in stopping Starbucks scared off the chains for a good number of years. We need to renew our reputation for insisting on local businesses only.

If one chain gets a toehold here, others will follow.

= Mike Bradley
Glen Park Rd

Posted by: "Mike Bradley" <mike@mikegerri.net>

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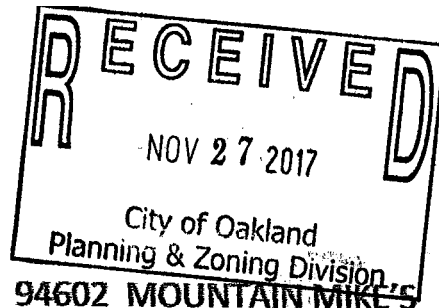
Some additional neighborhood recommendations are compiled at <https://localwiki.org/oakland/Glenview> and <https://sites.google.com/site/glenfriendswiki/>.

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17328

RE: 4230 PARK BOULEVARD, OAKLAND, CA 94602 MOUNTAIN MIKE'S PLN 1711022

DEPENDING ON HOW THE DISTANCE IS MEASURED, I BELIEVE WE LIVE WITHIN 300 FEET OF THIS SITE, CAN YOU CONFIRM THAT WEARE ON THE MAILING LIST? CHARLES D.AND SUSAN L. GRANDT.

THE GLENVIEW COMMERCIAL DISTRICT USED TO SERVE THE GLENVIEW RESIDENTS, MANY OF WHOM WALKED TO THE STORES. . DUE TO THE LARGE NUMBER OF GOOD RESTAURANTS, WE ARE NOW A DESTINATION POINT, WITH ALL THE PROBLEMS THAT BRINGS. WE HAVE TO SAY "ENOUGH IS ENOUGH".

AT ONE TIME, THE GENERAL PLAN ACKNOWLEDGED THE VALUE OF MIXED USE IN COMMERCIAL AREAS. I AM NOT SURE WHAT THE GENERAL PLAN CALLS FOR NOW. CURRENTLY FOOD SERVICE BUSINESSES MAKE UP APPROXIMATELY 50% OF THE BUSINESSES IN GLENVIEW'S ONE BLOCK COMMERCIAL DISTRICT BUT PROBABLY TAKE UP 70% OR MORE OF THE STREET FRONTAGE.

- 1) MOUNTAIN MIKE'S DOES NOT FIT THE CHARACTER OF THE BUSINESS DISTRICT AND THE SURROUNDING NEIGHBORHOOD. THERE ARE NO "CHAINS" IN GLENVIEW; MOST RESTAURANTS ARE RUN BY THE OWNERS OR AN ON SITE MANAGER.
- 2) THIS LIMITED SERVICE RESTAURANT WILL NOT ENHANCE THE QUALITY OF LIFE FOR THE NEARBY RESIDENTS OR THE NEIGHBORHOOD IN GENERAL.
- 3) WE ARE BY NO MEANS UNDERSERVED IN THE FOOD SERVICE DEPARTMENT. IN FACT, WE ARE OVERBURDENED BY RESTAURANTS . IT WOULD BE WONDERFUL TO GET IN A BUSINESS THAT OFFERED SOMETHING THE COMMUNITY NEEDED/WANTED.
- 4) GIVEN THE HIGH VOLUME OF TAKE OUT THAT IS ANTICIPATED, WE WOULD ALSO REQUEST THAT THE HARMFUL EFFECT OF THE GENERATION OF TRAFFIC AND THE CAPACITY OF THE SURROUNDING RESIDENTIAL STREETS BE REVIEWED. I BELIEVE NO MORE THAN 9 PARKING PLACES HAVE BEEN CREATED IN THE COMMERCIAL DISTRICT IN THE LAST 50 YEARS DESPITE THE CHANGES IN TRAFFIC OVER THAT PERIOD. THE RESIDENTIAL STREETS TAKE MUCH OF THE PARKING AND TRAFFIC BURDEN CONNECTED WITH THE EXISTING RESTAURANTS.

I HAVE INCLUDED SOME BACKGROUND INFORMATION AND SOME OF MY CONCERNS. THANK YOU FOR YOUR CONSIDERATION. WE APPRECIATED YOUR ATTENDING OUR NOV. 1ST GENERAL MEETING OF THE GNA. IF YOU NEED ANY ADDITIONAL INFORMATION, PLEASE FEEL FREE TO CONTACT ME.

SUSAN L. GRANDT, 510-530-7039

1321 WELLINGTON ST OAKLAND, CA 94602

DATED: NOVEMBER 11, 2017

I GREW UP IN GLENVIEW. THIS SMALL COMMERCIAL AREA WAS MADE UP OF A NICE MIX OF BUSINESSES THAT SERVED GLENVIEW AND THE SURROUNDING LITTLE NEIGHBORHOODS. THERE WERE TWO GROCERY STORES (ONE REMAINS), TWO DRUG STORES, A GREAT HARDWARE STORE, A CLEANERS, REAL ESTATE OFFICE, GIFT SHOP/STATIONARY STORE, SHOE REPAIR (STILL HERE), SEVERAL BEAUTY AND BARBER SHOPS, A GAS STATION , OUR GLENVIEW PUBLIC LIBRARY AND A 5 & DIME. I KNOW THERE WERE A FEW MORE BUT YOU GET THE IDEA. THERE WAS **ONE** RESTAURANT, A TINY MOM AND POP CAFÉ WHERE PASTINO'S IS LOCATED, AS I REMEMBER THERE WAS COUNTER SEATING AND A FEW BOOTHS.

I BELIEVE THE DIGGERY, WHICH REPLACED THE SMALLER DRUG STORE, WAS THE NEXT RESTAURANT TO OPEN. BILL, THE OWNER, WAS A GREAT COOK AND THE RESTAURANT FILLED A NEED FOR MORE SEATING. IT WAS A WELCOME ADDITION AND SUITED THE CHARACTER OF THE NEIGHBORHOOD. YEARS LATER, WHEN THE MUCH LARGER CANTINA (RESTAURANT AND BAR) OPENED, CITY PLANNING ACKNOWLEDGED THE VALUE OF MAINTAINING THE MIXED USE QUALITY OF THE SMALL, LOCAL, SHOPPING AREA AND ADDED AN S9 OVERLAY WHICH PROVIDED FOR REVIEW AND INPUT ON PROPOSED GROUND FLOOR BUSINESSES. AT SOME POINT THE S9 ZONING WAS DROPPED.

NOW, IN OUR LITTLE ONE BLOCK LONG COMMERCIAL AREA, WE HAVE 9 RESTAURANTS, A COFFEE SHOP AND A DELI COUNTER IN THE MARKET. WE CAN HAVE COFFEE AND PASTERY AND FRESH MADE SANDWICHES IN SEVERAL LOCATIONS, THAI, SUSHI, SOUTH AMERICAN, BURGERS AND SHAKES, GOURMET PIZZA, CLASSIC PIZZA (BY THE SLICE FOR LUNCH OR A WHOLE PIE FOR DINNER), COMFORT FOOD ON UP TO 4 OR 5 COURSES WITH A EUROPIAN FLAIR. ---FROM ORDERS TAKEN AT THE COUNTER ALL THE WAY UP TO WHITE TABLECLOTH, AWARD WINNING, DINING. IN OTHER WORDS, INEXPENSIVE TO HIGH END, WE'VE GOT IT ALL.

MOST OF OUR RESTARUANTS ARE RUN BY THE OWNERS. A CHAIN LIKE MOUNTAIN MIKE'S, WHILE NOT FAST FOOD, AS A LIMITED SERVICE RESTARUANT, IS CLOSE TO FAST FOOD AND ALL THE PROBLEMS THAT COME WITH THAT TYPE OF FOOD SERVICE.

MOUNTAIN MIKE'S PLAN IS TO STAY OPEN TO 11 PM ON FRIDAY AND SATURDAY. ONLY TWO BUSINESSES STAY OPEN UNTIL 11 PM, THE MARKET AND THE NEW RESTAURANT, PAULISTA, WHICH HAS JUST OPENED AND IS TRYING OUT DIFFERENT TIMES TO SEE WHAT WORKS. BOTH THESE BUSINESSES ARE ON THE OTHER SIDE OF PARK BLVD AND DO NOT BACK UP DIRECTLY ONTO A RESIDENTIAL PROPERTY (PAULISTA'S SMALL PARKING LOT IS ADJACENT TO A RESIDENTIAL LOT) . : NOTE: MR. NIJJAR (MOUNTAIN MIKE'S REPRESENTITIVE) HAS AGREED TO CLOSE EARLIER IF IT IS IMPORTANT TO THE NEIGHBORS.

THIS SITE BACKS UP TO A RESIDENTIAL LOT WITH THE CHILDRENS'S BEDROOMS JUST A DRIVEWAY WIDTH AWAY, AND THERE ARE CONCERNS ABOUT LOITERING, LIGHTING, EMPLOYEE NOISE AND NOISE IN GENERAL, ODORS, GARBAGE HANDLING, TRASH AND LITTER, VECTOR CONTROL, SMOKING ETC. I KNOW THE CITY CAN PLACE CONDITIONS TO TRY AND MITIGATE THE EFFECTS OF THE BUSINESS, BUT THIS BUSINESS REALLY DOES NOT "FIT" THE NEIGHBORHOOD.

I HOPE THIS INFORMATON WILL BE OF SOME HELP.

Hackett, Maurice

From: Casey Hildreth <casey.hildreth@gmail.com>
Sent: Wednesday, November 29, 2017 1:39 PM
To: Hackett, Maurice
Subject: Opposed to Mountain Mike's application for 4239 Park Boulevard CUP

Hi Mo - I'd like to add onto the dozens of my neighbors who are opposed to this application, but rather than lament solely about chains versus local businesses I'd like to add a specific transportation safety and operations issue/concern to the file:

Park Boulevard in the Glenview Business District at this location includes front-in, angled parking with minimal to no load zones on the south side of the street (fronting said property). U-turns at either end of the block at the nearest signalized intersections are also prohibited.

As a primarily delivery-oriented business, MM's operations would create a significant negative impact on the safety and operations of Park Boulevard, unless perhaps the angled parking was rescinded and converted to parallel parking with passenger load zones to adequately handle the increased number of TNC (Uber and Lyft) and/or alternative delivery vehicles operating at this specific locations.

Approval of the CUP should be denied, for a variety of reasons (we really don't need yet another pizza place in the hood, much less a chain that is delivery-oriented) but at a minimum the CUP approval should be contingent on reorientation of parking and access to curbside passenger/commercial load zones.

Thanks for considering these comments.

Cheers,

Casey Hildreth
4632 Benevides Ave

Hackett, Maurice

From: Melissa Stern <melissa_stern@yahoo.com>
Sent: Wednesday, November 29, 2017 2:57 PM
To: Hackett, Maurice
Cc: ngallo@oakland.net; Gallo, Noel
Subject: Proposed Mountain Mikes on Park Boulevard

Dear Mr. Hackett:

As a homeowner in the Glenview neighborhood I'm writing to you to register my strong belief that Mountain Mikes should not be allowed to operate in the proposed Park Boulevard location.

The rationale for my objection is on two dimensions:

1). We don't need another pizza restaurant. In the immediate vicinity, the small Glenview commercial district already has two pizza restaurants (both small, local businesses). Furthermore less than 1/2 mile away there is a Red Boy, a Cybelles and a Lanesplitters. Our planning process should take into account the needs of the neighborhood and the very last thing the Glenview needs is another pizza restaurant.

2) Traffic, I understand that the location intends to be a largely delivery/takeaway site. That would mean delivery vehicles double parking so that drivers can run in to pick up pizzas for delivery (whether they are Uber or Mountain Mikes own is irrelevant). Such double parking is traffic violation and any business with an operating model that is predicted on traffic infractions (regardless how minor they may seem) has no place in our community. The Park Blvd corridor is already heavily trafficked and it simply cannot absorb regular double parking. It is not merely an inconvenience it is dangerous.

I ask you to please document my concerns in the packets of information you are preparing for the planning commission.

Should you wish to contact me, I can be reached at +15108475851

Many thanks.

Melissa Stern
1459 Hampel Street
oakland 94602

Sent from my iPhone

Hackett, Maurice

From: Hugh morrison <hughpaigemorrison@hotmail.com>
Sent: Wednesday, November 29, 2017 3:04 PM
To: Hackett, Maurice; Gallo, Noel
Cc: Turner, Preston
Subject: Mountain Mikes is Bad for Glenview & for Park Blvd. Fw: [glenfriends] Digest Number 8341

Dear Mo & Noel,

Glenview in the Park Blvd business district is NOT a good place to have Mountain Mikes.

-There is simply NOT enough parking in the neighborhood for existing restaurants, much less a regular take out & delivery business. Like other chain pizza delivery services Mountain Mikes needs to find a place close to a parking lot (like Red Boy) or a place with empty parking spaces (like Round Table near Lincoln/Joaquin Miller).

-Using UBER or other ride-share services is even worse. They constantly park illegally in red zones & double parking will make existing parking & traffic a nightmare;

-Park Blvd. is going through a redesign process to reduce traffic speeds. The Planning Commission will mess up long term plans & make traffic speeds worse.

-Delivery vehicles often speed to make deliveries in time. We've already seen them speed excessively on Park Blvd. & almost kill neighbors. If the City enables an increase in such behavior it will be making Park Blvd. even more dangerous;

-Our Elementary & Middle School children use Park Blvd. & it's crosswalks to get to school, Dimond Park, Dimond Library, to neighbors houses etc. By increasing traffic & allowing speeding delivery vehicles to cross paths with them you're increasing danger to our students & families walking across Park Blvd;

-Approving a chain restaurant opposite a competing locally owned small competitor (Pastino's) makes little economic sense to the neighborhood or City efforts to encourage local restaurants.

In summary, allowing Mountain Mikes will increase frustrations of drivers thus increasing the likelihood they will react rashly, further endangering neighborhood pedestrians & children. It's impact on Parking & the neighborhood will be detrimental.

Below is a sampling of comments on our neighborhood list serve. I have not read 1 positive review of having Mountain Mikes in Glenview.

-Hugh
Park Blvd./Glenview Resident

From: glenfriends@yahoogroups.com <glenfriends@yahoogroups.com>
Sent: Wednesday, November 29, 2017 2:22 PM
To: glenfriends@yahoogroups.com
Subject: [glenfriends] Digest Number 8341

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glenfriends Group

15 Messages

Digest #8341

Re: Planning Comm. & Mountain Mike's by "UC Berkeley CAL Alumni" aguilarleslie	1a
Planning Comm. & Mountain Mike's by hughpm2003	1b
Re: Planning Comm. & Mountain Mike's by "candaceminor@yahoo.com" candaceminor	1c
Re: Planning Comm. & Mountain Mike's by info04arch	1d
Re: Planning Comm. & Mountain Mike's by "Ben Pierce" benjaminthomas pierce	1e
Sublet my home .. by wrudsits	2
here is Noel Gallo's email address by "Jan Leuin" janleuin	3
Verizon cell phone problems by lsullivandesign	4a
Re: Verizon cell phone problems by "Dawn Delmonte" delmontedawn	4b
xmas tree stand to give away? by "Kim W" kwimpsett	5a
Re: xmas tree stand to give away? by "CARIA" cariatomczykowska	5b
Church Yard Sale Saturday by stpauloakland	6
Mountain Mike's by "Mike Bradley" oaktown_40	7a
Re: Mountain Mike's by "Ben Pierce" benjaminthomas pierce	7b
Winter Open Studios, December 2nd and 3rd by "Jennifer Linderman" jenniferlinderman	8

Messages

Re: Planning Comm. & Mountain Mike's

Tue Nov 28, 2017 10:25 pm (PST) . Posted by:

"UC Berkeley CAL Alumni" aguilarleslie

1a

If Mtn Mike plans on having Uber delivering their pizzas, that should be a big No. it would make things a lot worse on Park Blvd.

If you haven't seen the latest article in SFGate, *64% of traffic violations in SF were attributed to Uber and Lyft. *Oakland doesn't keep statistics but you can bet it'll be the same here, esp on a very specific area like Park Blvd coming and going (and throughout the city). Just from my own anecdotal experience driving around Oakland and SF, these rideshare companies are a serious problem with double parking, stopping in the middle of the street or on a corner in flow of traffic, weaving in and out while reading their phones, and generally wreaking havoc on other drivers trying to figure out where they're going and violating all sorts of traffic rules.

<https://sf.curbed.com/2017/9/26/16367440/lyft-uber-traffic-citations-sfpd-board-supervisors>

On Tuesday, November 28, 2017, dinemeyer@yahoo.com [glenfriends] <glenfriends-noreply@yahoogroups.com> wrote:

>
>
> I had a conversation with Mo Hackett today. He is preparing the packets
> to deliver to the Planning Commission members at their meeting on December
> 6, 2017. He has already received 70-80 comments from community members
> regarding the proposed Mountain Mike's Pizza on Park Blvd.
>
> In response to a question about parking congestion and pizza delivery
> problems, his comment was that Mountain Mike's was planning to use Uber
> delivery and there would be less than 1 minute wait or double parking on
> Park Blvd. Many of the issues have already been addressed in other Yahoo
> Group emails.
>
> If anyone wants to submit a letter to the Planning Commission, please send
> it today or tomorrow at the latest to Mo Hackett:
> mhackett@oaklandnet.com
> <javascript:_e(%7B%7D,'cvml','mhackett@oaklandnet.com');>
>
> Enid on La Cresta

Reply to sender . Reply to group . Reply via Web Post . All Messages (9) . Top ^

1b

Planning Comm. & Mountain Mike's

Tue Nov 28, 2017 10:50 pm (PST) . Posted by:
hughpm2003

Agreed. They often park or pull over anywhere they please...in crosswalks, bike lanes, red zones, in front of fire hydrants, driveways... or just double park.

There isn't enough parking on Park Blvd for existing restaurants. If neighbors have had trouble with traditional restaurants imagine what it's going to be like with delivery.

Especially when they're in a hurry.

This is a terrible idea...

The Planning Dept will only know about it if we wrote them & Council Member Gallo.

Not sure if they or anyone else is collecting comments here?

-Hugh
Park Blvd.

Reply to sender . Reply to group . Reply via Web Post . All Messages (9) . Top ^

1c

Re: Planning Comm. & Mountain Mike's

Wed Nov 29, 2017 5:58 am (PST) . Posted by:
"candaceminor@yahoo.com" candaceminor

So comments should go to mhackett@oaklandnet.com And Noel Gallo?

Sent from my Verizon LG Smartphone

----- Original message ----- From: UC Berkeley CAL Alumni ucberkeley.calalumni@gmail.com [glenfriends] Date: Tue, Nov 28, 2017 10:25 PM To: dinemeyer@yahoo.com; Cc: glenfriends@yahoogroups.com; Subject: Re: [glenfriends] Planning Comm. & Mountain Mike's

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If anyone wants to submit a letter to the Planning Commission, please send it today or tomorrow at the latest to Mo Hackett: mhackett@oaklandnet.com

Enid on La Cresta

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1d

Re: Planning Comm. & Mountain Mike's

Wed Nov 29, 2017 8:52 am (PST) . Posted by:
info04arch

It is absolutely unacceptable to cite "double parking for less than a minute" as a mitigating factor for conducting business on Park Boulevard.

That's just plain illegal and dangerous; incompetent bad Uber/Lyft drivers aside from this thread.

1e

Re: Planning Comm. & Mountain Mike's

Wed Nov 29, 2017 9:13 am (PST) . Posted by:
"Ben Pierce" benjaminthomas pierce

Totally agree. That stretch of Park is already a zoo, and ALREADY plagued with too much illegal/double parking. The fact that it is cited as OK is ... definitely not OK.

For those who agree, please follow the instructions outlined elsewhere in this thread and tell folks at the City of Oak. Noel Gallo's name was mentioned as a contact, but I can't find his email. Also Mo Hackett @ mhackett@oaklandnet.com

We have to do more than just toss the issue around in the GF group. (drieger@berkeley.edu, don't mean to single you out. Just making a general comment to the GF group.)

From: "drieger@berkeley.edu [glenfriends]" <glenfriends-noreply@yahoogroups.com>
To: glenfriends@yahoogroups.com
Sent: Wednesday, November 29, 2017 8:52 AM
Subject: [glenfriends] Re: Planning Comm. & Mountain Mike's

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3

here is Noel Gallo's email address

Wed Nov 29, 2017 10:03 am (PST) . Posted by:
"Jan Leuin" janleuin

Noel Gallo's email address: Ngallo@oaklandnet.com – Jan on Ardley

From: glenfriends@yahoogroups.com [mailto:glenfriends@yahoogroups.com] On Behalf Of Ben Pierce benjaminthomas pierce@yahoo.com [glenfriends]
Sent: Wednesday, November 29, 2017 9:13 AM
To: drieger@berkeley.edu; glenfriends@yahoogroups.com
Subject: Re: [glenfriends] Re: Planning Comm. & Mountain Mike's

Totally agree. That stretch of Park is already a zoo, and ALREADY plagued with too much illegal/double parking. The fact that it is cited as OK is ... definitely not OK.

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7a

Mountain Mike's

Wed Nov 29, 2017 12:42 pm (PST) . Posted by:
"Mike Bradley" oaktown_40

I'm opposed to Mountain Mike's opening a shop in the Glenview.

Our success in stopping Starbucks scared off the chains for a good number of years. We need to renew our reputation for insisting on local businesses only.

If one chain gets a toehold here, others will follow.

= Mike Bradley
Glen Park Rd

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Re: Mountain Mike's

Wed Nov 29, 2017 12:47 pm (PST) . Posted by:

"Ben Pierce" benjaminthomas pierce

Couldn't agree more. For many wide-ranging, sound, practice reasons I too am opposed to a pizza delivery chain coming to Glenview.

--Ben Pierce / Dolores Ave.

From: "'Mike Bradley' mike@mikegerri.net [glenfriends]" <glenfriends-noreply@yahoogroups.com>

To: mhackett@oaklandnet.com

Cc: 'Glenfriends Listserv' <glenfriends@yahoogroups.com>; 'Councilman Gallo' <Ngallo@oaklandnet.com>

Sent: Wednesday, November 29, 2017 12:42 PM

Subject: [glenfriends] Mountain Mike's

I'm opposed to Mountain Mike's opening a shop in the Glenview. Our success in stopping Starbucks scared off the chains for a good number of years. We need to renew our reputation for insisting on local businesses only. If one chain gets a toehold here, others will follow. = Mike Bradley Glen Park

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Some additional neighborhood recommendations are compiled at <https://localwiki.org/oakland/Glenview> and <https://sites.google.com/site/glenfriendswiki/>.

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• **New Members 3**

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Hackett, Maurice

From: Weinson <weinson@gmail.com>
Sent: Wednesday, November 29, 2017 3:19 PM
To: Hackett, Maurice
Subject: Mountain Mikes in Glenview

Mo – just wanted to drop a quick note of opposition to Mountain Mikes moving into the old Radio Shack space in Glenview. I live just up the street at 4321 Park Blvd, and can emphatically say that the neighborhood does not need another pizza place (we have two), another Italian restaurant (we have three), or a delivery based food chain in a neighborhood with no parking. Already, since the advent of uber eats, caviar, seamless and their peers, I am seeing numerous cars double parked in the retail strip, and parking in the fire lanes/no parking zones while the drivers run in to get food. This makes it more difficult/dangerous to cross at cross walks (due to reduced sightlines) and creates more traffic (as we get reduced down to only one lane). I have seen a number of “almost accidents” on account of the double parking, and also witnessed the pick-up drivers blocking the crosswalks and fire hydrants. Finally, it is hard enough for the small locally owned restaurants to survive in Glenview, and adding a chain restaurant to the mix will detract from both the character of the neighborhood, and support of local Oakland owned restaurants (i.e., the coffee shop, Pastinos, Marzano, Park Burger, Sushi Park, Bellanico, Banana Blossom, Blackberry Bistro, Paulista and the Diggery). It will be a sad day if the Glenview strip gets converted to a bunch of chain restaurants, and the locally owned small restaurants are undercut and then pushed out. We enjoy the local Oakland character of the neighborhood and would not like to see it change. Put delivery restaurants like Mountain Mikes in a supermarket parking lot where they belong!

-David Paulson

Hackett, Maurice

From: Sandra Bressler <1sbressler1@gmail.com>
Sent: Wednesday, November 29, 2017 4:38 PM
To: Hackett, Maurice
Cc: Gallo, Noel
Subject: Letter Opposing Mountain Mike's Permit Applications
Attachments: Mountain Mike's Ltr to Planning.pdf

Dear Mr. Hackett,

Please find attached my letter to the planning commission opposing the permit application of Mountain Mike's for restaurant space and a liquor license to be located at 4230 Park Boulevard in the Glenview District of Oakland.

I understand a hearing is scheduled for December 6th before the planning commission, and I request that this letter be included for its consideration.

I would appreciate your acknowledgement of receipt.

Best,

Sandra E. Bressler
Health Care Consulting
1sbressler1@gmail.com
510/482-5371

November 29, 2017

To: Oakland Planning Commission
c/o Mo Hackett
Planning Commission Administrator
mhackett@oaklandnet.com

From: Sandra E. Bressler
3837 Woodruff Avenue
Oakland, CA
1sbressler1@gmail.com

Re: Permit Applications by Mountain Mike's for Restaurant and Liquor License at 4250 Park Boulevard, Oakland, CA

I am submitting this letter to oppose a permit application for Mountain Mike's to open a beer and wine permitted, pizza sit-down and take out restaurant on Park Boulevard in the Glenview Neighborhood of Oakland.

The location is in the tiny one and a half block Glenview business district that is currently overpopulated with 9 existing, parking/traffic congesting restaurants, two of which already feature sit-down and take out pizza and all but two of which have beer and wine licenses. Mountain Mike's will not enhance dining opportunities or the diversity of dining in the area, and, given the tiny size of the business district, it will adversely affect the mixed-use needs of this neighborhood.

One of the restaurants, Banana Blossom, which is located a few doors down from the proposed Mountain Mike's, reduced available parking when it obtained a permanent, time-restricted parking space for customer pick-ups because most of its business is take out. According to administrator Hackett, Mountain Mike's plan for traffic mitigation is Uber delivery service, a company notorious for causing traffic congestion through double, sidewalk and other illegal parking, in every high traffic venue it serves. The additional traffic problems that would be created by this restaurant's model are unacceptable.

Park Boulevard is also, generally, a very congested thoroughfare, given its access to Interstate 580 and State Route 13. Parking in the tiny congested business district is very limited and difficulties are compounded by the necessity to navigate heavy traffic by having to back out diagonal spaces into the traffic. The business Mountain Mike's would replace, the now bankrupt Radio Shack, was a much less traffic generating one, and at least offered products and service to this neighborhood that was not otherwise duplicative. Opportunity for a different type of business than another restaurant to enter the market in Glenview is an important factor to be considered.

Finally, compliance with requirements for issuance of a liquor license is questionable. The density of such licenses is high in this extremely small business district. In addition to the restaurants noted, there is also Savemore Market, across the street, which sells both beer and hard liquor. Also, there is an elementary school a block away and the large, highly popular Dimond Park within a few blocks where many juveniles and families congregate for ball sports, general recreation, picnics, and swimming.

It is extremely important for and I urge the Planning Commission to honor the general plan and the Glenview Neighborhood needs and character by denying a permit to Mountain Mike's.

Cc: Noel Galo
Council Member Representing Glenview
Ngallo@oaklandnet.com

Hackett, Maurice

From: Valerie Fong <fongv03@yahoo.com>
Sent: Wednesday, November 29, 2017 6:39 PM
To: Hackett, Maurice; Gallo, Noel
Subject: Mountain Mike's on Park Blvd.

Hello -

I understand that you are collecting comments on a proposed plan for a Mountain Mike's Pizza on Park Blvd. I am a homeowner in the Glenview district (1016 Elbert), and I would like to convey my strong objection to this plan for the following reasons:

The two-block stretch has two popular, locally-owned and operated pizzerias: Pastino's and Marzano.

The two-block stretch also has a popular, locally-owned Italian restaurant: Bellanico

I support locally owned and operated businesses in the neighborhood (no chains)

I believe a Mountain Mikes chain will increase traffic and parking congestion in that stretch, especially if they plan on using UberEats, which I understand is their intention.

Thank you for taking my comments under consideration.

Valerie Fong

Hackett, Maurice

From: Susan Forster <susanforster@positivitywork.com>
Sent: Thursday, November 30, 2017 6:27 AM
To: Hackett, Maurice
Subject: support the Glenview Neighborhood Association letter

Dear Mr. Hackett,

As concerned residents of Glenview, we are writing to express our vigorous opposition to the proposed variance to allow Mountain Mike's pizza to sell alcohol at a location on Park Boulevard in the Glenview area.

The Glenview business district is very small and the proposed site is located within 1000 feet of a church, a school and another store that already sells alcohol. It is our understanding that the proximity to these sites would require a major variance to allow this use. (Sec. 17.103 (B)(2) and (3).) This site is located around the corner from Glenview Elementary and in the center of the walking route of both Elementary & Middle School students. This is a very sensitive area of Park Boulevard and allowing this use would cause unreasonable and unacceptable burdens on our neighborhood. There is no need or desire to have this limited service restaurant serve alcohol at this location.

The City of Oakland has expressed a desire to avoid having an area that is over concentrated with establishments selling alcohol. This small one block business area of Park Blvd already has more than enough establishments serving and selling alcohol and adding another one of the type proposed would negatively impact the residents of this neighborhood. It is also not advisable to put such a business so close to sensitive areas like the nearby local church and school.

In addition, this proposed site will undoubtedly make traffic and parking on an already crowded and dangerous block much worse, thereby adversely affecting the character and livability of the area. Moreover, because of the nature of the business, it is likely to create additional noise, trash and other negative impacts on the area. Further, we support our local businesses and hope to retain them rather than having them be driven out of business by a national chain restaurant. Finally, we already have several pizza places on this block and believe the neighborhood would benefit from some alternative type of business to the one proposed to allow for more diversity of establishments to serve the community.

Many residents of the area have already expressed their opposition and dismay at this proposed variance to allow alcohol at this limited service restaurant. We add our voices to theirs and hope that the planning commission will be responsive to the neighborhood concerns and opposition to granting this variance.

Thank you for your consideration of the overwhelming neighborhood opposition to this project.

Sincerely,

Susan Forster Resident of Glenview District

Valerie Ackerman– 1701 Wellington St.
(VP – Glenview Neighborhood Assn. -
in individual capacity for ID purposes ony)

Allan Brill –4365 Townsend
(President, Glenview Neighborhood Assoc./NCPC 16Y
in individual capacity for ID purposes only)

Hugh Morrison – 4509 Park Blvd.

(GNA Board member, Edna Brewer MS Parent & PTSA Member - in individual capacity for ID purposes ony)

Mary Vail - 4406 Park Blvd. (GNA Board member - in individual capacity for ID purposes ony)

Sid Sattler – 1624 Vista St.(GNA Board member - in individual capacity for ID purposes ony)

Rich Johnson – 4629 Park Blvd.(GNA Board member - in individual capacity for ID purposes ony)

Allyson Hance – 4371 Townsend – GNA volunteer

PositivityWork

Susan Forster, M.Ed, SPHR, SHRM-SCP

Susanforster@positivitywork.com

<http://www.positivitywork.com>

Cell: 510-604-8359

calendly.com/susanforster



Hackett, Maurice

From: david fryer <davfryer@yahoo.com>
Sent: Thursday, November 30, 2017 7:30 AM
To: Hackett, Maurice
Subject: Opposition to Mountain Mikes on Park Blvd

Dear Mo,

We write to express our opposition to Mountain Mikes moving in to Glenview. There are already two pizza places on the block and another one that delivers only a mile away on Leimert. Further, we feel very strongly about supporting local businesses in our neighborhood and would like to see a non-chain restaurant moving in here.

Perhaps our greatest concern regards the impact on traffic. Parking is already ridiculous with people double-parking on Park, and parking in the red zone on Wellington, blocking traffic turning right off Park. Mountain Mikes' proposed delivery service will exacerbate an already congested and dangerous stretch of traffic on Park Blvd.

Sincerely,

David Fryer and Stephanie Prausnitz
4330 Townsend Ave