Oakland City Planning Commission STAFF REPORT

Design Review Committee

Case File Number: PLN16-445 **March 29, 2017**

Location:	**1721 Webster Street (See map on reverse)**
Assessor's Parcel Numbers:	**008-0624-006-00 & -007-00**
Proposal:	Proposal for a 25 story mixed use development containing approximately 250 dwelling units, approximately 5,000 square feet of office and ground floor retail.
Applicant:	Raymond Connell / Holland Partner Group
Owners:	Douglas Motor Service & Douglas Parking Company
Planning Permits Required:	Regular Design Review for new construction, Major Conditional Use Permit for development exceeding 200,000 square feet, and Vesting Tentative Parcel Map for new condominiums.
General Plan:	Central Business District
Zoning:	CBD-C / Height Area 7
Environmental Determination:	Determination Pending
Historic Status:	Not a PDHP; Rating: D3
City Council District:	3
For further information:	Contact case planner **Pete Vollmann** at **510-238-6167** or by email: pvollmann@oaklandnet.com

SUMMARY

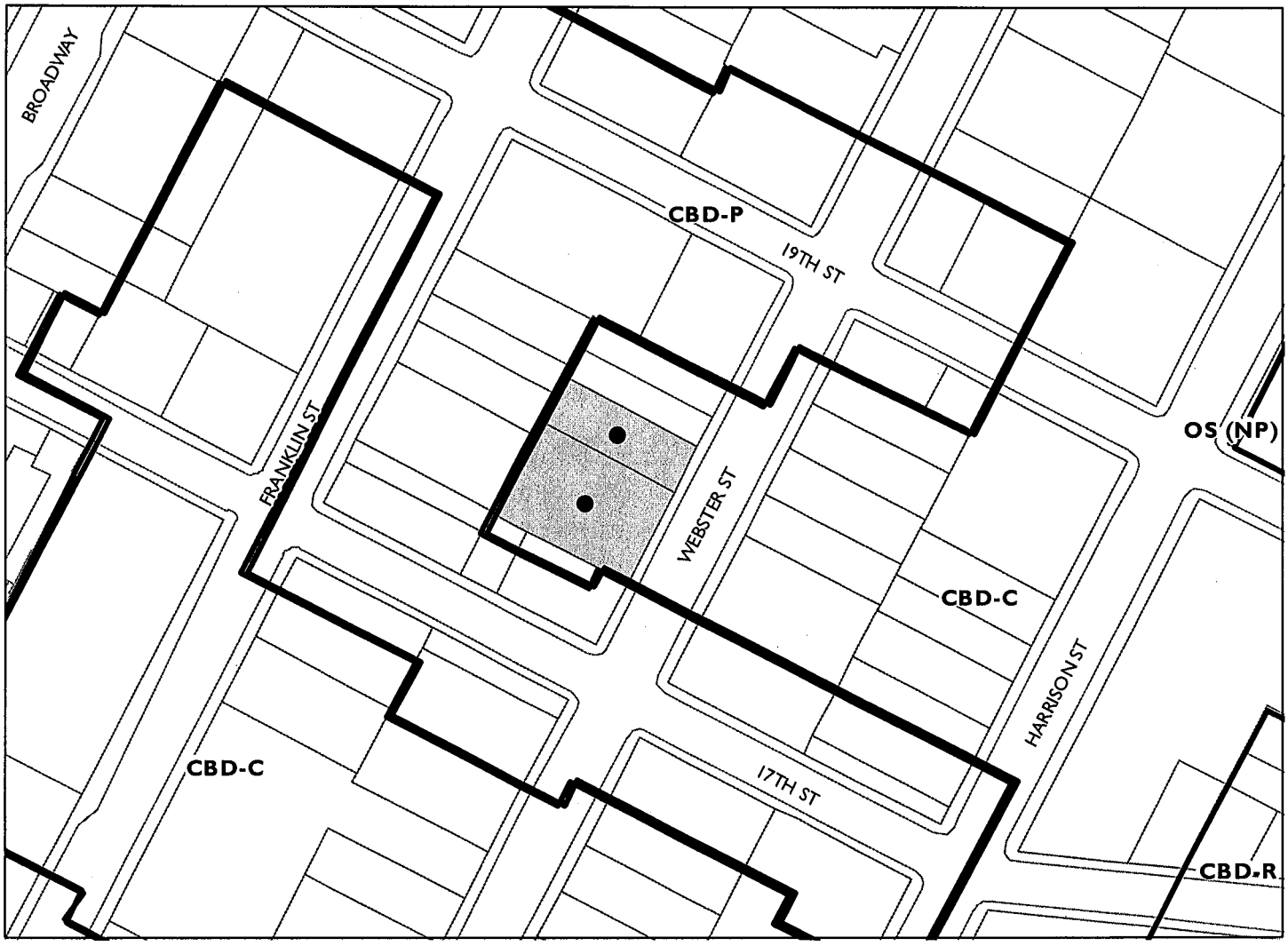
Raymond Connell on behalf of Holland Partner Group has filed an application with the Bureau of Planning to develop a mixed use building that would include 250 dwelling units, approximately 5,000 square feet of office and ground floor retail within a 25 story building.

Staff requests that the Design Review Committee receive public testimony and provide comments on the proposed design.

PROPERTY DESCRIPTION

The project site is an approximately 0.52-acre site mid-block on the west side of Webster Street, between 17th and 19th streets including two lots at 1717 and 1739 Webster Street. The site is located in downtown Oakland and is surrounded primarily by commercial and retail buildings and a few residential and mixed use buildings. The project site is occupied by a two-story brick commercial building that is mainly occupied by an auto fee parking garage as well as street fronting retail uses and some upper level offices. The building has an Oakland Cultural Heritage Survey (OCHS) rating of D3 (Minor Importance, not in a historic district) and is not considered a potentially designated historic property (PDHP). The project site is located across the street from 1700 Webster Street which is a 24 story residential tower currently under construction.

CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN16445
Applicant: Raymond Connell
Address: 1721 Webster Street
Zone: CBD-C

PROJECT DESCRIPTION

The proposed project would demolish the existing two story building in order to construct a new mixed use development containing 250 residential dwelling units and approximately 5,000 square feet of office and a little over 2,000 square feet of ground floor retail. The proposal would be 25 stories total and approximately 270 feet in height to the top of the mechanical penthouse. The project would contain parking in the basement and on five levels above grade. The ground level would have the parking garage located toward the back of the building with the retail uses and lobby fronting onto Webster Street as well as on the fourth and fifth floors where office space would front onto the street with the parking garage tucked behind. The garage would reach to the building frontage at the second and third levels and will be hidden by a screening element on the façade. Residential uses are located on levels six through 24 with an amenity floor and roof terrace located at the 25th floor. An open space roof terrace is also located on top of the building base podium at the sixth floor.

ZONING ANALYSIS

The subject property is located within the CBD-C, Central business District General Commercial Zone. The site is also located within the CBD Height Area 7, which does not set a maximum height limit. The intent of the CBD-C Zone is to create, maintain, and enhance areas of the Central Business District appropriate for a wide range of ground-floor office and other commercial activities. Upper-story spaces are intended to be available for a wide range of residential and office or other commercial activities.

Major Conditional Use Permit

Section 17.58.030 of the Oakland Planning Code requires that any large scale development in excess of 200,000 square feet requires a Conditional Use permit, which pursuant to Section 17.134.020 of the Planning Code is required to proceed to the Planning Commission as a Major Conditional Use permit for decision on the application.

DESIGN REVIEW

Staff requests that the Design Review Committee review the proposed development project and provide comments and/or design recommendations to the applicant and staff prior to the proposal moving forward to the full Planning Commission.

In general staff feels that the applicant has designed a very attractive downtown high rise by breaking down the mass of the tower into two forms with the L shape to the building and has provided an interesting glazing pattern that gives a "basket weave" appearance to the building

with the alternating recesses in the exterior glazing. Staff has the following concerns, comments and/or recommendations on the proposed design:

Project Driveway

The proposed driveway entrance on Webster Street is fairly large and very open and would not typically be supported for a residential development. However, since the intent is to continue to operate some of the parking garage as a public auto fee parking garage the openness of the garage is appropriate here. However, staff believes that the applicant should do more to make the walls of the recessed garage entrance more attractive. Staff believes that the applicant should immediately begin to work on a public art concept for this location to satisfy the public art requirement.

Upper Level Garage Facade

The parking garage for the project is successfully shielded at the ground floor behind the retail and lobby, and at the fifth and sixth floors behind the office space. However, the parking garage at the third and fourth floors projects right to the street facing façade of the building. The applicant has proposed a mix of perforated metal and colored glazing. Once again staff recommends that the applicant look into providing public art into this location as well as the ground floor driveway entrance to improve the visual interest of the building exterior. At the very least staff would like to see more detail on the perforated metal screening proposed which should include a decorative pattern of some type rather than plain perforated metal.

Vertical Accent Panels

Throughout the exterior of the project there are vertical yellow accent panels. While staff often does not comment on specific colors of finished building materials, the bright yellow fins are of concern. The material is used at the base of the building façade as well as in the return of the glazing recesses that create the basket weave look to the building façade. Staffs concern is that the yellow accent panel while seemingly meant to add attention to the glazing recesses it may somewhat diminish them since the bright yellow clashes so much with the glazing and it could look dated quite quickly and possibly take away from a more timeless design of the tower.

RECOMMENDATION

Staff recommends that the Committee review the proposed project for appropriate site and building design considerations and provide direction to staff and the project applicant prior to full consideration by the City Planning Commission.

Prepared by:

PETERSON Z. VOLLMANN
Planner IV

Approved:

ROBERT MERKAMP
Development Projects Manager

Attachments:
A. Project Plans

1721 Webster

Final Development Plan

Holland Partner Group / Solomon Cordwell Buenz / Oakland, CA

2017_0120

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PROJECT DIRECTORY

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TABLE OF CONTENTS

PROJECT DESCRIPTION

PROJECT SUMMARY
- Residential for lease tower, at 270 feet in height
- 250 units; mix of studio, 1 and 2 bedroom dwelling units
- Various residential amenity spaces; lobby, club room, outdoor pool, rooftop terraces
- 250 parking spaces within a multi-level podium structure under the tower
- 63 long-term bicycle parking spaces and 13 short-term bicycle parking spaces
- 2,100 sf of retail space on ground level
- 5,000 sf of office space on fourth level
- 15,090 sf of open space provided on podium and roof terraces

LOCATION
The project site is located on Webster Street, between 17th and 19th Street in the Central Business District-Commercial General Plan. The property has roughly 150 feet of frontage along Webster Street. Current use of the property is occupied by a two-story commercial building with ground floor retail and public parking covering roughly 100% of the property. The property is surrounded primarily with commercial and retail buildings, and a few surface parking lots. There is a small multi-family residential building located across Webster Street to the east. A 250 foot residential development was recently approved across the street at 1700 Webster Street as well as a 7-story mixed-use project at 1750 Webster Street. Snow Park is located northeast of the project site at 19th Street and Harrison Street.

PROJECT DESCRIPTION
Proposed project includes a residential tower with 2,100 sf of retail at grade, 5,000 sf of office space at the fourth floor integrated into a multi-story parking structure. The proposed parking garage will hold 250 parking spaces with one level below grade and five levels above grade forming the podium base, with pedestrian connections from a secured lobby. The proposed residential tower will be of Type 1 construction, and will be 24 stories and 270 feet tall. The tower will have 250 residential units, with a mix of studio, 1 and 2 bedroom dwelling units. Amenities will include a roof-level pool, fitness area, community room(s) and outdoor amenities at the podium and roof levels. Site area is approximately 22,500 sf on a 150' square lot. The podium base will be offset 1' from the three interior lot lines while the tower mass will vary from 15-20' off interior lot lines for tower separation. Both tower and podium are set to be built out to the property line to reinforce the street wall on Webster Street. Open space for the project will total 15,090 sf and is distributed across common and private terraces at roofs. Off-street loading is currently planned with one loading berth, serving the retail, office and residential uses. Additionally, the project intends to provide 63 long-term bicycle storage spaces in the parking structure and 13 short-term secured bicycle parking spaces on Webster Street.

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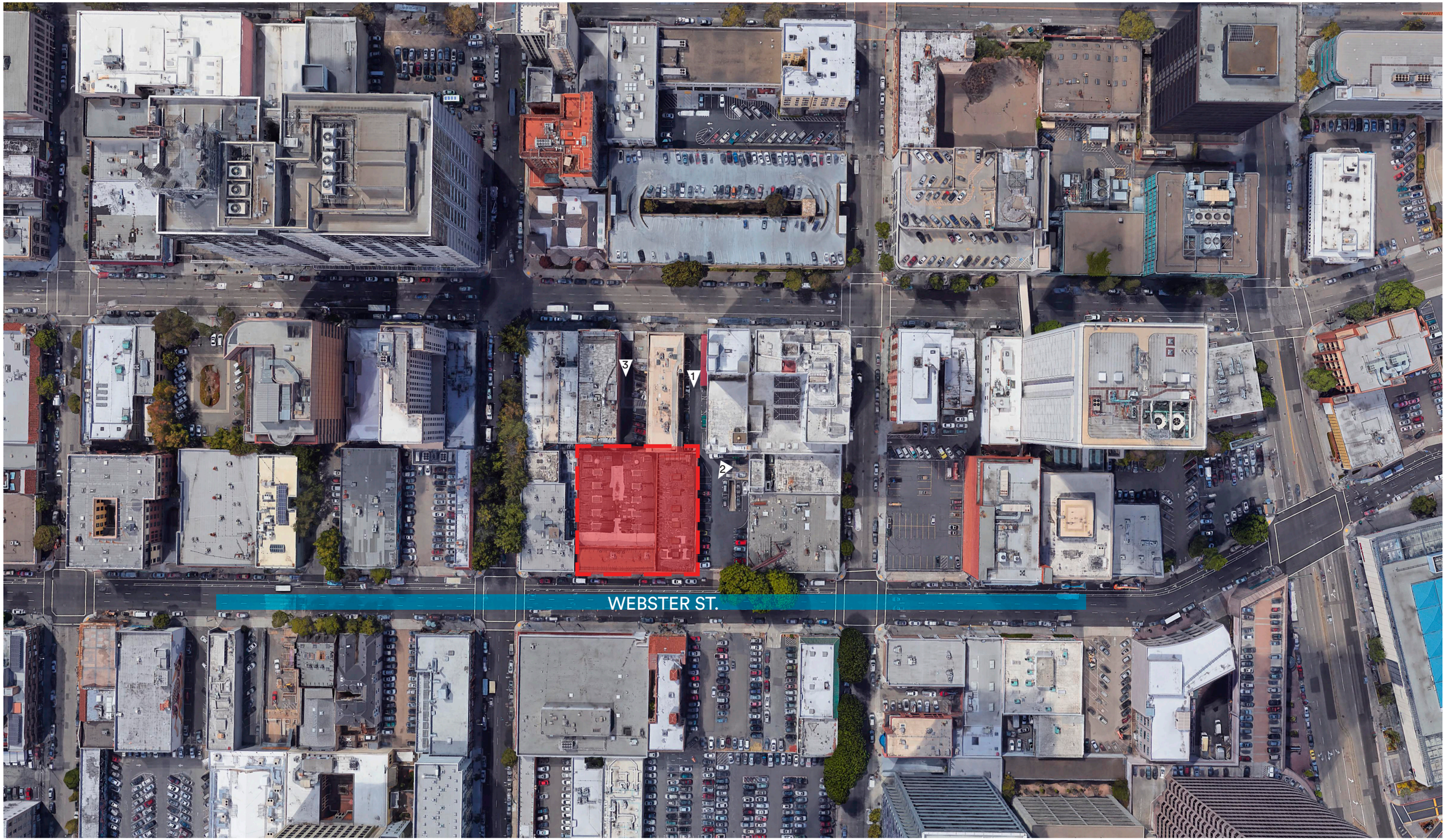

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Site Photo Key Map

Final Development Plan 2017_0120

1721 Webster Oakland, CA

Holland Partner Group / Solomon Cordwell Buenz 2016015

A0.10

1. East Towards Site from rear alley.

2. South Towards Site

3. East Towards Site from Rear Alley

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Site Photos

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1721 Webster Oakland, CA

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WEBSTER AVE. (FACING NORTH WEST)

1535, 1537, 1539 | 1545, 1603 | 1615, 1617, 1619 | 1627, 1629 | 1635 | 17th st | 1709

SITE

1709 | 1721 | 1801, 1803, 1805, 1807 | 19th st. | 1919 | 1935 | 1951

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Neighboring Property Views

Final Development Plan 2017_0120

1721 Webster Oakland, CA

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WEBSTER AVE. (FACING SOUTHEAST)

1938,
1940

1922

1900

19th st

1820,
1828,
1830

1732,
1734,
1750,
1810

1732,
1734

1700

1700

17th st.

1628,
1630

1618,
1620,
1622,
1624

1612,
1614,
1616

1608

1528

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Neighboring Property Views

Final Development Plan 2017_0120

1721 Webster Oakland, CA

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LEED 2009 for New Construction and Major Renovations

Project Checklist

1721 Webster St. Oakland CA

2017_0120

Sustainable Sites — Possible Points: 26

Y	?	N			
Y			Prereq 1	Construction Activity Pollution Prevention	
1			Credit 1	Site Selection	1
5			Credit 2	Development Density and Community Connectivity	5
		1	Credit 3	Brownfield Redevelopment	1
6			Credit 4.1	Alternative Transportation—Public Transportation Access	6
	1		Credit 4.2	Alternative Transportation—Bicycle Storage and Changing Rooms	1
3			Credit 4.3	Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles	3
	1		Credit 4.4	Alternative Transportation—Parking Capacity	2
		1	Credit 5.1	Site Development—Protect or Restore Habitat	1
		1	Credit 5.2	Site Development—Maximize Open Space	1
		1	Credit 6.1	Stormwater Design—Quantity Control	1
1			Credit 6.2	Stormwater Design—Quality Control	1
1			Credit 7.1	Heat Island Effect—Non-roof	1
1			Credit 7.2	Heat Island Effect—Roof	1
		1	Credit 8	Light Pollution Reduction	1

Water Efficiency — Possible Points: 10

Y	?	N			
Y			Prereq 1	Water Use Reduction—20% Reduction	
2		2	Credit 1	Water Efficient Landscaping	2 to 4
		2	Credit 2	Innovative Wastewater Technologies	2
2	2		Credit 3	Water Use Reduction	2 to 4

Energy and Atmosphere — Possible Points: 35

Y	?	N			
Y			Prereq 1	Fundamental Commissioning of Building Energy Systems	
Y			Prereq 2	Minimum Energy Performance	
Y			Prereq 3	Fundamental Refrigerant Management	
4	1	14	Credit 1	Optimize Energy Performance	1 to 19
1	1	5	Credit 2	On-Site Renewable Energy	1 to 7
2			Credit 3	Enhanced Commissioning	2
		2	Credit 4	Enhanced Refrigerant Management	2
	3		Credit 5	Measurement and Verification	3
	2		Credit 6	Green Power	2

Materials and Resources — Possible Points: 14

Y	?	N			
Y			Prereq 1	Storage and Collection of Recyclables	
		3	Credit 1.1	Building Reuse—Maintain Existing Walls, Floors, and Roof	1 to 3
		1	Credit 1.2	Building Reuse—Maintain 50% of Interior Non-Structural Elements	1
2			Credit 2	Construction Waste Management	1 to 2
		1	Credit 3	Materials Reuse	1 to 2

Materials and Resources, Continued

Y	?	N			
1	1		Credit 4	Recycled Content	1 to 2
	2		Credit 5	Regional Materials	1 to 2
	1		Credit 6	Rapidly Renewable Materials	1
1			Credit 7	Certified Wood	1

Indoor Environmental Quality — Possible Points: 15

Y	?	N			
Y			Prereq 1	Minimum Indoor Air Quality Performance	
Y			Prereq 2	Environmental Tobacco Smoke (ETS) Control	
		1	Credit 1	Outdoor Air Delivery Monitoring	1
	1		Credit 2	Increased Ventilation	1
1			Credit 3.1	Construction IAQ Management Plan—During Construction	1
		1	Credit 3.2	Construction IAQ Management Plan—Before Occupancy	1
1			Credit 4.1	Low-Emitting Materials—Adhesives and Sealants	1
1			Credit 4.2	Low-Emitting Materials—Paints and Coatings	1
1			Credit 4.3	Low-Emitting Materials—Flooring Systems	1
1			Credit 4.4	Low-Emitting Materials—Composite Wood and Agrifiber Products	1
	1		Credit 5	Indoor Chemical and Pollutant Source Control	1
1			Credit 6.1	Controllability of Systems—Lighting	1
1			Credit 6.2	Controllability of Systems—Thermal Comfort	1
1			Credit 7.1	Thermal Comfort—Design	1
		1	Credit 7.2	Thermal Comfort—Verification	1
1			Credit 8.1	Daylight and Views—Daylight	1
1			Credit 8.2	Daylight and Views—Views	1

Innovation and Design Process — Possible Points: 6

1			Credit 1.1	Innovation in Design: Specific Title	1
1			Credit 1.2	Innovation in Design: Specific Title	1
1			Credit 1.3	Innovation in Design: Specific Title	1
1			Credit 1.4	Innovation in Design: Specific Title	1
1			Credit 1.5	Innovation in Design: Specific Title	1
1			Credit 2	LEED Accredited Professional	1

Regional Priority Credits — Possible Points: 4

	1		Credit 1.1	Regional Priority: WE c3	1
		1	Credit 1.2	Regional Priority: EA c2	1
		1	Credit 1.3	Regional Priority: MR c1.1	1
1			Credit 1.4	Regional Priority: IEQ c8.1	1

Total — Possible Points: 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

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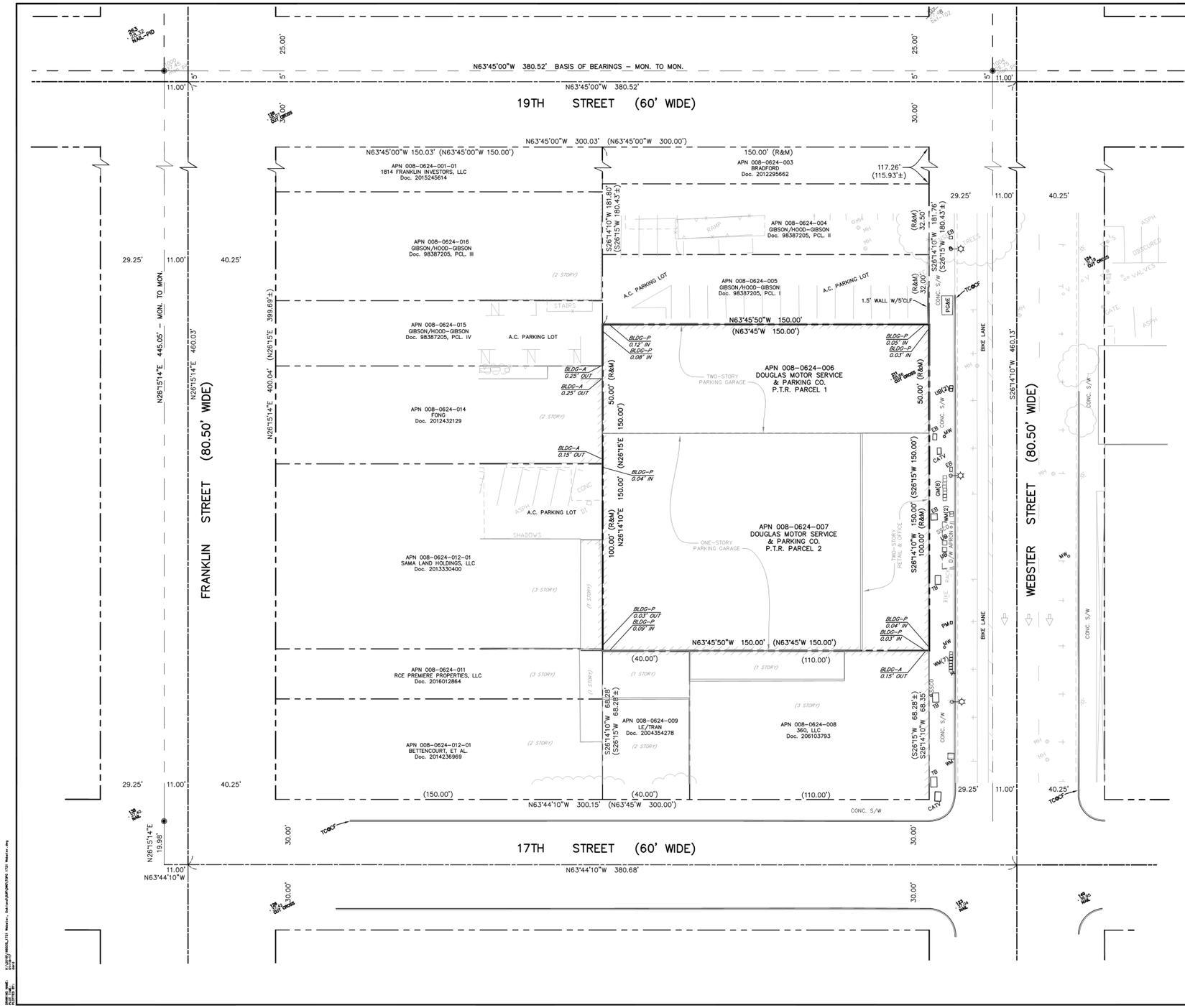

LEGEND

ASPH.	ASPHALT
BLDG	BUILDING, BUILDING CORNER
BLDG–A	BUILDING, ADJOINER PARCEL
BLDG–P	BUILDING, PROJECT SITE
BW	BACK OF WALK
CATV	CABLE TELEVISION VAULT
CC	CONCRETE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
EB	ELECTRICAL, SPLICE BOX
ESMT	EASEMENT
EXC.	EXCEPTION, PER TITLE REPORT
FNC	FENCE
GV	GAS VALVE
HYD	FURE HYDRANT
IN, OUT	INSIDE, OUTSIDE PROPERTY LINE
JP	JOINT UTILITY POLE
MW	MONITORING WELL
O.R.	OFFICIAL RECORD
PG&E	PACIFIC GAS & ELECTRIC VAULT
PM	PARKING METER PAYMENT CENTER
PL	PROPERTY LINE
R/W	RIGHT OF WAY
SDDI	STORM DRAIN DROP INLET, CATCH BASIN
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TB	TELEPHONE BOX
TC@CF	TOP OF CURB AT CURB FACE
UB	UTILITY BOX, VAULT
WM	WATER METER
WV	WATER VALVE
( )	DIMENSIONS PER DEED OR TITLE REPORT

SYMBOL LEGEND

- STREET LIGHT OR TRAFFIC SIGNAL
- WATER VALVE
- JOINT UTILITY POLE
- SIGN
- MANHOLE PER AERIAL MAPPING
- CITY STREET MONUMENT, BRASS PIN IN CONC.
- FIRE HYDRANT

LINETYPE LEGEND

- SUBJECT PARCEL, PROPERTY LINE
- STREET MONUMENT LINE
- ADJACENT LOT LINE
- INTERIOR LOT LINE
- STREET CENTERLINE
- BUILDING LINE AND WALL
- TREE DRIP LINE PER AERIAL MAPPING

BASIS OF BEARINGS

N63°45'00"W BETWEEN STREET MONUMENTS FOUND ON AN 11.00' OFFSET TO CENTERLINE OF 19th STREET AS SAME ARE SHOWN ON OAKLAND CITY MONUMENT MAP No. 221, AND AS SAID BEARING IS SHOWN IN THE GRANT DEED DOCUMENT No. 2015245614, OFFICIAL RECORDS OF ALAMEDA COUNTY AS SHOWN HEREON.

ELEVATION DATUM

NAVD88 DATUM, BASED ON GPS TIES TO FOUND CENTERLINE MONUMENT WELLS AND PHOTO CONTROL POINTS. TO OBTAIN CITY OF OAKLAND ELEVATIONS, SUBTRACT APPROXIMATELY 5.7 FEET FROM ELEVATIONS AS SHOWN.

REFERENCED TITLE REPORT

TITLE COMPANY:	FIDELITY NATIONAL TITLE COMPANY 100 PINE STREET SUITE 2460 SAN FRANCISCO, CA 94111
ORDER NO.	013–23080872–SL0
EFFECTIVE DATE:	April 18, 2016, 7:30 A.M.
TITLE OFFICER:	SHANNON LIPSEY
TITLE VESTED IN:	DOUGLAS MOTOR SERVICE AND DOUGLAS PARKING COMPANY, A GENERAL PARTNERSHIP
NATURE OF TITLE:	A FEE
CURRENT DEED:	REEL 5190, IMAGE 611 (AT TIME OF FIELD SURVEY, 6/29/16)

SURVEYOR'S CERTIFICATE

This is to certify that this topographic map was made by me or under my supervision. The field work was completed on June 29, 2016.

David Darling P.L.S. 7625

Date

1" = 20'

GRAPHIC SCALE

20 0 20 40

BKF ENGINEERS | SURVEYORS | PLANNERS
1650 TECHNOLOGY DRIVE
SUITE 650
SAN JOSE, CA 95110
408-467-9100
408-467-9199 (FAX)

BOUNDARY & TOPOGRAPHIC SURVEY
1717 & 1739 WEBSTER STREET, APN's 008-0624-006, 007
(PROPOSED ADDRESS: 1721 WEBSTER STREET)

CITY OF OAKLAND
ALAMEDA COUNTY
CALIFORNIA

No.	Revisions

Date: 1/18/2017
Scale: 1"=20'
Design: ---
Drawn: DSD
Approved: DSD
Job No: 2016035-50

Drawing Number:
TOPO SURVEY
1 OF 1

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HOLLAND PARTNER GROUP

BKF ENGINEERS / SURVEYORS / PLANNERS

REGISTERED PROFESSIONAL ENGINEER
DERRICK CHAN
C 83189
CIVIL
STATE OF CALIFORNIA

Boundary and Topographic Survey

Final Development Plan 2017_0120

1721 Webster Oakland, CA

Holland Partner Group / Solomon Cordwell Buenz 2016015

C0.1

1721 WEBSTER STREET - VESTING TENTATIVE PARCEL MAP NO. 10637

ONE LOT PARCEL MAP FOR CONDOMINIUM PURPOSES

4 CONDOMINIUM UNITS

CITY OF OAKLAND, ALAMEDA COUNTY, CALIFORNIA

LOCATION MAP

NTS

ABBREVIATIONS

Δ	DELTA
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
B/W	BACK OF WALK
BFP	BACKFLOW PREVENTER
BLDG	BUILDING
BTM	BOTTOM
BVCE	BEGIN VERTICAL CURVE ELEVATION
BVCS	BEGIN VERTICAL CURVE STATION
C&G	CURB AND GUTTER
CB	CATCH BASIN
CCP	CONCRETE CYLINDER PIPE
CL	CENTER LINE
CONC	CONCRETE
CTV	CABLE TELEVISION
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
DOC	DOCUMENT
DW	DOMESTIC WATER
DWY	DRIVEWAY
E	EAST, ELECTRIC
EG	EXISTING GROUND
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EVCE	END VERTICAL CURVE ELEVATION
EVCS	END VERTICAL CURVE STATION
EX	EXISTING
FDC	FIRE DEPARTMENT CHECK
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FNC	FENCE
FT	FEET
FW	FIRE WATER
GND	GROUND
GR	GRATE
HORZ	HORIZONTAL
INV	INVERT
IRR	IRRIGATION
L	LENGTH
L/C	LANDSCAPE
LF	LINEAR FEET
LG	LIP OF GUTTER
LID	LOW IMPACT DEVELOPMENT
LT	LIGHT
N	NORTH
NTS	NOT TO SCALE
OH	OVERHEAD
OR, O.R.	OFFICIAL RECORD
PERF	PERFORATED
PG&E	PACIFIC GAS & ELECTRIC
PL	PROPERTY LINE
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
S	SOUTH
S/W	SIDEWALK
S.A.D.	SEE ARCHITECTURAL DRAWINGS
SD	STORM DRAIN
SDAD	STORM DRAIN AREA DRAIN
SDCO	STORM DRAIN CLEANOUT
SDDI	STORM DRAIN DROP INLET
SDMH	STORM DRAIN MANHOLE
S.L.P.	SEE LANDSCAPE PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
ST	STREET
STA	STATION
TBD	TO BE DETERMINED
TC	TOP OF CURB
TEL	TELEPHONE
TTC	THEORETICAL TOP OF CURB
TWELL	TREE WELL
TYP	TYPICAL
VC	VERTICAL CURVE
VERT	VERTICAL
W	WEST
WM	WATER METER
WV	WATER VALVE
W/	WITH

BASIS OF BEARINGS

N63°45'00"W BETWEEN STREET MONUMENTS FOUND ON AN 11.00' OFFSET TO CENTERLINE OF 19TH STREET AS SAME ARE SHOWN ON OAKLAND CITY MONUMENT MAP NO. 221, AND AS SAID BEARING IS SHOWN IN THE GRANT DEED DOCUMENT NO. 2015245614, OFFICIAL RECORDS OF ALAMEDA COUNTY AS SHOWN HEREON.

BENCHMARK

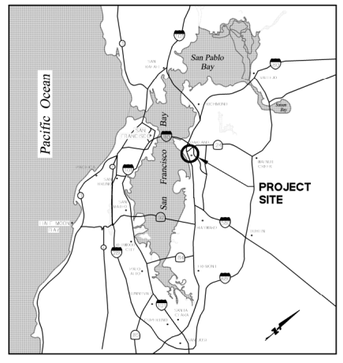
NAVD88 DATUM, BASED ON GPS TIES TO FOUND CENTERLINE MONUMENT WELLS AND PHOTO CONTROL POINTS. TO OBTAIN CITY OF OAKLAND ELEVATIONS, SUBTRACT APPROXIMATELY 5.7 FEET FROM ELEVATIONS AS SHOWN.

UTILITY NOTE

THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATIONS AND ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY LINES SHOWN HEREON OR ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN.

LEGEND

	PROPOSED	EXISTING
LOT LINE		
CONTOUR LINE		100
FENCE	-x-x-x-	-x-x-x-
STORM DRAIN (SDR 35 PVC)		
SANITARY SEWER (SDR 35 PVC)		SS
WATER MAIN (C900 PVC)	W	W
GAS LINE	GAS	GAS
JOINT TRENCH		E
SANITARY SEWER CLEANOUT	CO	
SANITARY SEWER MANHOLE	SSMH	S
STORM DRAIN DROP INLET		
STORM DRAIN MANHOLE		
MEDIA FILTER		
WATER METER	WM	
FIRE DEPARTMENT CONNECTION	WALL FDC	
FIRE HYDRANT	FH	
WATER VALVE		
CAP		
MONUMENT		
STREETLIGHT		



VICINITY MAP

NTS

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408.467.9100

SHEET INDEX

SURVEYOR'S STATEMENT

THIS VESTING TENTATIVE PARCEL MAP SHEET (C3.1) FOR CONDOMINIUM PURPOSES HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

01.20.2017

DAVE DARLING, PLS — DATE
SURVEY PROJECT ENGINEER
BKF ENGINEERS

ENGINEER'S STATEMENT

ENGINEERING SHEETS (C1.0–C3.0, C4.0–C7.1) SUPPORTING THIS VESTING TENTATIVE PARCEL MAP FOR CONDOMINIUM PURPOSES HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

01.20.2017

PATRICK CHAN, PE — DATE
PROJECT MANAGER
BKF ENGINEERS

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BKF ENGINEERS / SURVEYORS / PLANNERS

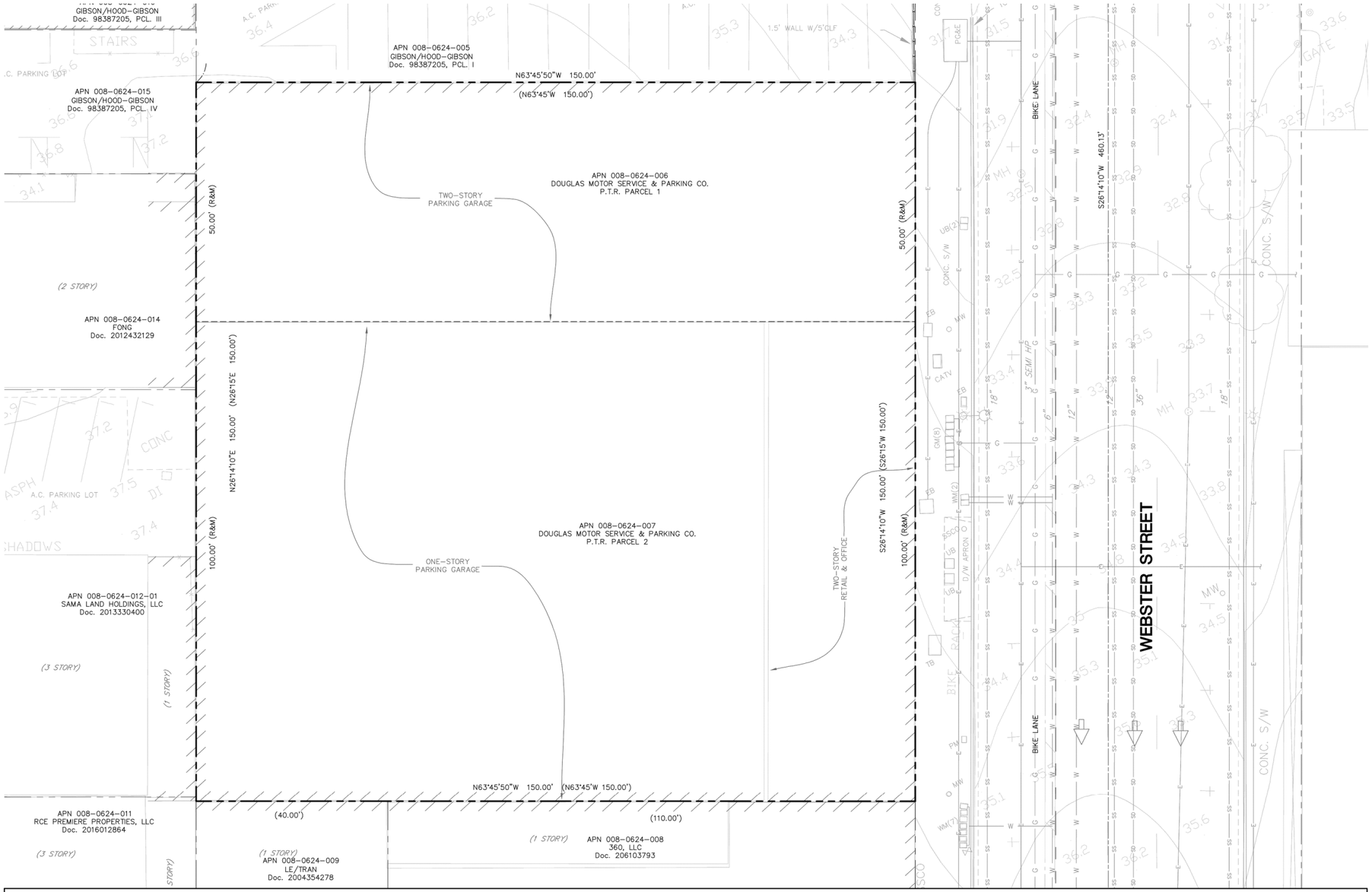
REGISTERED PROFESSIONAL ENGINEER PATRICK CHAN C 83189 CIVIL STATE OF CALIFORNIA

Civil Title Sheet

Final Development Plan 2017_0120

1721 Webster Oakland, CA

Holland Partner Group / Solomon Cordwell Buenz 2016015



LEGEND

- STREET LIGHT OR TRAFFIC SIGNAL
- WATER VALVE
- JOINT UTILITY POLE
- SIGN
- MANHOLE PER AERIAL MAPPING
- CITY STREET MONUMENT, BRASS PIN IN CONC.
- FIRE HYDRANT

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

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BkF Engineers / Surveyors / Planners

REGISTERED PROFESSIONAL ENGINEER
PATRICK CAHAN
C 83189
CIVIL
STATE OF CALIFORNIA

Existing Conditions

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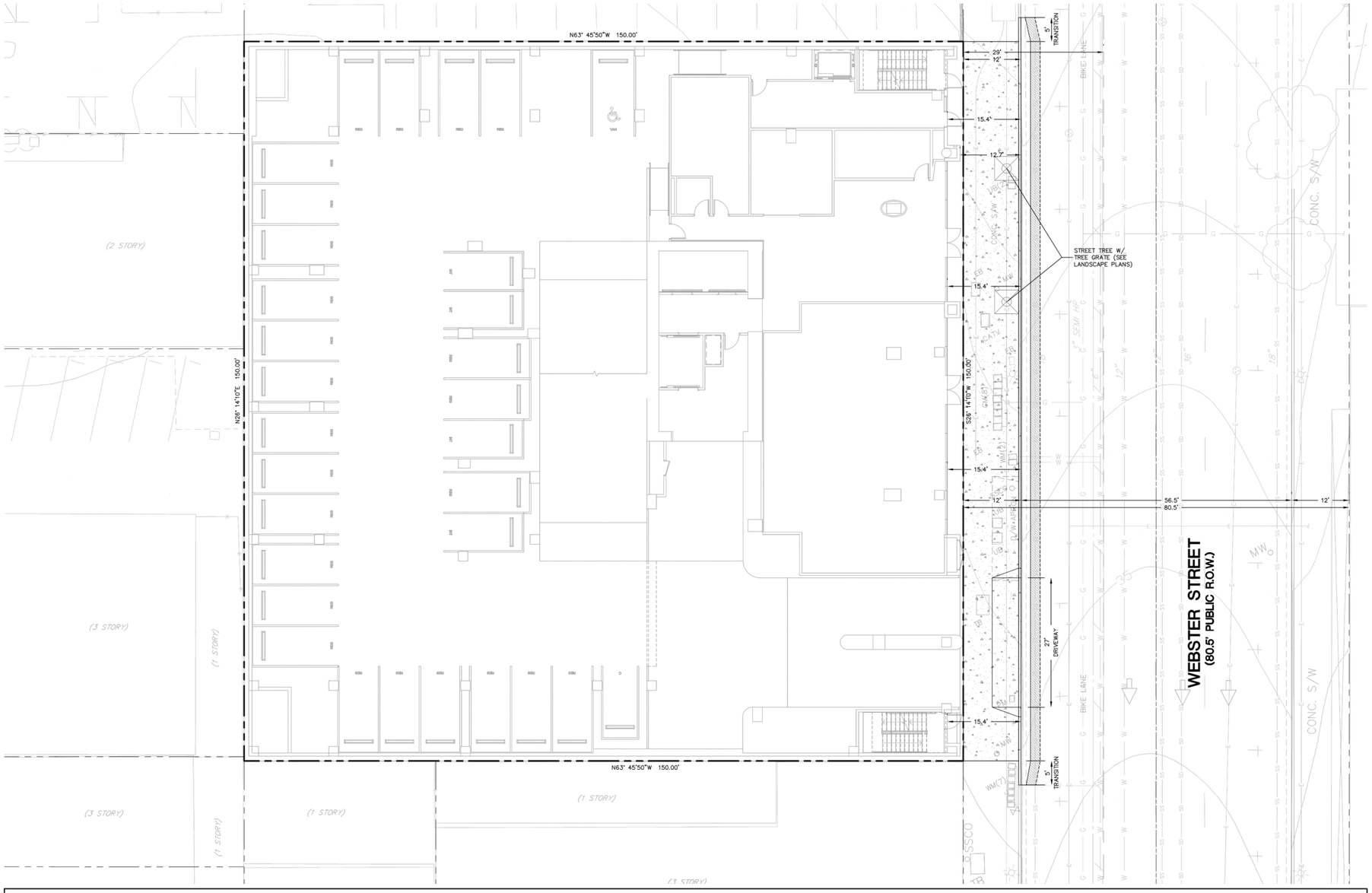
C2.0



LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- STREET CENTER LINE
- SAWCUT LINE
- CURB AND GUTTER (PER CITY OF OAKLAND STANDARD DETAIL S-1, TYPE A)
- DRIVEWAY (PER CITY OF OAKLAND STANDARD DETAIL S-2)
- CAST IN PLACE CONCRETE/CONCRETE UNIT PAVERS (SEE LANDSCAPE PLANS FOR DETAILS AND LAYOUT)
- AC DEEPLIFT

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

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Preliminary Site Plan

Final Development Plan 2017_0120

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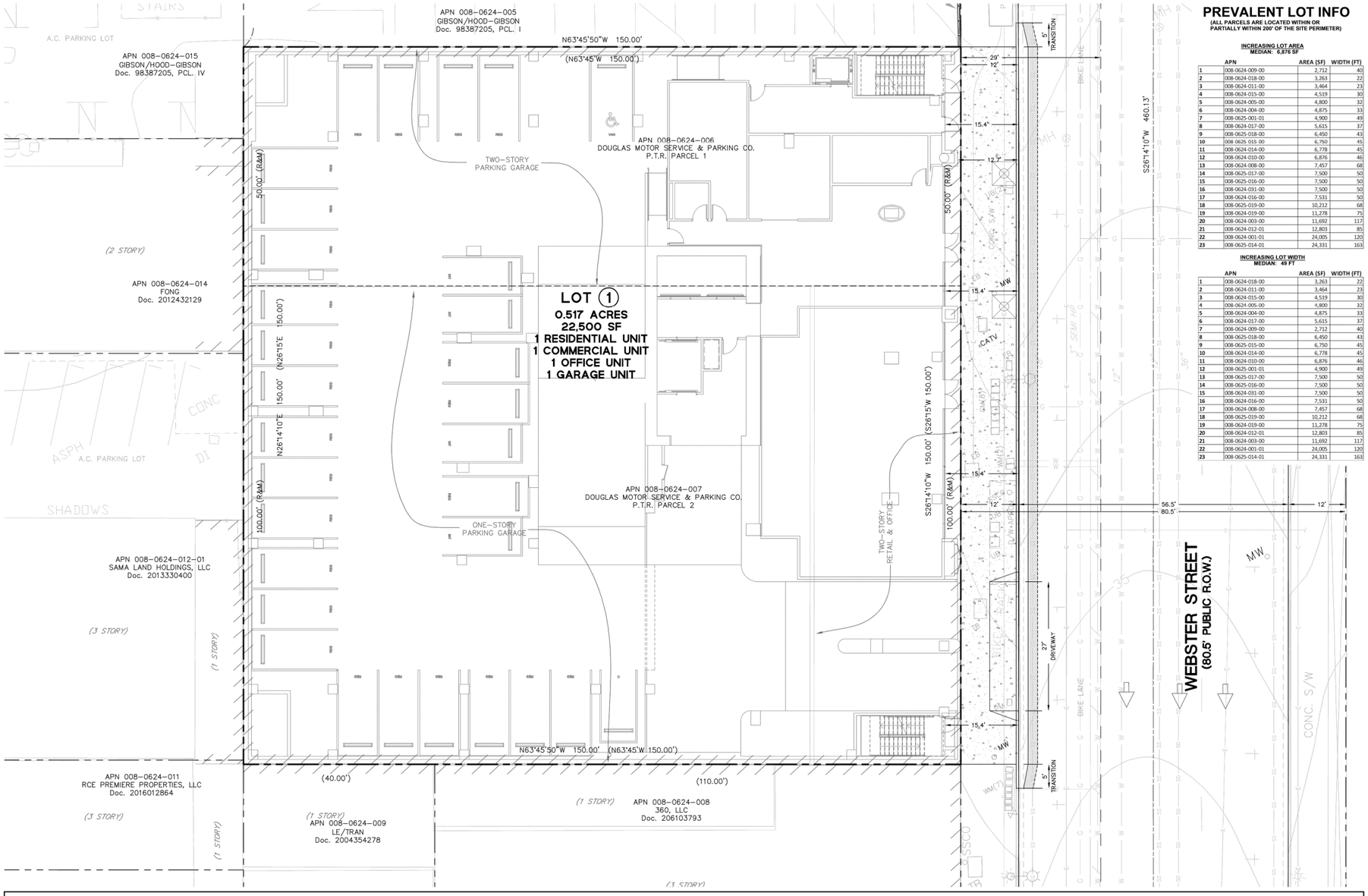
C3.0



PREVALENT LOT INFO

(ALL PARCELS ARE LOCATED WITHIN OR PARTIALLY WITHIN 200' OF THE SITE PERIMETER)

INCREASING LOT AREA
MEDIAN: 6,876 SF

	APN	AREA (SF)	WIDTH (FT)
1	008-0624-009-00	2,712	40
2	008-0624-018-00	3,263	22
3	008-0624-011-00	3,464	23
4	008-0624-015-00	4,519	30
5	008-0624-005-00	4,800	32
6	008-0624-004-00	4,875	33
7	008-0625-001-01	4,900	49
8	008-0624-017-00	5,615	37
9	008-0625-018-00	6,450	43
10	008-0625-015-00	6,750	45
11	008-0624-014-00	6,778	45
12	008-0624-010-00	6,876	46
13	008-0624-008-00	7,457	68
14	008-0625-017-00	7,500	50
15	008-0625-016-00	7,500	50
16	008-0624-031-00	7,500	50
17	008-0624-016-00	7,531	50
18	008-0625-019-00	10,212	68
19	008-0624-019-00	11,278	75
20	008-0624-003-00	11,692	117
21	008-0624-012-01	12,803	85
22	008-0624-001-01	24,005	120
23	008-0625-014-01	24,331	163

INCREASING LOT WIDTH
MEDIAN: 49 FT

	APN	AREA (SF)	WIDTH (FT)
1	008-0624-018-00	3,263	22
2	008-0624-011-00	3,464	23
3	008-0624-015-00	4,519	30
4	008-0624-005-00	4,800	32
5	008-0624-004-00	4,875	33
6	008-0624-017-00	5,615	37
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14	008-0625-016-00	7,500	50
15	008-0624-031-00	7,500	50
16	008-0624-016-00	7,531	50
17	008-0624-008-00	7,457	68
18	008-0625-019-00	10,212	68
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21	008-0624-003-00	11,692	117
22	008-0624-001-01	24,005	120
23	008-0625-014-01	24,331	163

LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- STREET CENTER LINE
- SAWCUT LINE
- CURB AND GUTTER (PER CITY OF OAKLAND STANDARD DETAIL S-1, TYPE A)
- DRIVEWAY (PER CITY OF OAKLAND STANDARD DETAIL S-2)
- CAST IN PLACE CONCRETE/CONCRETE UNIT PAVERS (SEE LANDSCAPE PLANS FOR DETAILS AND LAYOUT)
- AC DEEPLIFT

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

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Vesting Tentative Parcel Map

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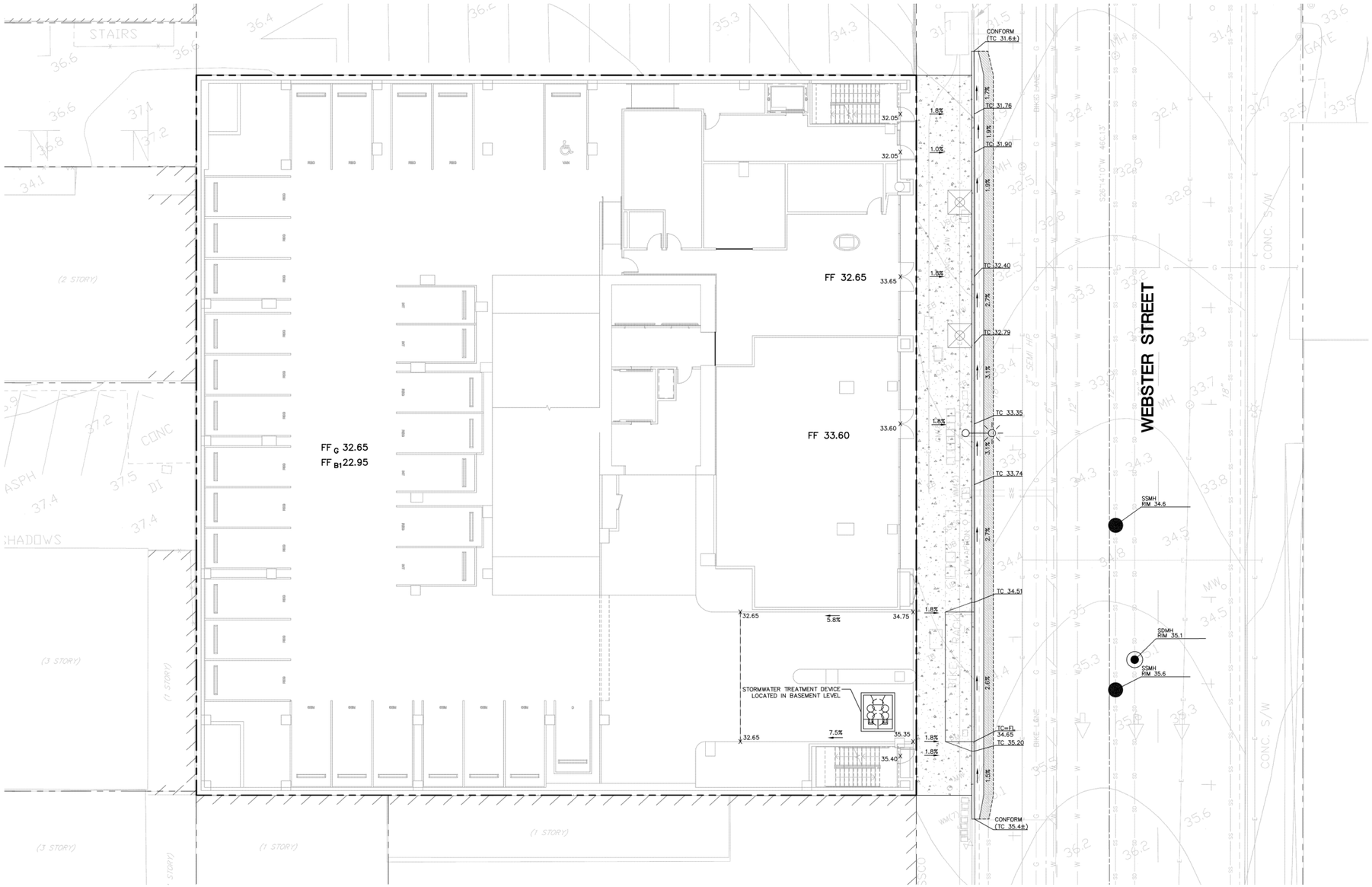

LEGEND

PROPERTY LINE

ADJACENT LOT LINE

STREET CENTER LINE

SAWCUT LINE

CURB AND GUTTER
(PER CITY OF OAKLAND
STANDARD DETAIL S-1, TYPE A)

DRIVEWAY
(PER CITY OF OAKLAND
STANDARD DETAIL S-2)

TC 35.13

PROPOSED GRADE

1.8%

HARDSCAPE SLOPE

EARTH WORK QUANTITIES

CUT: 14,600 CY
FILL: 0 CY
EXPORT: 14,600 CY
IMPORT: 0 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE . IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

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REGISTERED PROFESSIONAL ENGINEER DERRICK CHAN C 83189 CIVIL STATE OF CALIFORNIA

Preliminary Grading & Drainage Plan

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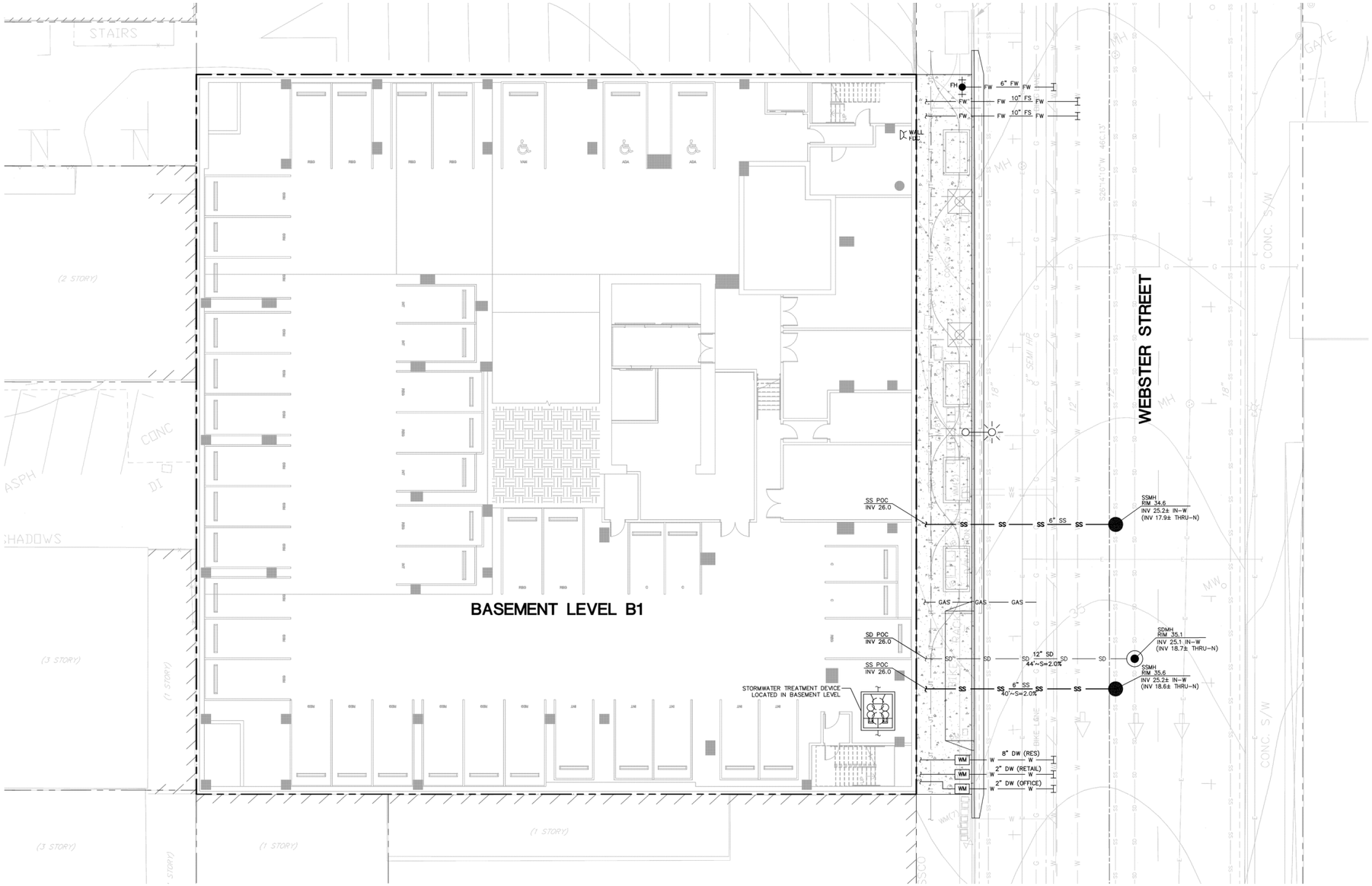
2017_0120

2016015

C4.0



LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- STREET CENTER LINE
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DOMESTIC WATER LINE
- FIRE WATER LINE
- GAS LINE
- JOINT TRENCH LINE
- (N) STORM DRAIN MANHOLE
- STORM DRAIN TREATMENT DEVICE
- (N) SANITARY SEWER MANHOLE
- WATER METER
- NEW FIRE HYDRANT
- WALL MOUNTED FDC
- STREETLIGHT
- (N) TRANSFORMER (SUBGRADE)

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

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Preliminary Utility Plan

Final Development Plan

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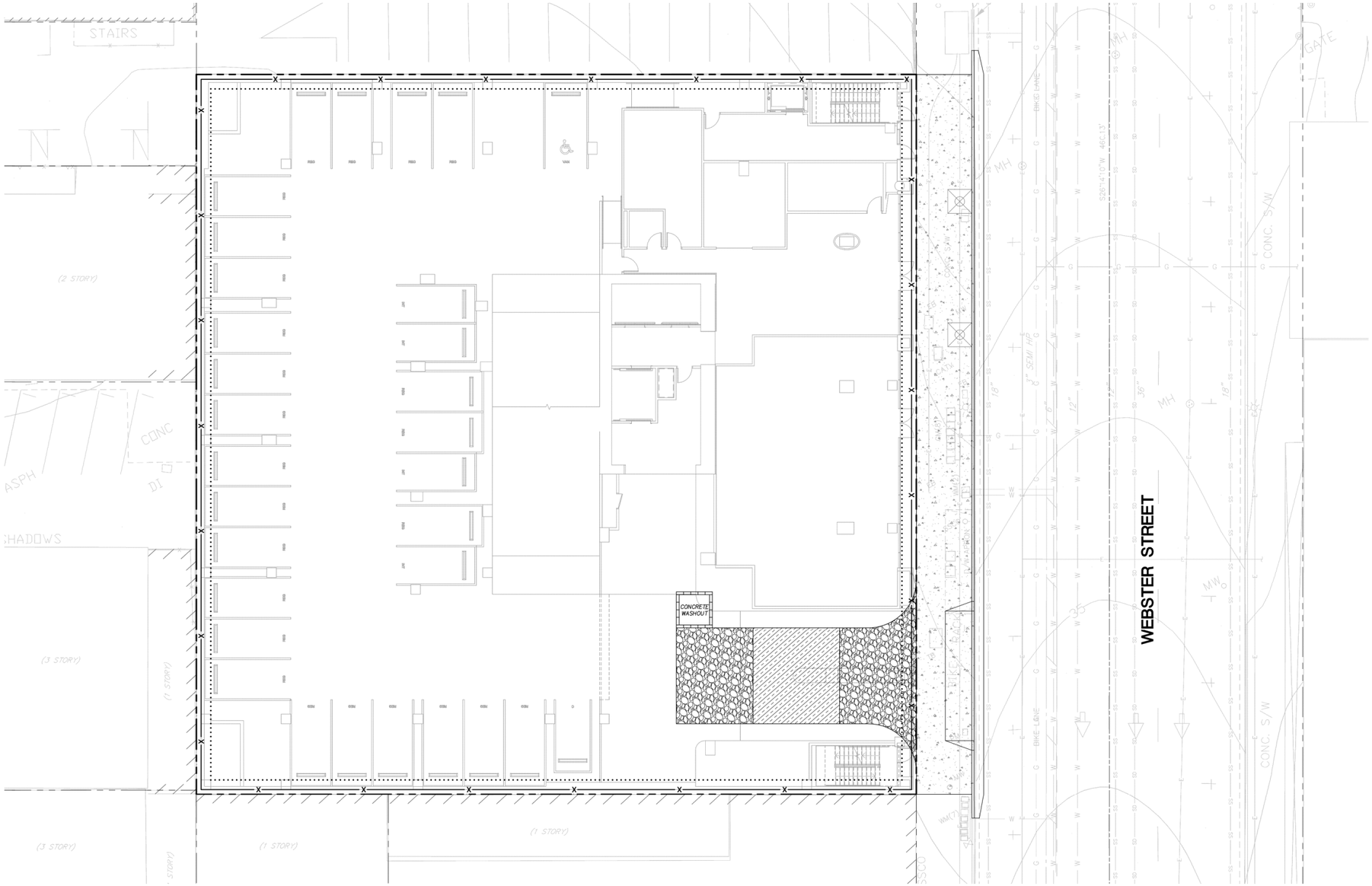
C5.0



LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- STREET CENTER LINE
- FIBER ROLL PER DETAIL 1, SHEET C6.1
- TEMPORARY 6' CONSTRUCTION FENCE
- STORM DRAIN INLET PROTECTION PER DETAIL 3, SHEET C6.1, TYPE A
- STORM DRAIN INLET PROTECTION PER DETAIL 4, SHEET C6.1, TYPE B
- STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL 2, SHEET C6.1
- ENTRANCE/EXIT TIRE WASH PER DETAIL 6, SHEET C6.1 (ACTUAL LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR)
- CONCRETE WASTE MANAGEMENT PER DETAIL 7, SHEET C6.1 (ACTUAL LOCATION TO BE DETERMINED IN FIELD BY CONTRACTOR)

PROTECT ALL STORM DRAIN INLETS WITHIN 150' OF THE PROJECT SITE

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

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BkF ENGINEERS / SURVEYORS / PLANNERS

REGISTERED PROFESSIONAL ENGINEER CHRISTOPHER CHIAK C 83189 CIVIL STATE OF CALIFORNIA

Preliminary Erosion Control Plan

Final Development Plan

1721 Webster Oakland, CA

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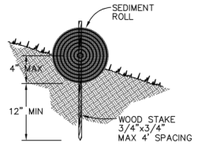
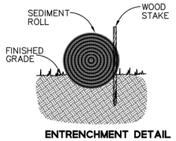
2017_0120

2016015

C6.0



ENTRENCHMENT DETAIL IN SLOPE AREA



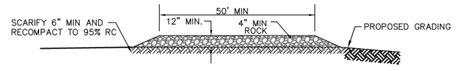
ENTRENCHMENT DETAIL IN FLAT AREA

NOTES:

1. USE REED & GRAHAM, INC. GEOSYNTHETICS STRAW WATTLE FIBER ROLL (COMES IN 9" X 25' ROLLS) OR APPROVED EQUIVALENT.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" – 5" DEEP, DUG ON CONTOUR.
3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY–PASSING THE INLET.
4. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY. IN PAVED AREAS, USE SAND BAGS TO SECURE FIBER ROLLS IN PLACE OF WOOD STAKE.

1 – FIBER ROLL

SCALE: NTS

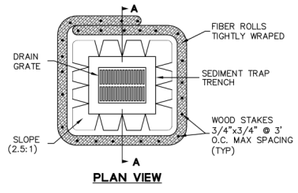


NOTES:

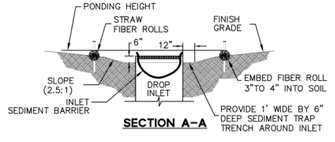
1. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE DESIGNED AND MAINTAINED IAW 2010 CFC, CHAPTER 5, 503.2.3.MVW 45,000 LBS.
2. SCARIFY THE TOP 6" OF SUBGRADE AND RECOMPACT TO AT LEAST 95% RELATIVE COMPACTION.
3. THE LOCATIONS SHOWN ARE FOR INFORMATION ONLY. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT–OF–WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT–OF–WAYS SHALL BE REMOVED IMMEDIATELY.
4. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT–OF–WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. SEDIMENT SHALL BE PREVENTED FROM ENTERING THE STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF INLET PROTECTION (E.G. GRAVELBAGS OR OTHER APPROVED METHODS).
5. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 4" MIN ROCK.
6. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12", THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, OR 25', WHICHEVER IS LESS.
7. THE LENGTH OF THE PAD SHALL NOT BE LESS THAN 50'.

2 – STABILIZED CONSTRUCTION ENTRANCE/EXIT

SCALE: NTS



PLAN VIEW



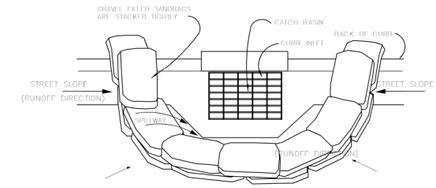
SECTION A–A

NOTE:

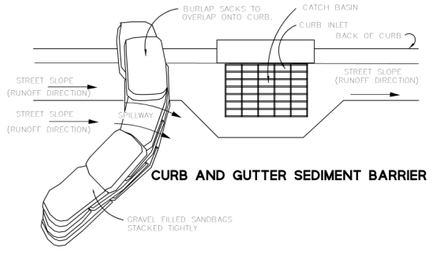
1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THE SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND WITH PLASTIC NETTING. THEY ARE APPROXIMATELY 8" DIAMETER AND 20–30 FEET LONG.

4 – INLET PROTECTION (TYPE B)

SCALE: NTS



CURB INLET SEDIMENT BARRIER



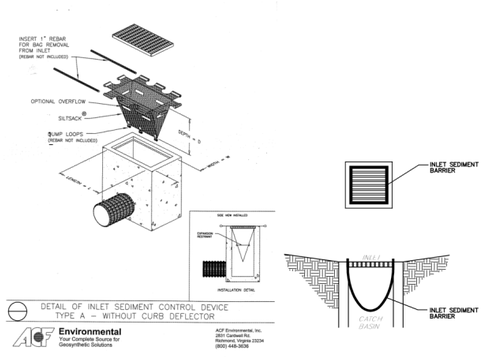
CURB AND GUTTER SEDIMENT BARRIER

NOTES:

1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
2. SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW. TOP OF SPILLWAY SHALL BE LOWER THAN TOP OF CURB.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT, SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

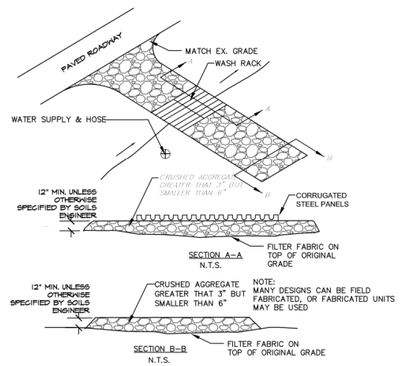
3 – INLET PROTECTION (TYPE A)

SCALE: NTS



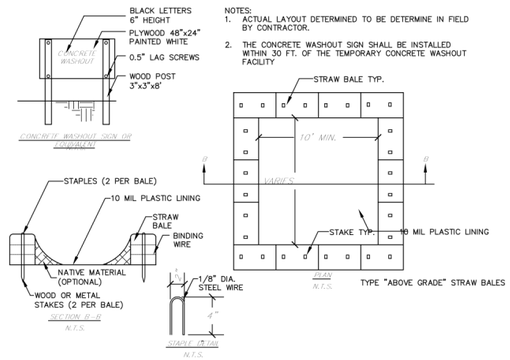
5 – INLET PROTECTION (TYPE C)

SCALE: NTS



6 – ENTRANCE / OUTLET TIRE WASH

SCALE: NTS



TYPE "ABOVE GRADE" STRAW BALES

7 – CONCRETE WASTE MANAGEMENT

SCALE: NTS

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Preliminary Erosion Control Details

Final Development Plan 2017_0120

1721 Webster Oakland, CA

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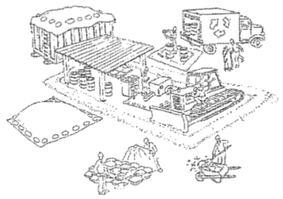
C6.1

Pollution Prevention - It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with County of Alameda requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control as needed.
- Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with Alameda County Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- Cover all dumpsters with a tarp at the end of every work day or during wet weather.

Hazardous materials management

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- Dispose of all containment and cleanup materials properly.
- Report any hazardous materials spills immediately! Dial 911 or Alameda [[== Insert Agency Name and phone number ==]]

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Earthwork & contaminated soils

- Keep excavated soil on the site where it will not collect in the street.
- Transfer to dump trucks should take place on the site, not in the street.
- Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.

- Earth moving activities are only allowed during dry weather by permit and as approved by the County Inspector in the Field.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.
- If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of cntaminated soil according to their instructions.

Dewatering operations

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.

- Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.

- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

Landscape Materials

- Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

Storm drain polluters may be liable for fines of $10,000 or more per day!

For references and more detailed information:
www.cleanwaterprogram.org
www.cabmphandbooks.com

REVISIONS

NO.	DESCRIPTION	BY	DATE	APP'D
1				
2				
3				
4				
5				

REGISTERED PROFESSIONAL ENGINEER DANIEL T. JACKSMAN No. 037823 Exp. 3/31/2011 CIVIL STATE OF CALIFORNIA

APPROVED

DATE ADV DATE

COUNTY OF ALAMEDA ☆ PUBLIC WORKS AGENCY

ZONE X, LINE X
PROJECT DESCRIPTION
POLLUTION PREVENTION

WORK ORDER NO. FXXCXX
SPECIFICATION NO. FC XX–XXX
SHEET NO. 2 OF #
FILE NO. CB-XXX

N:\Standards\2008SDSK\2008 WBLOCKS\Sheet 2 - Pollution Prevention-F.dwg 3-25-11 12:09:06 PM daniels

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HOLLAND PARTNER GROUP

BKF ENGINEERS / SURVEYORS / PLANNERS

REGISTERED PROFESSIONAL ENGINEER PATRICK CHAN C 83189 CIVIL STATE OF CALIFORNIA

Best Management Practices

Final Development Plan 2017_0120

1721 Webster Oakland, CA

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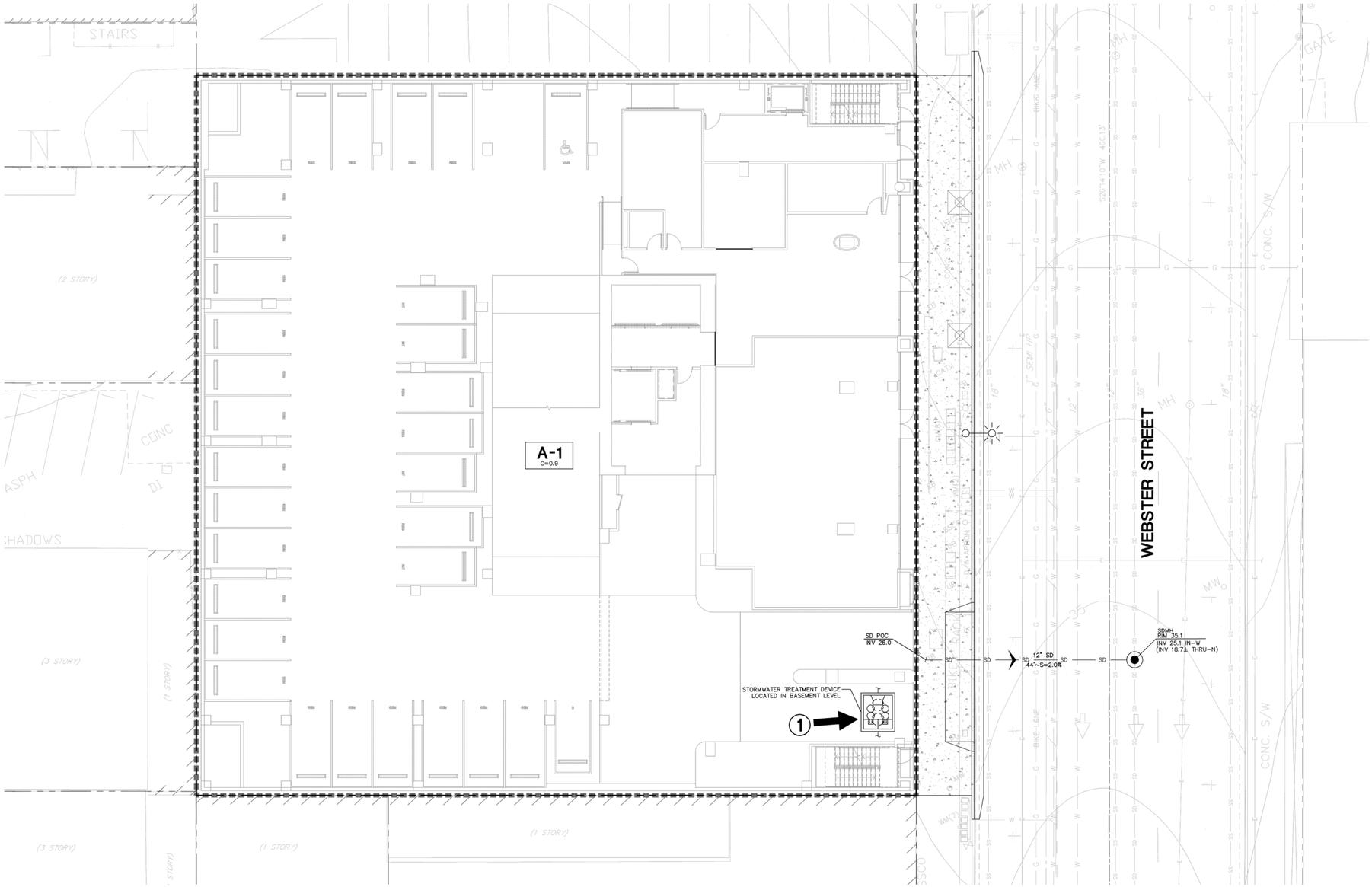

LEGEND

PROPERTY LINE

ADJACENT LOT LINE

STREET CENTER LINE

A-X
C=X.X

DRAINAGE AREA BOUNDARY

POINT OF TREATMENT OF DRAINAGE AREA

DIRECTION OF FLOW

STORM DRAIN TREATMENT DEVICE (MEDIA FILTER) SEE SHEET C7.1

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

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ENGINEERS / SURVEYORS / PLANNERS

REGISTERED PROFESSIONAL ENGINEER
PATRICK CAPUA
C 83189
CIVIL
STATE OF CALIFORNIA

Preliminary Stormwater Control Plan

Final Development Plan 2017_0120

1721 Webster Oakland, CA

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STORMWATER COMPLIANCE DATA

STORMWATER COMPLIANCE DATA

PER THE MUNICIPAL REGIONAL STORMWATER PERMIT ORDER NO. R2-0074, HIGH DENSITY DEVELOPMENT PROJECTS ARE ELIGIBLE FOR LOW IMPACT DESIGN TREATMENT REDUCTION CREDITS. THE LID TREATMENT REDUCTION CREDIT IS THE MAXIMUM PERCENTAGE OF THE AMOUNT OF RUNOFF THAT MAY BE TREATED WITH EITHER TREE-BOX-TYPE HIGH FLOWRATE BIOFILTERS OR VAULT-BASED HIGH FLOWRATE MEDIA FILTERS. THIS PROJECT IS CLASSIFIED AS A CATEGORY B SPECIAL PROJECT (HIGH DENSITY DEVELOPMENT) AND QUALIFIES FOR A TOTAL LID TREATMENT REDUCTION CREDIT OF 100% AS DESCRIBED BELOW.

SPECIAL PROJECT CATEGORY "B"

a. IS THE PROJECT LOCATED IN A CBD, CN-1, CN-2, CN-3, RU-5, OR S-15 ZONE; OR LOCATED IN A RETAIL, DINING, AND ENTERTAINMENT DISTRICT IN JACK LONDON SQUARE ON THE CITY'S GENERAL PLAN MAP, OR LOCATED IN A CITY-DESIGNATED HISTORIC DISTRICT (EITHER AN AREA OF PRIMARY IMPORTANCE OR AN AREA OF SECONDARY IMPORTANCE); OR LOCATED ON A SITE LISTED ON THE CITY'S LOCAL REGISTER OF HISTORICAL RESOURCES (AS DEFINED BY THE OAKLAND PLANNING CODE)?
YES, THE PROJECT IS LOCATED IN A DOWNTOWN CORE AREA & CENTRAL BUSINESS DISTRICT.

b. DOES THE PROJECT CREATE AND/OR REPLACE MORE THAN 0.5 ACRES OF IMPERVIOUS SURFACE BUT NO MORE THAN 2.0 ACRES OF IMPERVIOUS SURFACE?
YES, THE PROJECT CREATES AND/OR REPLACES 0.52 ACRES OF IMPERVIOUS SURFACE.

c. DOES THE PROJECT INCLUDE NO SURFACE PARKING, EXCEPT FOR INCIDENTAL PARKING FOR EMERGENCY VEHICLE ACCESS, ADA ACCESS, AND PASSENGER OR FREIGHT LOADING ZONES?
YES, THE PROJECT DOES NOT INCLUDE ANY SURFACE PARKING.

d. DOES THE PROJECT HAVE AT LEAST 85% LOT COVERAGE BY PERMANENT STRUCTURES?
YES, THE PROJECT HAS 100% LOT COVERAGE BY PERMANENT STRUCTURES.

e. DOES THE PROJECT HAVE A MINIMUM OF 50 DWELLING UNITS PER ACRE (FOR RESIDENTIAL PROJECTS) OR A FLOOR AREA RATIO (FAR) OF 2.0 (FOR NONRESIDENTIAL AND MIXED-USE PROJECTS)?
YES, THE PROJECT HAS 480 DWELLING UNITS PER ACRE.

SPECIAL PROJECT "B" DENSITY CREDIT
100% TREATMENT REDUCTION CREDIT ≥ 100 UNITS PER ACRE (RESIDENTIAL); OR ≥ 6.0 FLOOR AREA RATIO (FAR)(NONRESIDENTIAL/MIXED-USE).

STORMWATER TREATMENT AREA DATA

TOTAL LID TREATMENT REDUCTION CREDIT	= 100%
TOTAL IMPERVIOUS AREA	= 19,880 SF
AREA ALLOWED TO BE TREATED W/ NON-LID TREATMENT MEASURES (MEDIA FILTER)	= 19,880 SF
MINIMUM AREA REQUIRED TO BE TREATED W/ LID TREATMENT MEASURES (BIOTREATMENT)	= 0 SF
PROPOSED AREA TREATED W/ LID TREATEMENT MEASURES (BIOTREATMENT)	= 0 SF

STORMWATER TREATMENT DEVICE CALCULATION

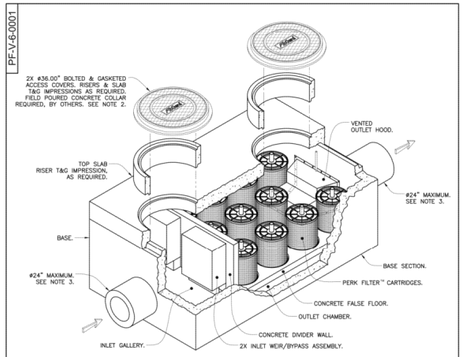
MEDIA FILTER FLOWRATE Q = C * I * A

Q = (0.80) * (0.2 IN/HR) * (0.52 AC)

Q = 0.083 CFS

STORMWATER TREATMENT DEVICE DETAILS

PF-V-6-0001



Notes:

1. Precast concrete structure shall be manufactured in accordance with ASTM Designation C857 and C858.
2. Filter system shall be supplied with traffic rated (H20) bolted & gasketed Ø36" circular access covers with risers as required. Shallow applications may require configurations with (H20) bolted & gasketed square/rectangular access hatches. Field poured concrete collars required, by others.
3. Inlet & outlet pipe(s) (Ø 24" maximum) may enter device on all three sides of the inlet & outlet chambers respectively.
4. Inlet chamber shall be supplied with a drain-down device designed to remove standing water between storm events.
5. For depths less than specified minimums contact Oldcastle® Stormwater Solutions for engineering assistance.

Media Filtration

Perk Filter™

6' Wide Concrete Vault

Four to Eleven Cartridges / Stacks

Oldcastle® Stormwater Solutions

1501 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastlestormwater.com

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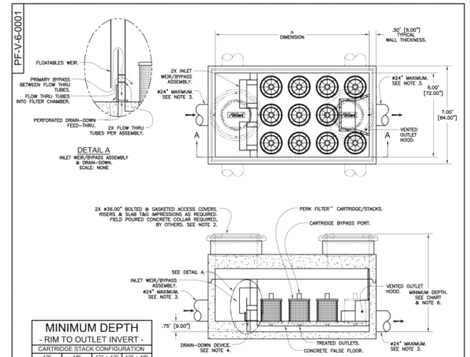
DRAWING NO.	REV.	ECO	DATE
PF-V-6-0001	F	ECO-0122 JPR 10/3/14	JPR 7/8/08

SHEET 1 OF 2

PF-V-6-0001



DETAIL A
INLET WEIR/BYPASS & DRAIN-DOWN.
SCALE: NONE

SECTION A-A

MINIMUM DEPTH - Rim TO OUTLET INVERT -			
CARTRIDGE STACK CONFIGURATION			
12"	18"	12" + 12"	12" + 18"
4.25" [51.00"]	5.00" [60.00"]	5.92" [71.00"]	6.67" [80.00"]

8' VAULT
TREATMENT FLOW RATES, TOTAL FLOW CAPACITIES & MAXIMUM HEAD LOSS

CARTRIDGE STACK QUANTITY	A - LENGTH - (IN FEET)	CARTRIDGE STACK CONFIGURATION 12"		18"		12" & 12"		12" & 18"	
		TREATMENT FLOW RATE GPM / CFS	TOTAL FLOW CAPACITY (CFS)	TREATMENT FLOW RATE GPM / CFS	TOTAL FLOW CAPACITY (CFS)	TREATMENT FLOW RATE GPM / CFS	TOTAL FLOW CAPACITY (CFS)	TREATMENT FLOW RATE GPM / CFS	TOTAL FLOW CAPACITY (CFS)
4	7	48 / 0.11	5.7	72 / 0.16	8.5	96 / 0.21	9.7	120 / 0.27	13.0
5	7	60 / 0.13	5.7	90 / 0.20	8.6	120 / 0.27	9.7	150 / 0.33	13.0
6	9	72 / 0.16	5.8	108 / 0.24	8.6	144 / 0.32	9.8	180 / 0.40	13.1
7	9	84 / 0.19	5.8	126 / 0.28	8.6	168 / 0.37	9.9	210 / 0.47	13.2
8	9	96 / 0.21	5.8	144 / 0.32	8.7	192 / 0.43	9.9	240 / 0.53	13.2
9	11	108 / 0.24	5.8	162 / 0.36	8.7	216 / 0.48	10.0	270 / 0.60	13.3
10	11	120 / 0.27	5.9	180 / 0.40	8.8	240 / 0.53	10.0	300 / 0.67	13.4
11	11	132 / 0.29	5.9	198 / 0.44	8.8	264 / 0.59	10.1	330 / 0.74	13.4
MAXIMUM HEAD LOSS		1.7 FEET		2.3 FEET		2.9 FEET		3.5 FEET	

Media Filtration

Perk Filter™

6' Wide Concrete Vault

Four to Eleven Cartridges / Stacks

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DRAWING NO.	REV.	ECO	DATE
PF-V-6-0001	F	ECO-0122 JPR 10/3/14	JPR 7/8/08

SHEET 2 OF 2

STORMWATER MANAGEMENT TABLES

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
	PROJECT PHASE NUMBER (N/A, 1, 2, 3, ETC):		N/A
TOTAL SITE (ACRES):	0.52	TOTAL AREA OF SITE DISTURBED (ACRES):	0.52
IMPERVIOUS SURFACES	EXISTING CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	PROPOSED CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	
		REPLACED	NEW
ROOF AREA(S)	22,500	19,880	0
PARKING	0	0	0
SIDEWALKS, PATIOS, PATHS, ETC.	0	0	0
STREETS (PUBLIC)	0	0	0
STREETS (PRIVATE)	0	0	0
TOTAL IMPERVIOUS SURFACES:	22,500	19,880	0
PERVIOUS SURFACES			
LANDSCAPE AREA	0	0	2,060
PERVIOUS PAVING	0	0	0
OTHER PERVIOUS SURFACES (GREEN ROOF, POOL, ETC)	0	0	560
TOTAL PERVIOUS SURFACES:	0	0	2,620
TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:			19,880
TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:			2,620

SITE CONDITIONS	
SOIL TYPE:	SILTY SAND/CLAYEY SAND
DEPTH TO GROUNDWATER:	14'±
100-YEAR FLOOD ELEVATION:	UNDETERMINED
RECEIVING WATERSHED:	OAKLAND ESTUARY WATERSHED
POLLUTANTS: (INCLUDING, BUT NOT LIMITED, TO THE FOLLOWING)	SEDIMENT & TRASH GREASE & OIL HEAVY METALS HAZARDOUS WASTE
POLLUTANT SOURCE AREAS:	ROOF SIDWALK
SOURCE CONTROL MEASURES:	TREATMENT DEVICE
SITE CONTROL MEASURES:	MINIMIZE IMPERVIOUS SURFACE BEST MANAGEMENT PRACTICES

TREATMENT CONTROL MEASURE SUMMARY										
DRAINAGE AREAS	DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS SURFACE (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SQ. FT.)	IMPERVIOUS SURFACE TYPE (SQ. FT.) ROOF (C=0.90)	SIDEWALK (C=0.90)	PAVING (C=0.90)	TREATMENT REQUIRED	TREATMENT PROVIDED	PROPOSED TREATMENT CONTROLS
A-1	22,500	2,060 (560 - POOL)	LANDSCAPE (C=0.10)	19,880	19,880	0	0	0.08 CFS	0.11 CFS	OLD CASTLE PERK FILTER TREATMENT DEVICE

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HOLLAND PARTNER GROUP

BkF ENGINEERS / SURVEYORS / PLANNERS

REGISTERED PROFESSIONAL ENGINEER PATRICK CAVAN C 83189 CIVIL STATE OF CALIFORNIA

Preliminary Stormwater Control Details

Final Development Plan 2017_0120

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PETERSEN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING

LICENSED LANDSCAPE ARCHITECT
JACOB E. PETERSEN 4497
Signature
10/31/2017
Renewal Date
01/20/2017
Date
STATE OF CALIFORNIA

Illustrative Views at Level 6 Amenity Deck

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L1.01

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PETERSEN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING

LICENSED LANDSCAPE ARCHITECT
JACOBS & PETERSEN LA#2978
Signature
10/31/2017
Renewal Date
01/20/2017
Date
STATE OF CALIFORNIA

Illustrative Views at Level 26 Roof Terrace

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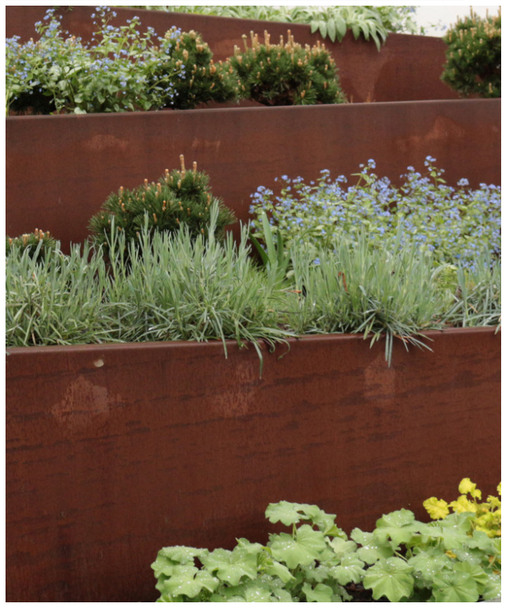
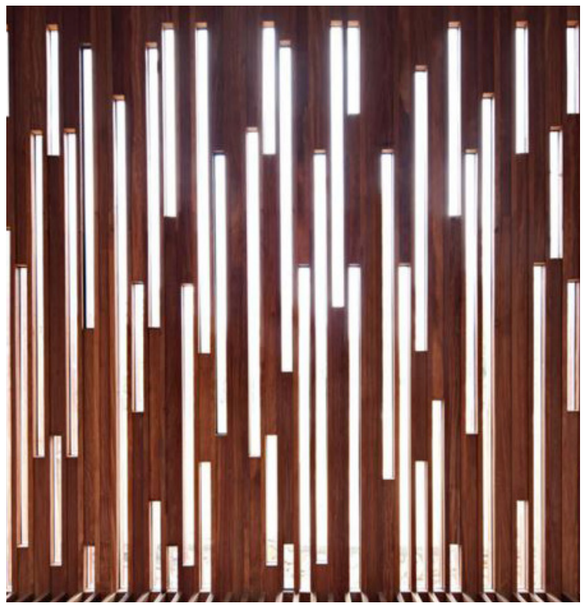
L1.02

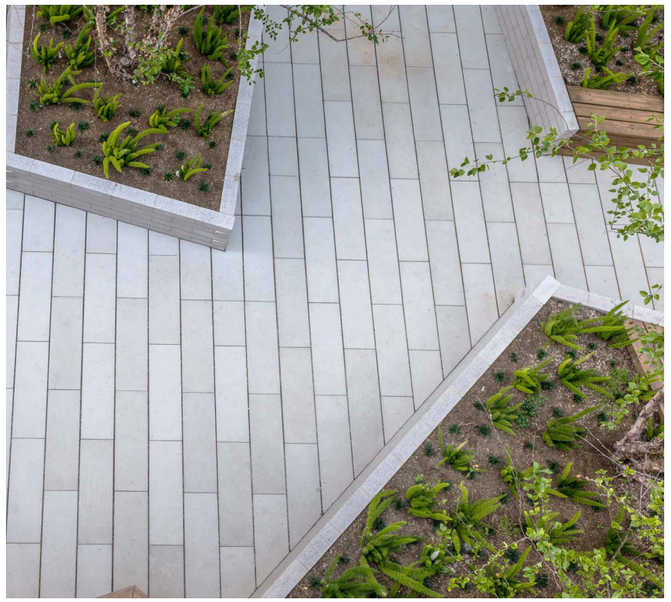
AMENITY DECK AND ROOF TERRACE MATERIALITY



TERRACED WEATHERING STEEL PLANTER WALLS



WINDSCREEN



CONCRETE UNIT PAVERS WITH RAISED PLANTERS

WOOD SEATING AT PLANTER EDGES

STREETSCAPE MATERIALITY

PAVER-COVERED TREE GRATE AT PLANTING TRENCH

CONCRETE UNIT PAVERS AT ENTRY

INTEGRAL COLOR CONCRETE SIDEWALK

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PETERSEN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING

LICENSED LANDSCAPE ARCHITECT
RICHARD E. PETERSEN LA#978
Signature
10/31/2017
Renewal Date
01/20/2017
Date
STATE OF CALIFORNIA

Landscape Materiality

Final Development Plan 2017_0120

1721 Webster Oakland, CA

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GENERAL NOTES

1. Prior to beginning construction, contractor to check the drawings against the site of the work and notify the owner in writing of any discrepancies in dimensions, site conditions, or other conditions. The contractor shall not begin construction in any such affected area until the discrepancy has been resolved by the owner.
2. Contractor to be responsible for the coordination with all local utility companies. The contractor is required to notify the local utility company 48 hours prior to digging in order that underground utilities in the area can be located.
3. Contractor to abide by and schedule work in accordance with all applicable federal, state and local environmental protection standards, laws and regulations.
4. Refer to Architectural, Civil, Structural, Plumbing, and other consultants' drawings for additional information.

PLANTING NOTES

1. All street trees shown on these plans shall be maintained by the building owner in a weed and litter free condition at all times, and in a healthy growing condition, consistent with the City of Oakland standards.
2. Planting and irrigation to comply with CALGreen 2016 water saving measures. All plants to be native or adapted species. A preliminary list of groundcovers, grasses, and perennials includes the following species:
   - *Achillea millefolium*
   - *Achillea millefolium 'Moonshine'*
   - *Bouteloua gracilis*
   - *Aloysia triphylla*
   - *Agastache ruprestris*
   - *Carex tumilicola*
   - *Eriogonum arborescens*
   - *Eriogonum grande rubescens*
   - *Lomandra longifolia*
   - *Muhlenbergia dubia*
   - *Muhlenbergia lindheimeri*
   - *Perovskia atriplicifolia 'Blue Spire'*
   - *Rhamnus californica*
   - *Salvia clevelandii*
   - *Salvia greggii*
   - *Salvia spathacea*
   - *Verbena lilacina*
   - *Westringia fruticosa*
   - *Lomandra longifolia*
   - *Penstemon heterophyllus*
   - *Stipa ichu*

MATERIALS LEGEND

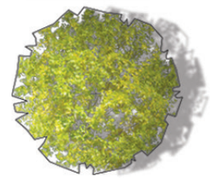
- Cast In Place Concrete Integral Color
- Concrete Unit Pavers on Grade
- Concrete Unit Pavers on Pedestal
- Gravel Maintenance Strip
- Built-In Wood Seating FSC Certified Ipe
- Dog Area Artificial Turf

PLANTING LEGEND

See Planting Notes for Preliminary Planting List

- PA-L — 6" Planters / 18" Soil Depth
- PA-M — 15" Planters / 27" Soil Depth
- PA-H — 30" Planters / 42" Soil Depth
- PA-F — Flush Planters / 24" Soil Depth Roof Deck

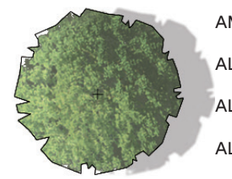
TREE LEGEND



CITY STREET TREE (36" BOX)

ALT 1: *Ginkgo biloba 'Saratoga'*

ALT 2: *Platanus x acerifolia 'Columbia'*

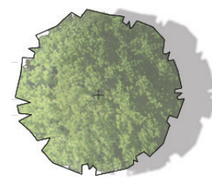


AMENITY DECK TREE (36" BOX)

ALT 1: *Robinia x ambigua 'Idahoensis'*

ALT 2: *Ulmus parvifolia 'Drake'*

ALT 3: *Koelreuteria paniculata*



ROOF TERRACE TREE (36" BOX)

ALT 1: *Robinia x ambigua 'Idahoensis'*

ALT 2: *Acacia podalyriifolia*

ALT 3: *Geijera parvifolia*

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HOLLAND PARTNER GROUP

PETERSEN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING

0 10' 20'

Landscape Plan - Level 1 Streetscape

Final Development Plan 2017_0120

1721 Webster Oakland, CA

Holland Partner Group / Solomon Cordwell Buenz 2016015

L2.01

GENERAL NOTES

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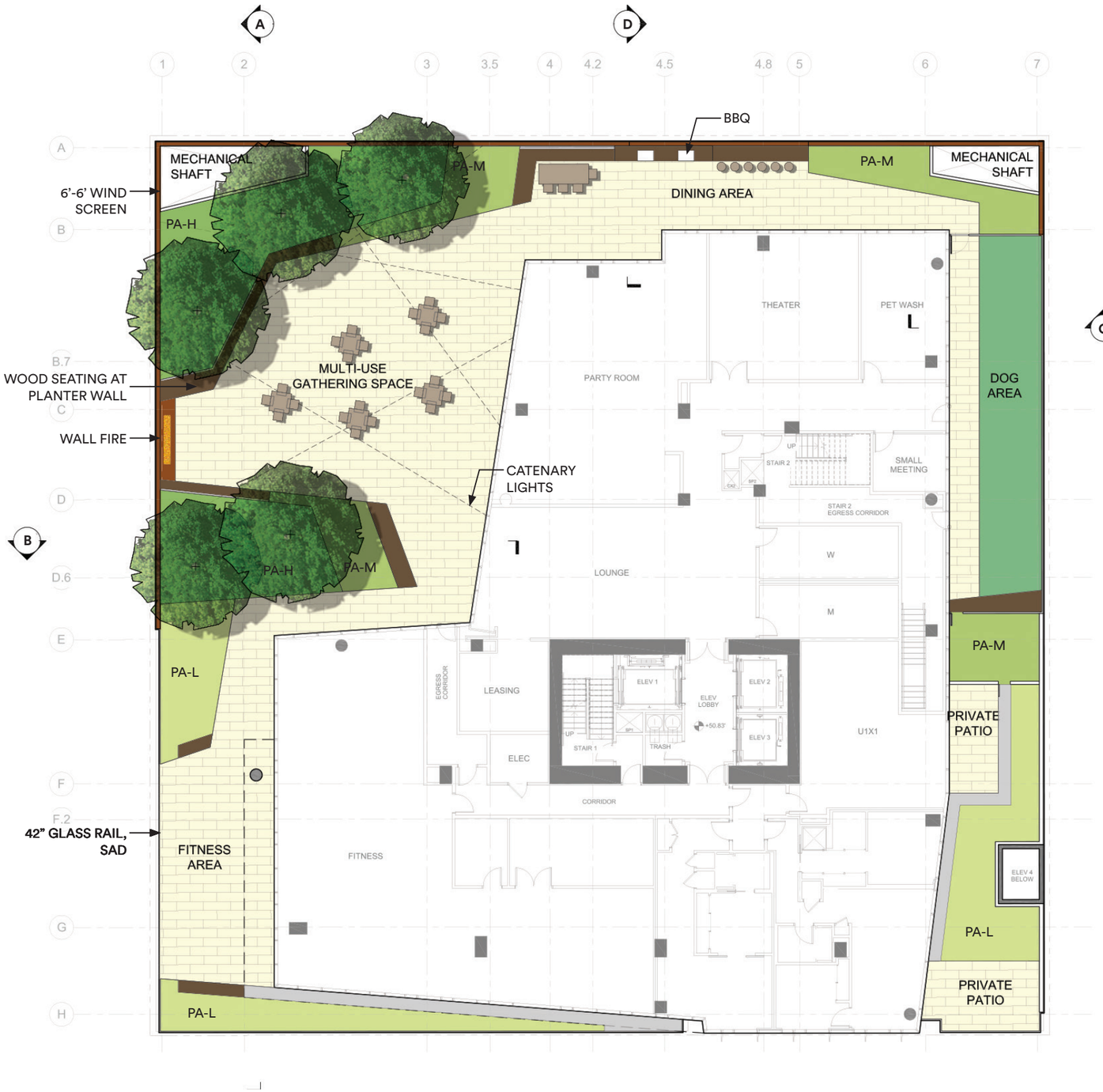
   - *Stipa ichu*



MATERIALS LEGEND

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- Concrete Unit Pavers on Grade
- Concrete Unit Pavers on Pedestal
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- Built-In Wood Seating FSC Certified Ipe
- Dog Area Artificial Turf

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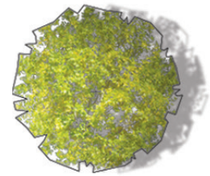
TREE LEGEND



CITY STREET TREE (36" BOX)

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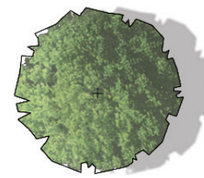
ALT 2: *Platanus x acerifolia 'Columbia'*



AMENITY DECK TREE (36" BOX)

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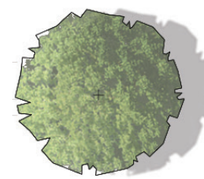
ALT 3: *Koelreuteria paniculata*



ROOF TERRACE TREE (36" BOX)

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ALT 2: *Acacia podalyriifolia*

ALT 3: *Geijera parvifolia*

0 10' 20'

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PETERSEN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING

Landscape Plan - Level 6 Amenity Deck

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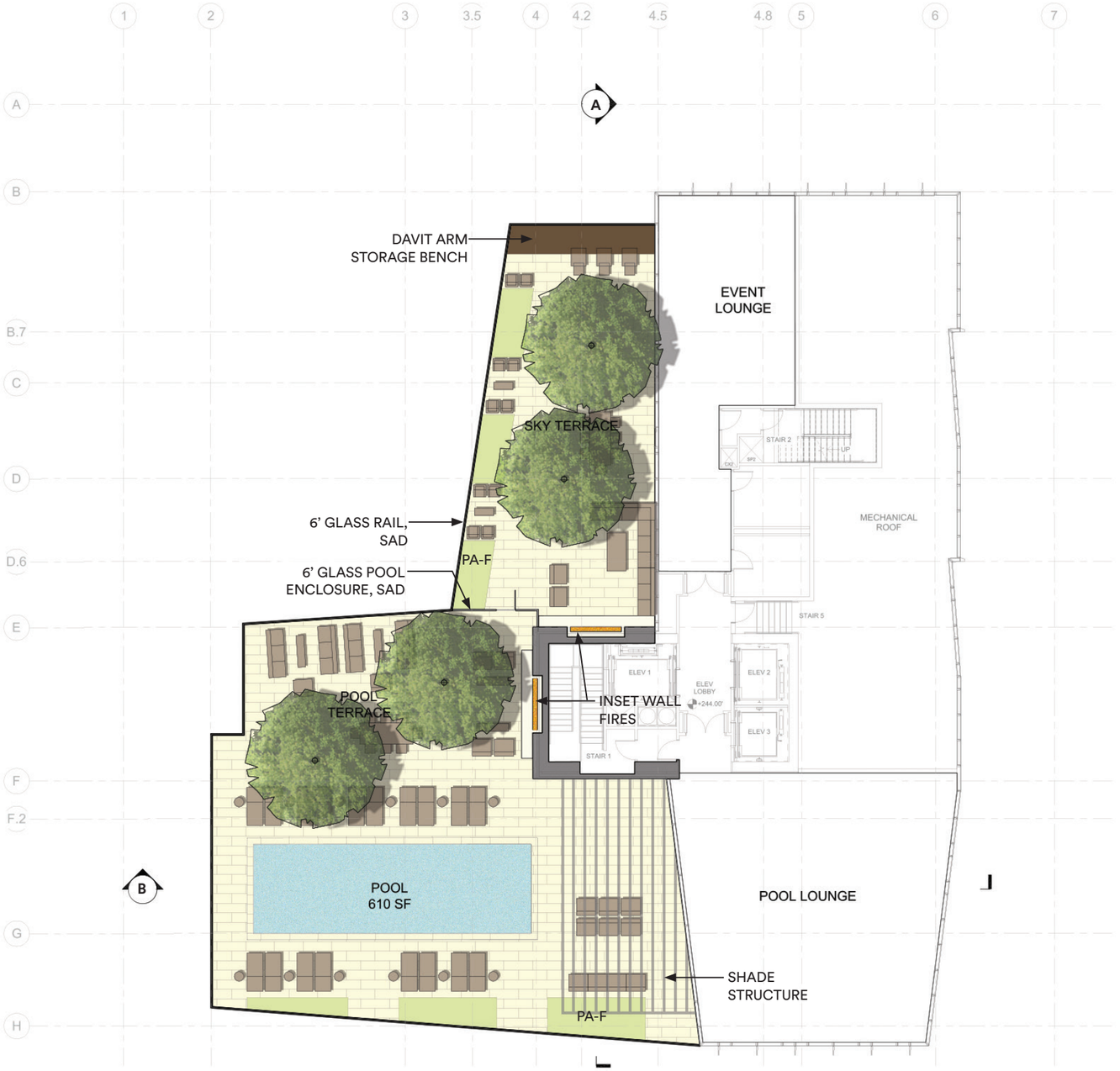
GENERAL NOTES

1. Prior to beginning construction, contractor to check the drawings against the site of the work and notify the owner in writing of any discrepancies in dimensions, site conditions, or other conditions. The contractor shall not begin construction in any such affected area until the discrepancy has been resolved by the owner.
2. Contractor to be responsible for the coordination with all local utility companies. The contractor is required to notify the local utility company 48 hours prior to digging in order that underground utilities in the area can be located.
3. Contractor to abide by and schedule work in accordance with all applicable federal, state and local environmental protection standards, laws and regulations.
4. Refer to Architectural, Civil, Structural, Plumbing, and other consultants' drawings for additional information.

PLANTING NOTES

1. All street trees shown on these plans shall be maintained by the building owner in a weed and litter free condition at all times, and in a healthy growing condition, consistent with the City of Oakland standards.
2. Planting and irrigation to comply with CALGreen 2016 water saving measures. All plants to be native or adapted species. A preliminary list of groundcovers, grasses, and perennials includes the following species:
   - *Achillea millefolium*
   - *Achillea millefolium 'Moonshine'*
   - *Bouteloua gracilis*
   - *Aloysia triphylla*
   - *Agastache ruprestris*
   - *Carex tumilicola*
   - *Eriogonum arborescens*
   - *Eriogonum grande rubescens*
   - *Lomandra longifolia*
   - *Muhlenbergia dubia*
   - *Muhlenbergia lindheimeri*
   - *Perovskia atriplicifolia 'Blue Spire'*
   - *Rhamnus californica*
   - *Salvia clevelandii*
   - *Salvia greggii*
   - *Salvia spathacea*
   - *Verbena lilacina*
   - *Westringia fruticosa*
   - *Lomandra longifolia*
   - *Penstemon heterophyllus*
   - *Stipa ichu*



MATERIALS LEGEND

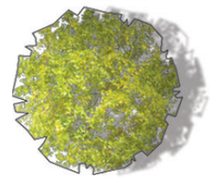
- Cast In Place Concrete Integral Color
- Concrete Unit Pavers on Grade
- Concrete Unit Pavers on Pedestal
- Gravel Maintenance Strip
- Built-In Wood Seating FSC Certified Ipe
- Dog Area Artificial Turf

PLANTING LEGEND

See Planting Notes for Preliminary Planting List

- PA-L — 6" Planters / 18" Soil Depth
- PA-M — 15" Planters / 27" Soil Depth
- PA-H — 30" Planters / 42" Soil Depth
- PA-F — Flush Planters / 24" Soil Depth Roof Deck

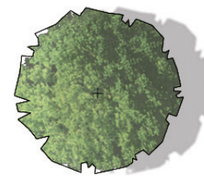
TREE LEGEND



CITY STREET TREE (36" BOX)

ALT 1: *Ginkgo biloba 'Saratoga'*

ALT 2: *Platanus x acerifolia 'Columbia'*

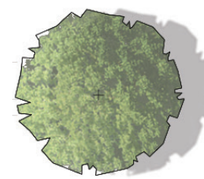


AMENITY DECK TREE (36" BOX)

ALT 1: *Robinia x ambigua 'Idahoensis'*

ALT 2: *Ulmus parvifolia 'Drake'*

ALT 3: *Koelreuteria paniculata*



ROOF TERRACE TREE (36" BOX)

ALT 1: *Robinia x ambigua 'Idahoensis'*

ALT 2: *Acacia podalyriifolia*

ALT 3: *Geijera parvifolia*

0 10' 20'

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PETERSEN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING

Landscape Plan - Level 26 Roof Terrace

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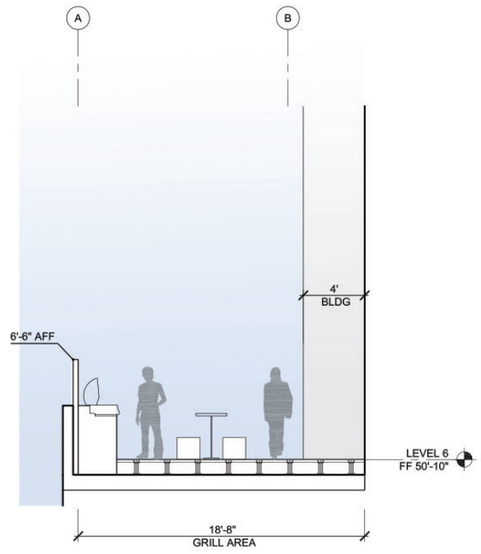
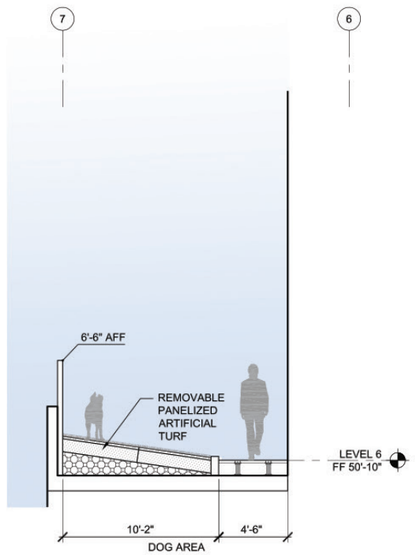
L2.26



SECTION D



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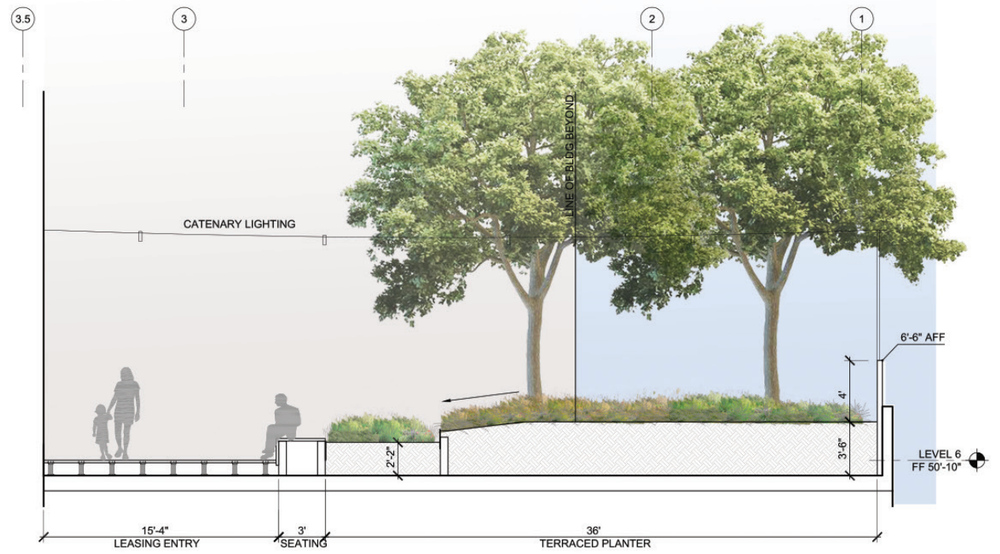

SECTION B

SECTION A

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PETERSEN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING

LICENSED LANDSCAPE ARCHITECT
JACOB E. PETERSEN
Signature
10/31/2017
Renewal Date
01/20/2017
Date
STATE OF CALIFORNIA

Landscape Sections - Level 6 Amenity Deck

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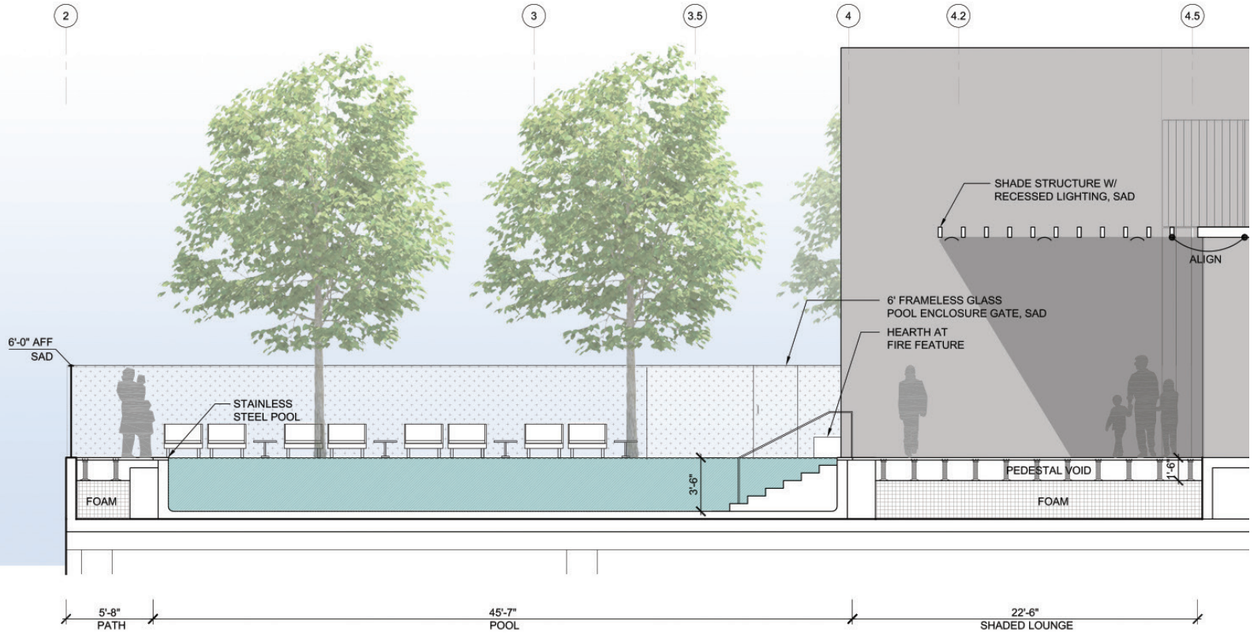
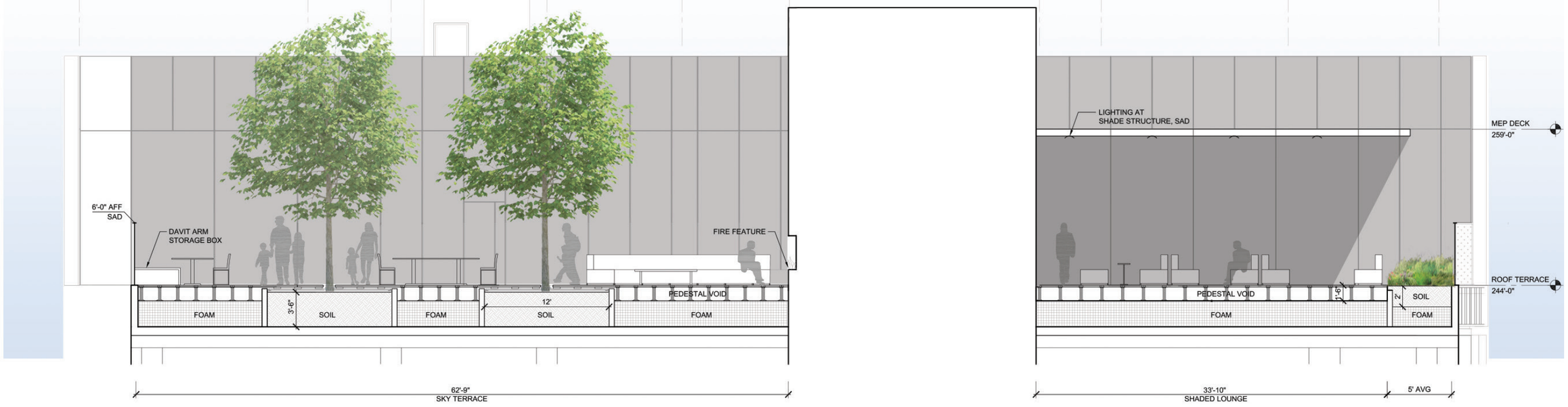
L6.06



SECTION B



SECTION A

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PETERSEN STUDIO
LANDSCAPE ARCHITECTURE | PLANNING

LICENSED LANDSCAPE ARCHITECT
NICHOLAS E. PETERSEN LA#5875
Signature
10/31/2017
Renewal Date
01/20/2017
Date
STATE OF CALIFORNIA

Landscape Sections - Roof Terrace

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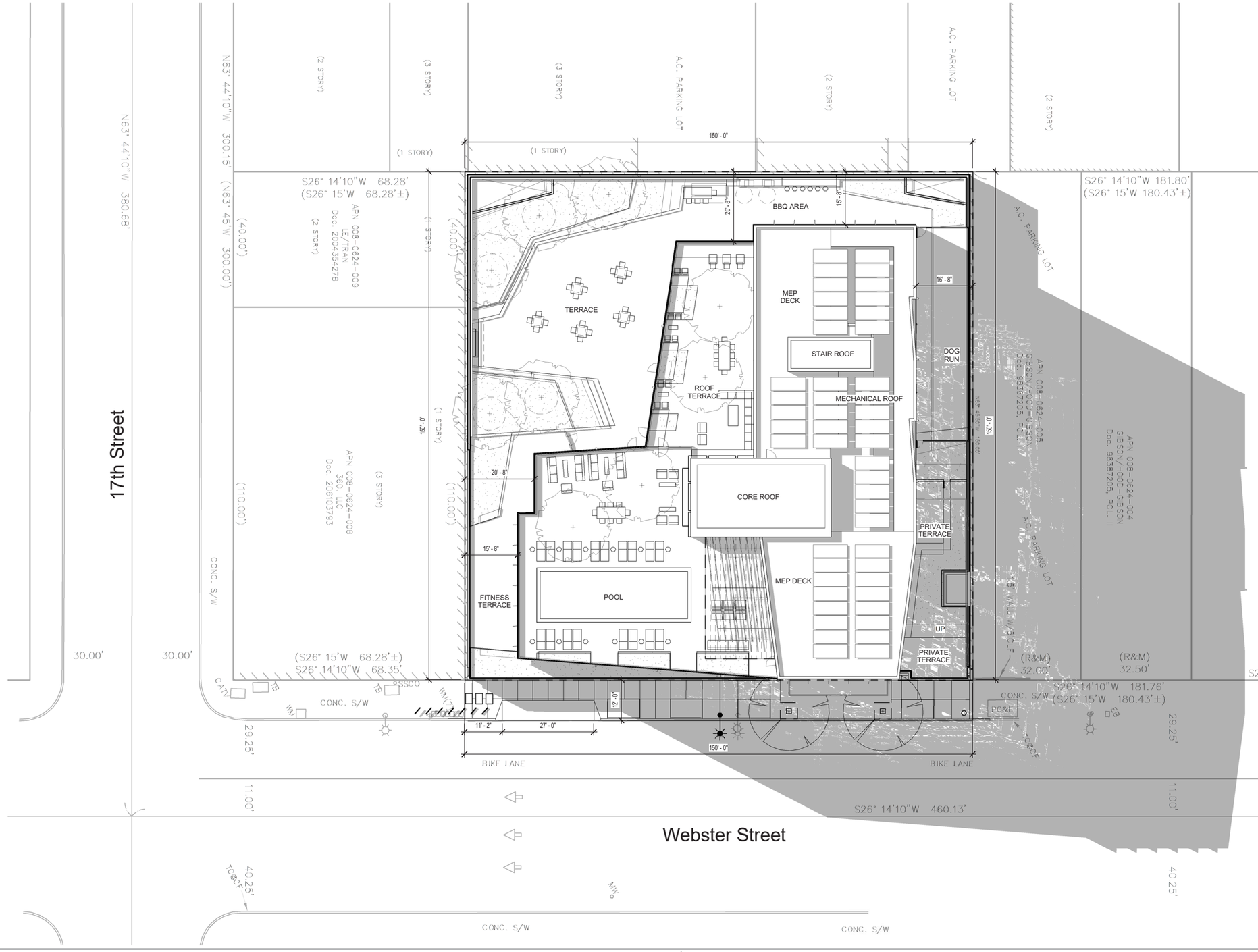
L6.26



SUMMARY OF SITE AREA

Group Usable Open Space

Level 6 Terrace = 8,888 SF

Roof Terrace= 5,784 SF

Private Usable Open Space

Level 6 Private Terraces= 418 SF

Total Open Space = 15,090 SF

0 15' 30'

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Site Plan

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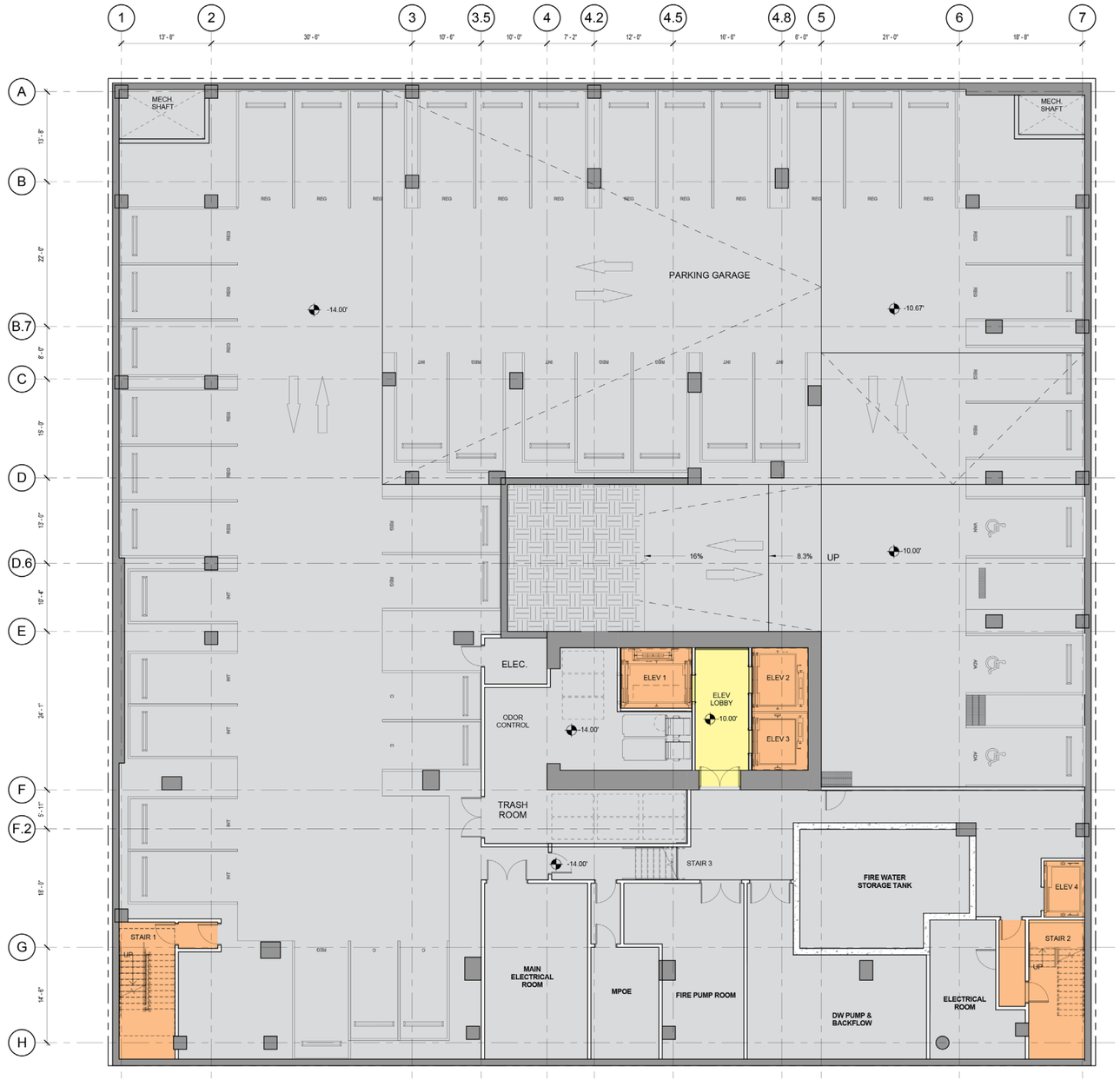
A1.00



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Level B1 Floor Plan

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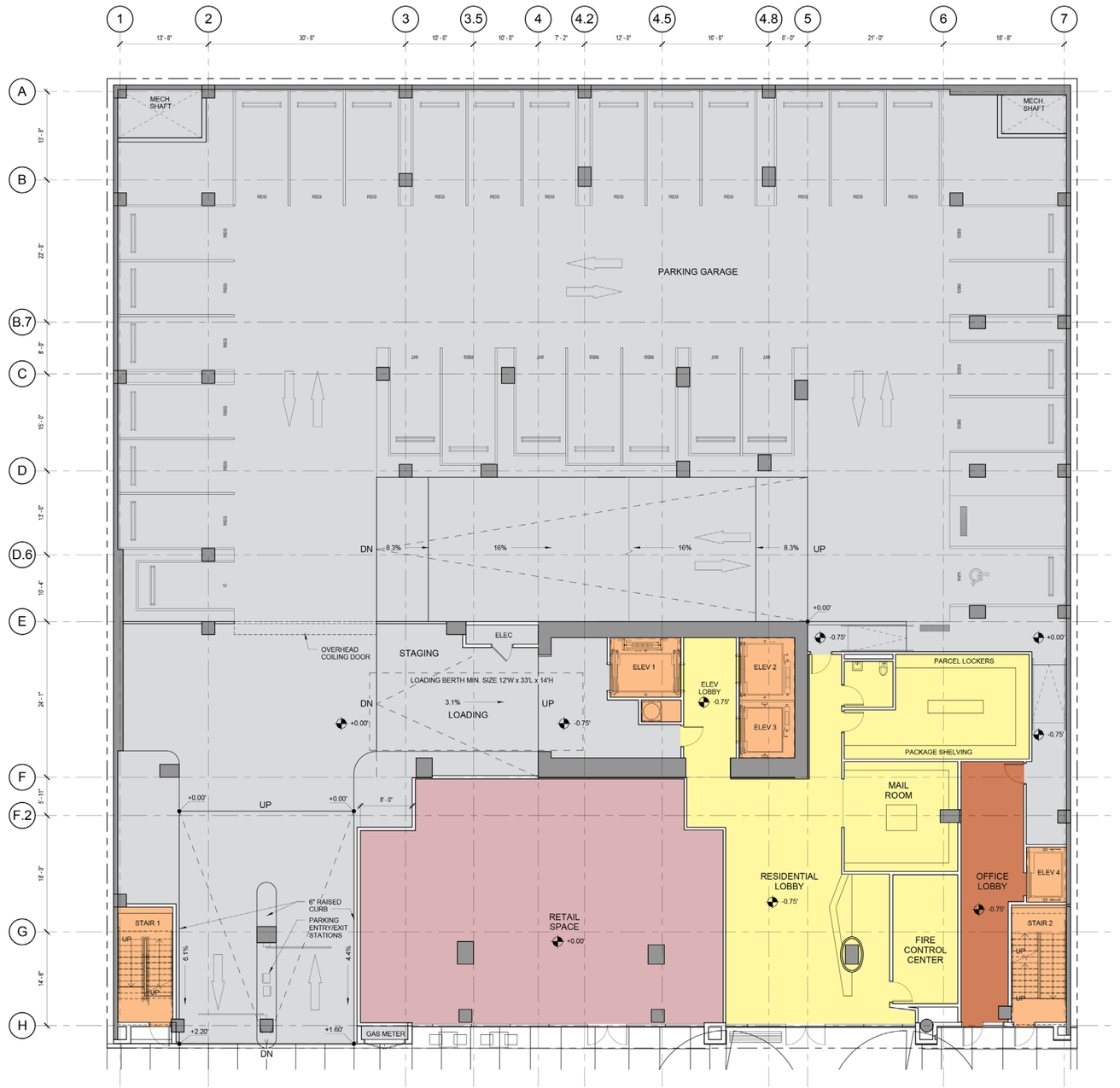
0 10' 20'

A2.00



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Level 1 Floor Plan

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0 10' 20'

A2.01

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Level 2 Floor Plan

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0 10' 20'

A2.02

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Level 3 Floor Plan

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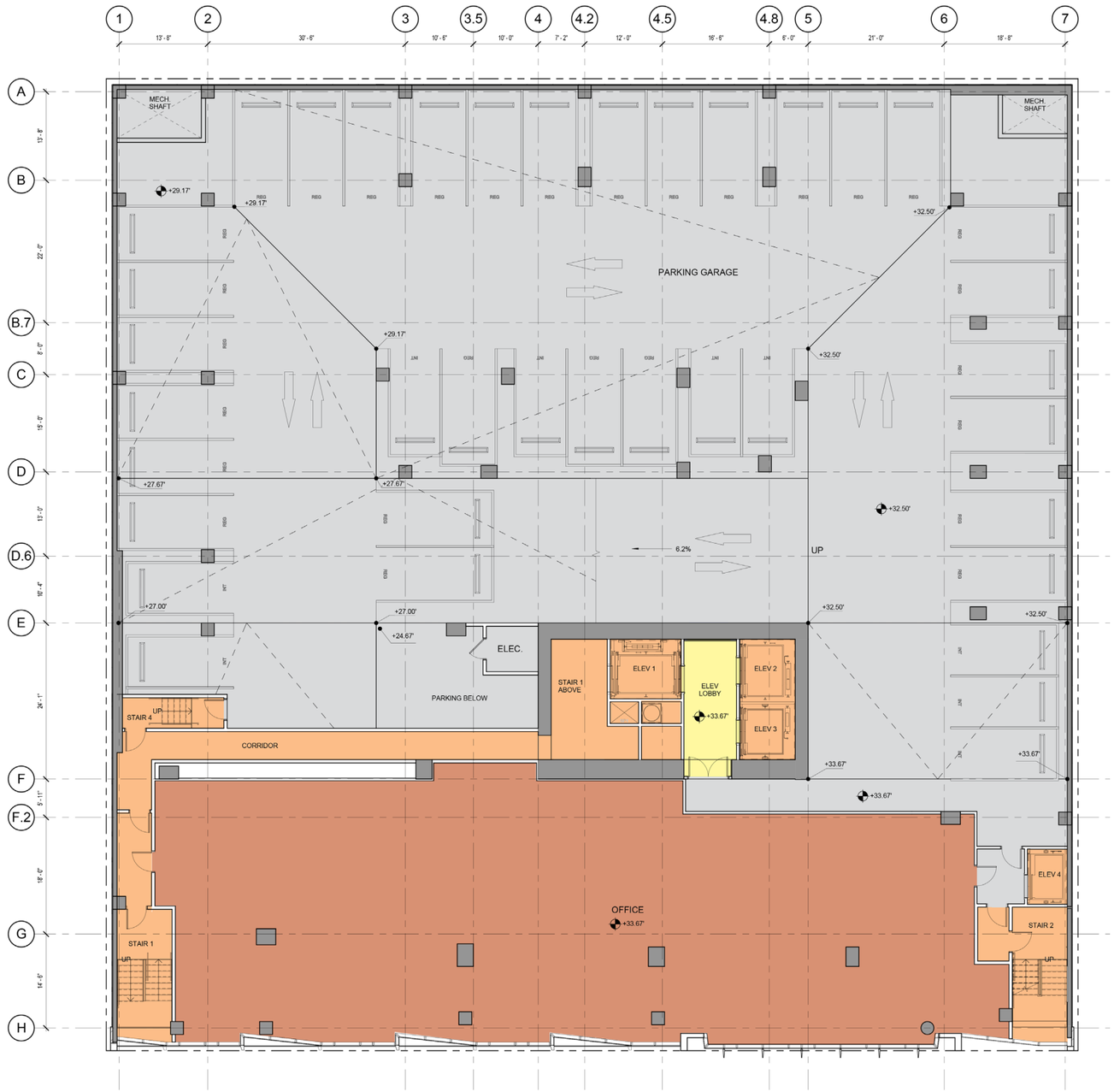
2017_0120

2016015

0 10' 20'

A2.03



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Level 4 Floor Plan

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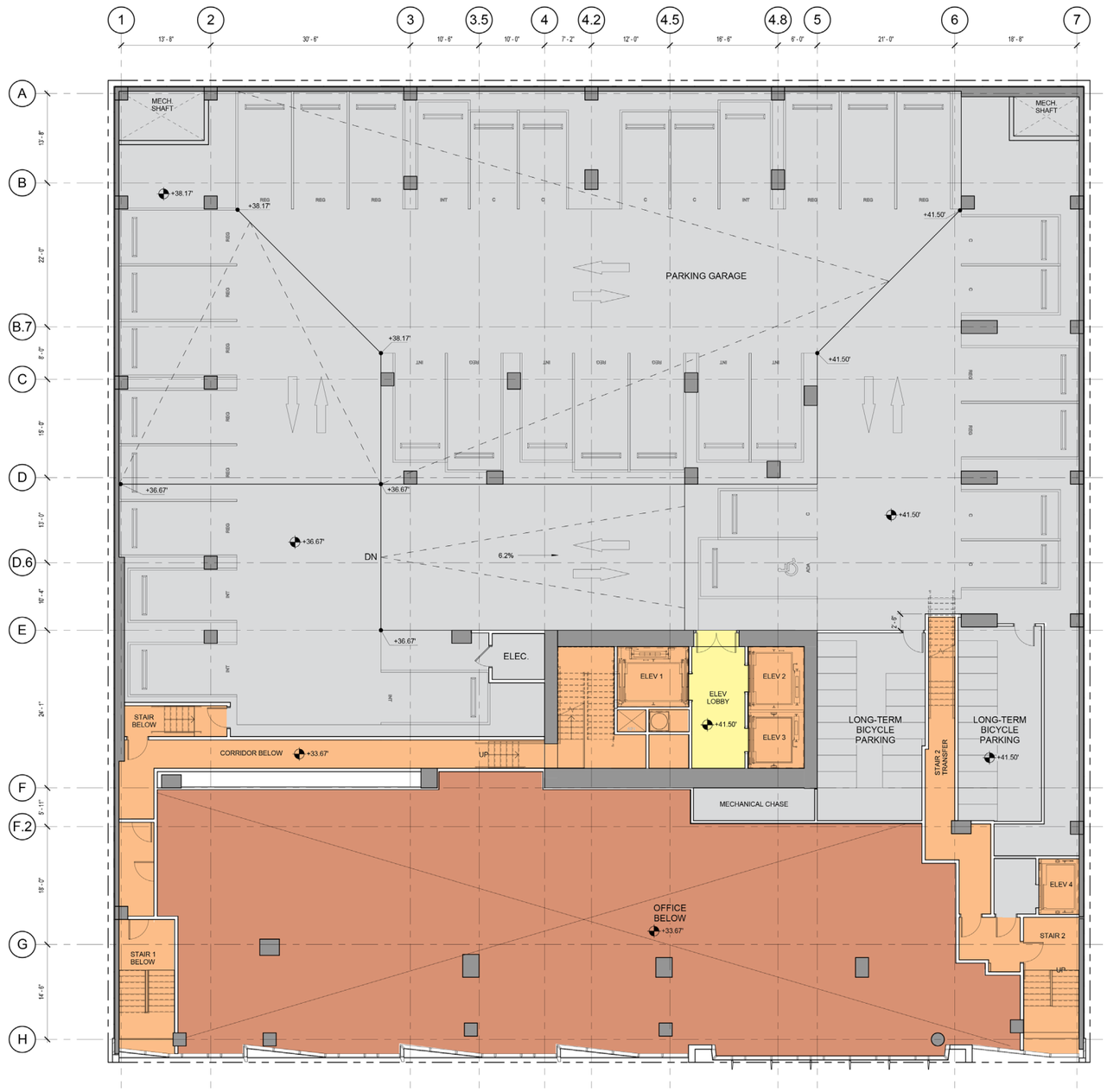
0 10' 20'

A2.04



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Level 5 Floor Plan

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2017_0120

2016015

0 10' 20'

A2.05

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Level 6 Floor Plan

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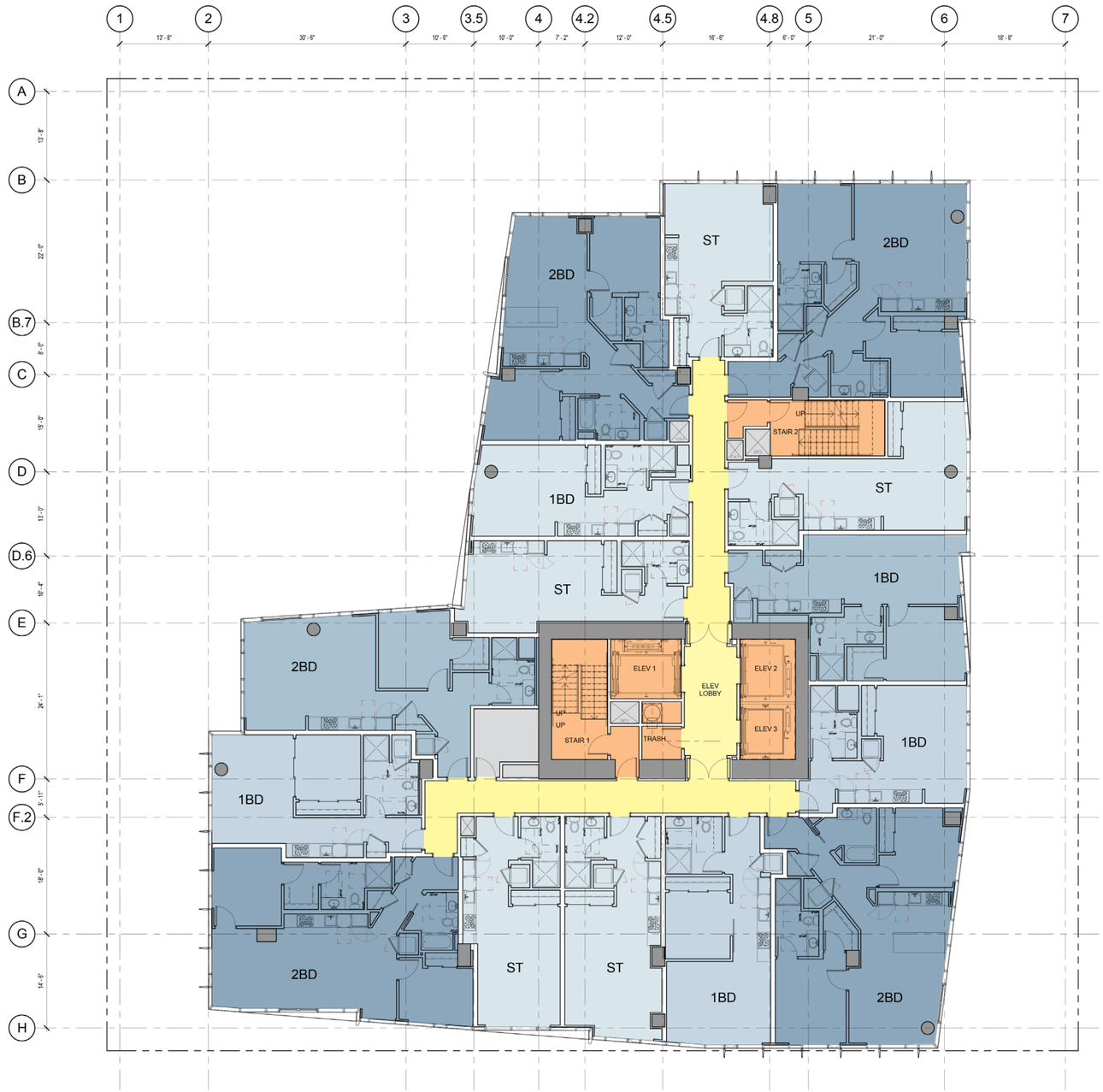
2017_0120

2016015

0 10′ 20′

A2.06



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Level 7-13 Floor Plan

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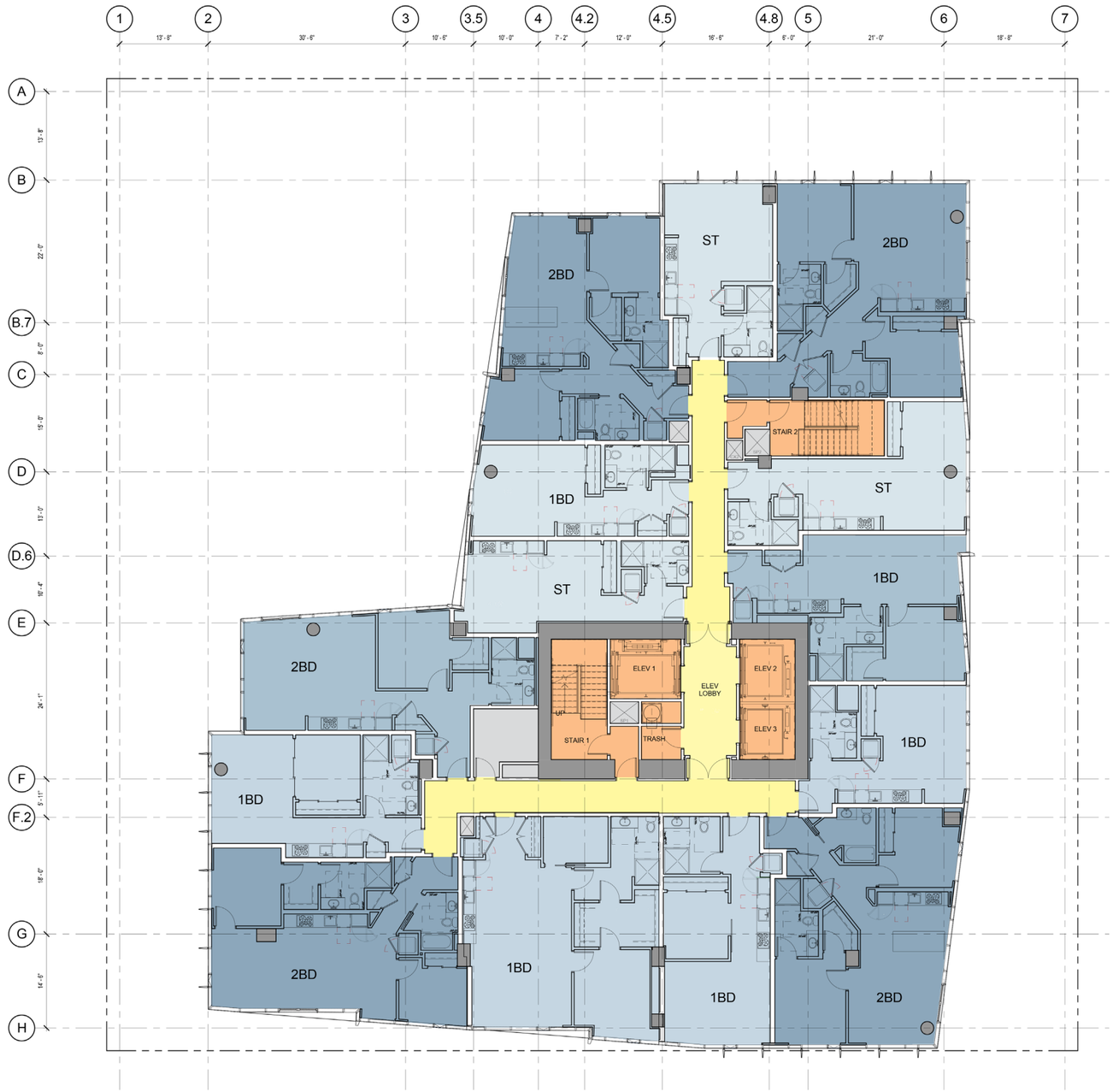
0 10' 20'

A2.07



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Level 14-21 Floor Plan

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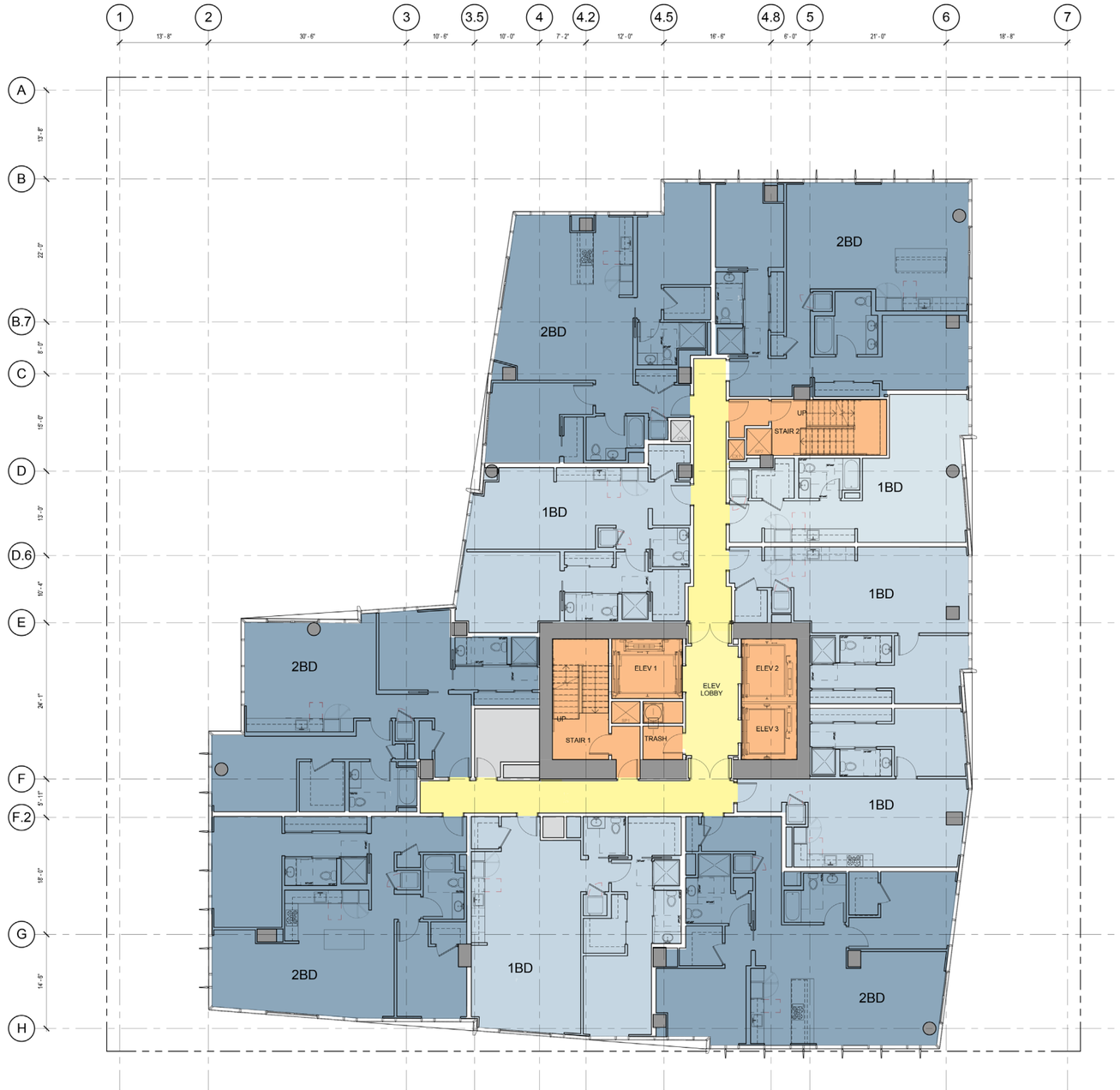
0 10' 20'

A2.14



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Level 22-24 Floor Plan

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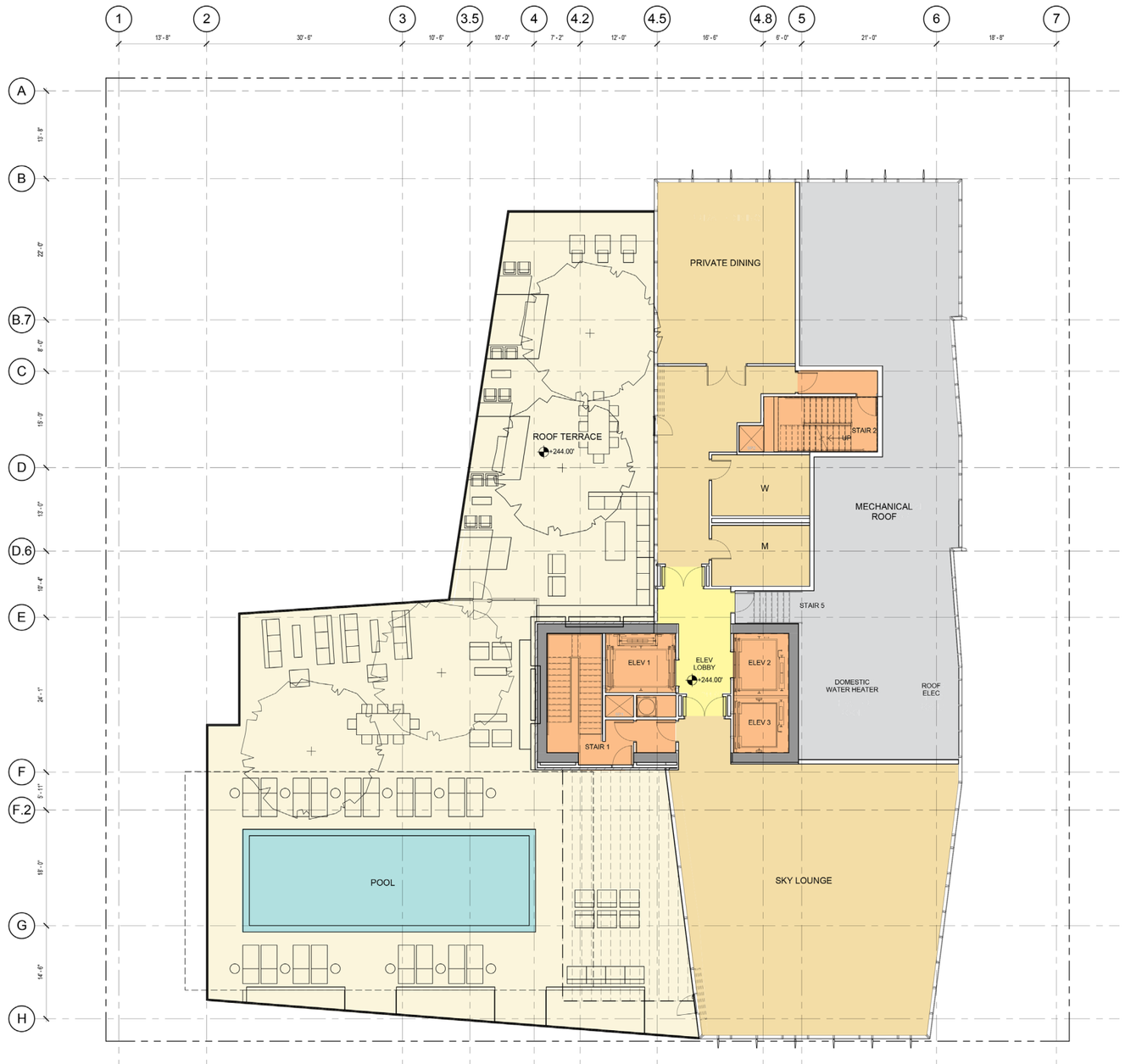
0 10' 20'

A2.22



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Roof Terrace Floor Plan

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0 10' 20'

A2.26

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MEP Deck Floor Plan

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0 10' 20'

A2.27

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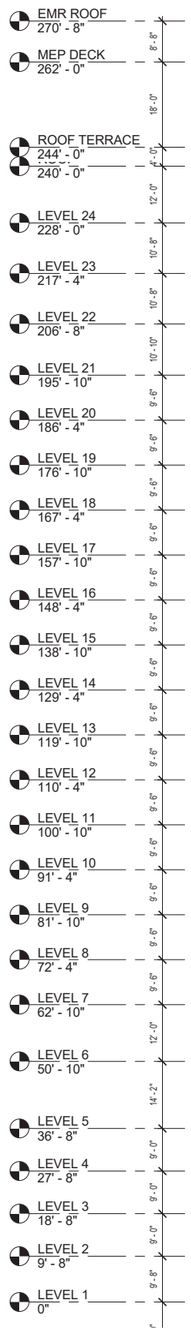
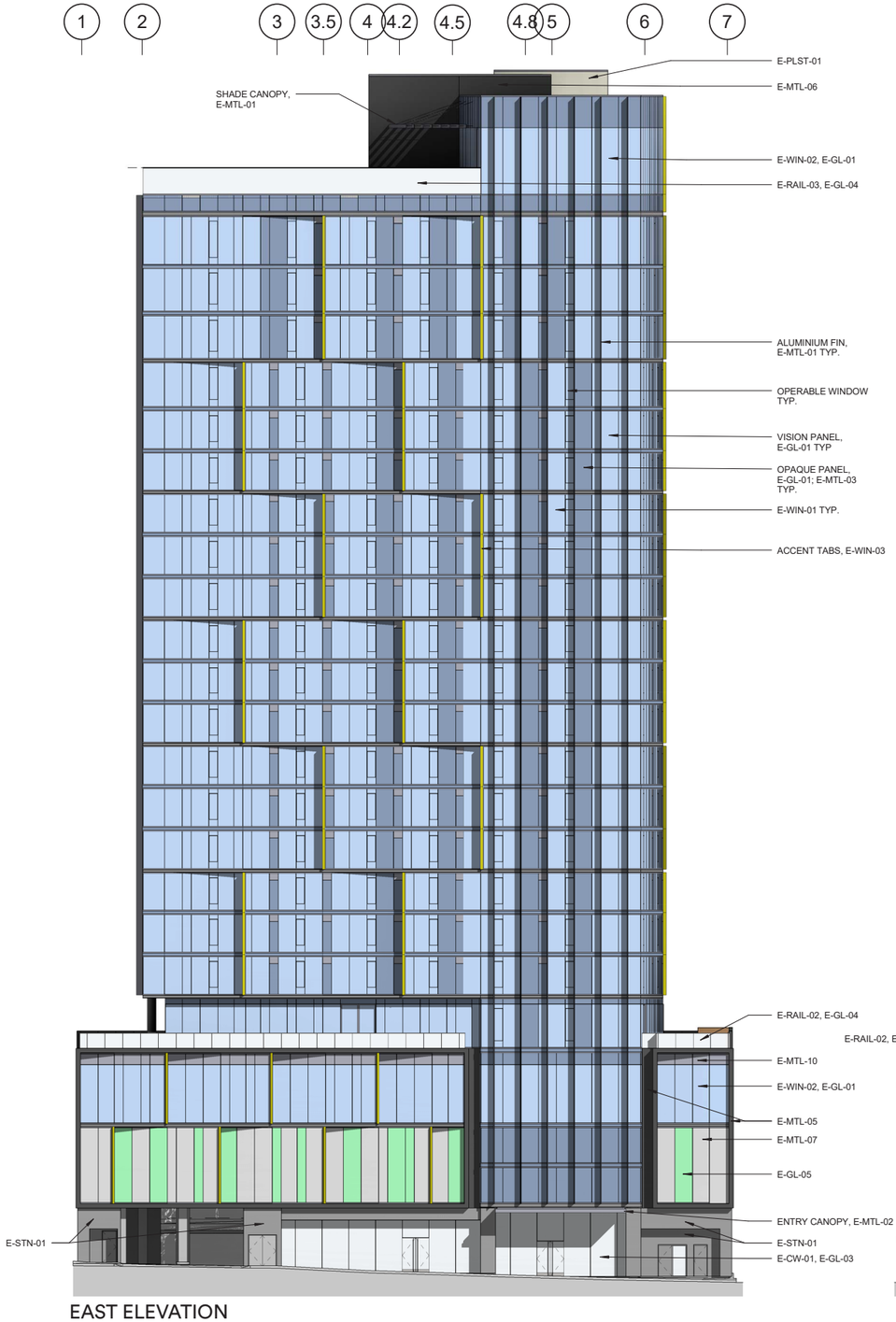
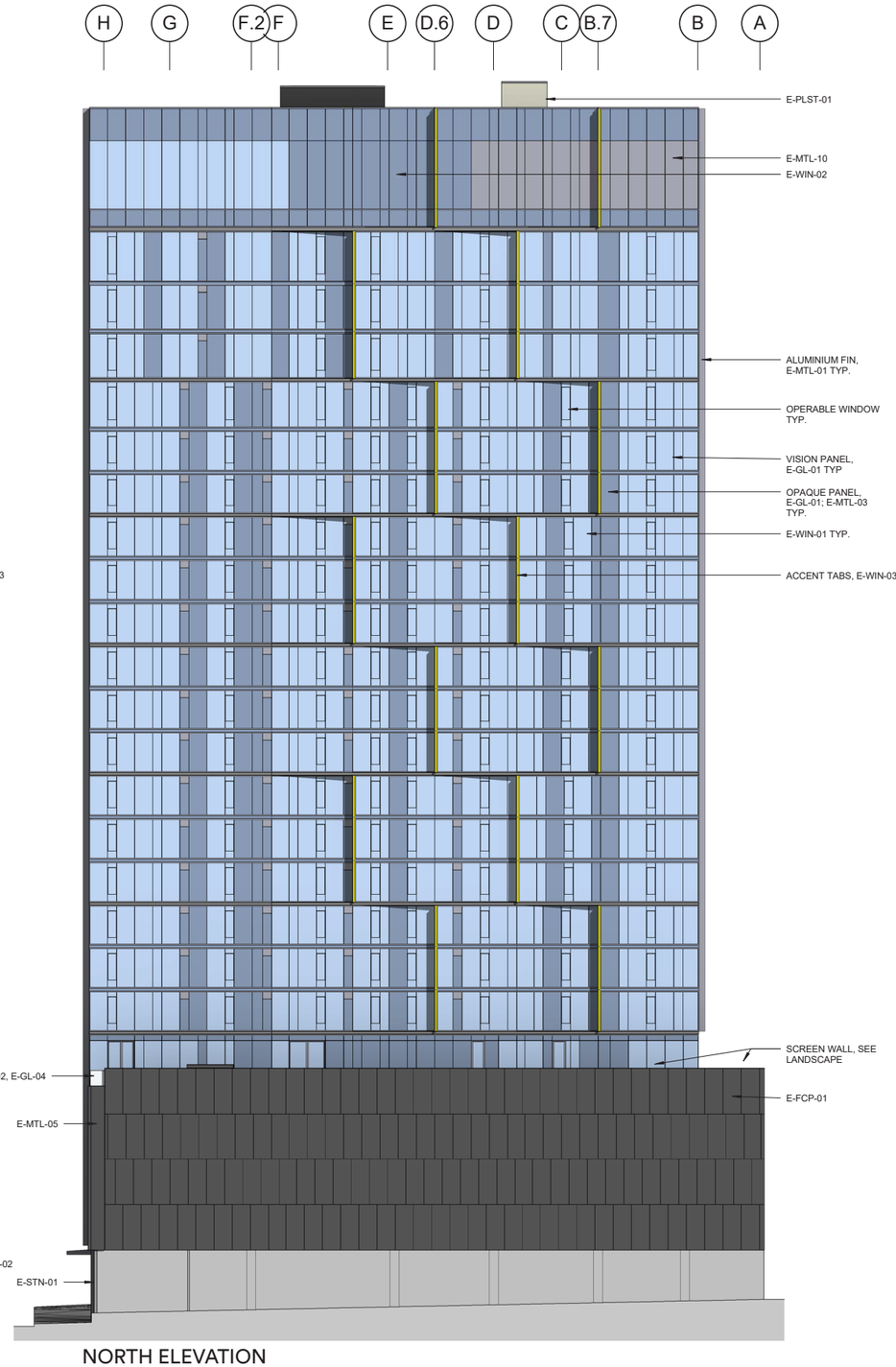




EAST ELEVATION



NORTH ELEVATION

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0 16′ 32′

Building Elevations

Final Development Plan 2017_0120

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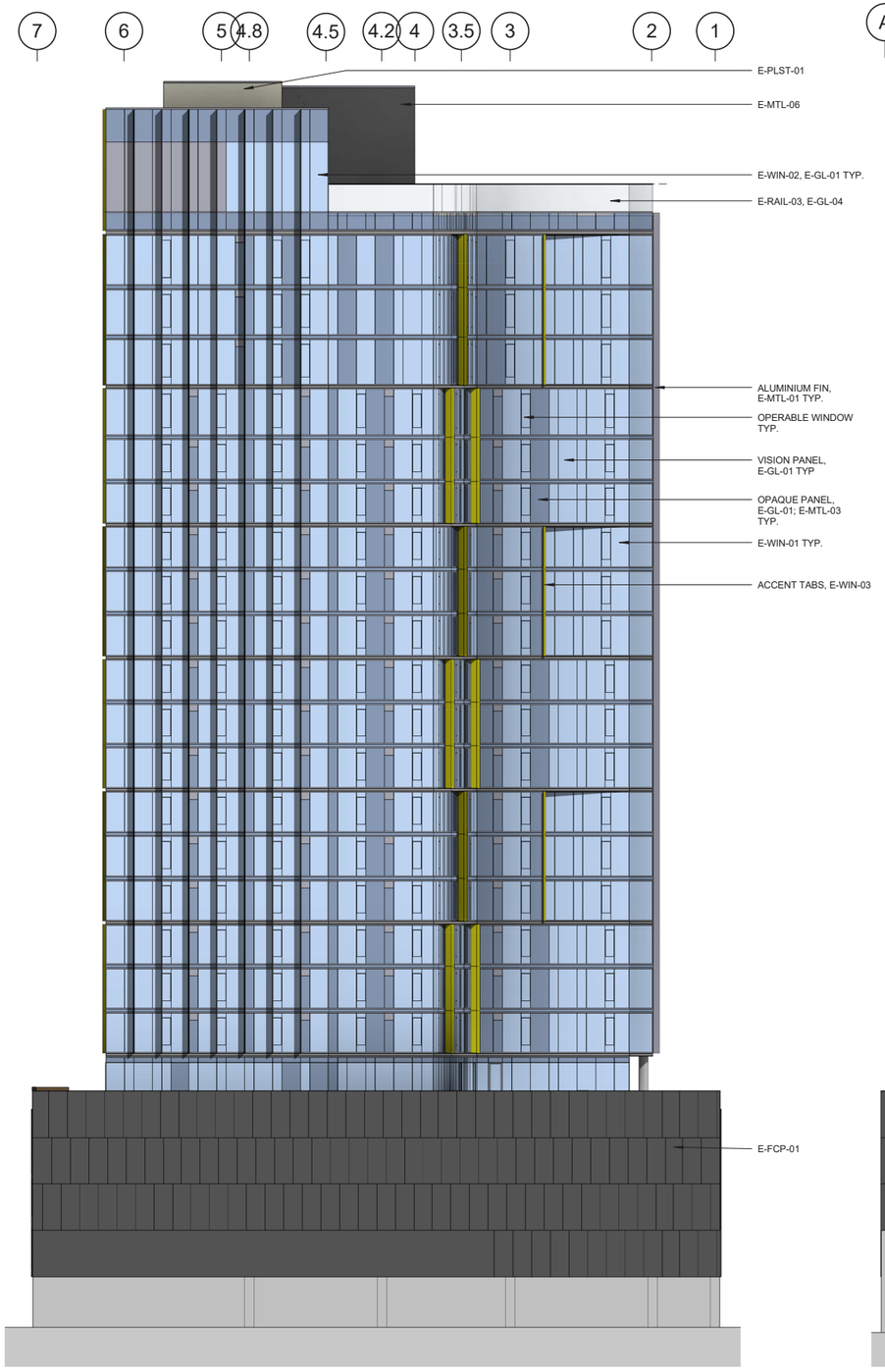
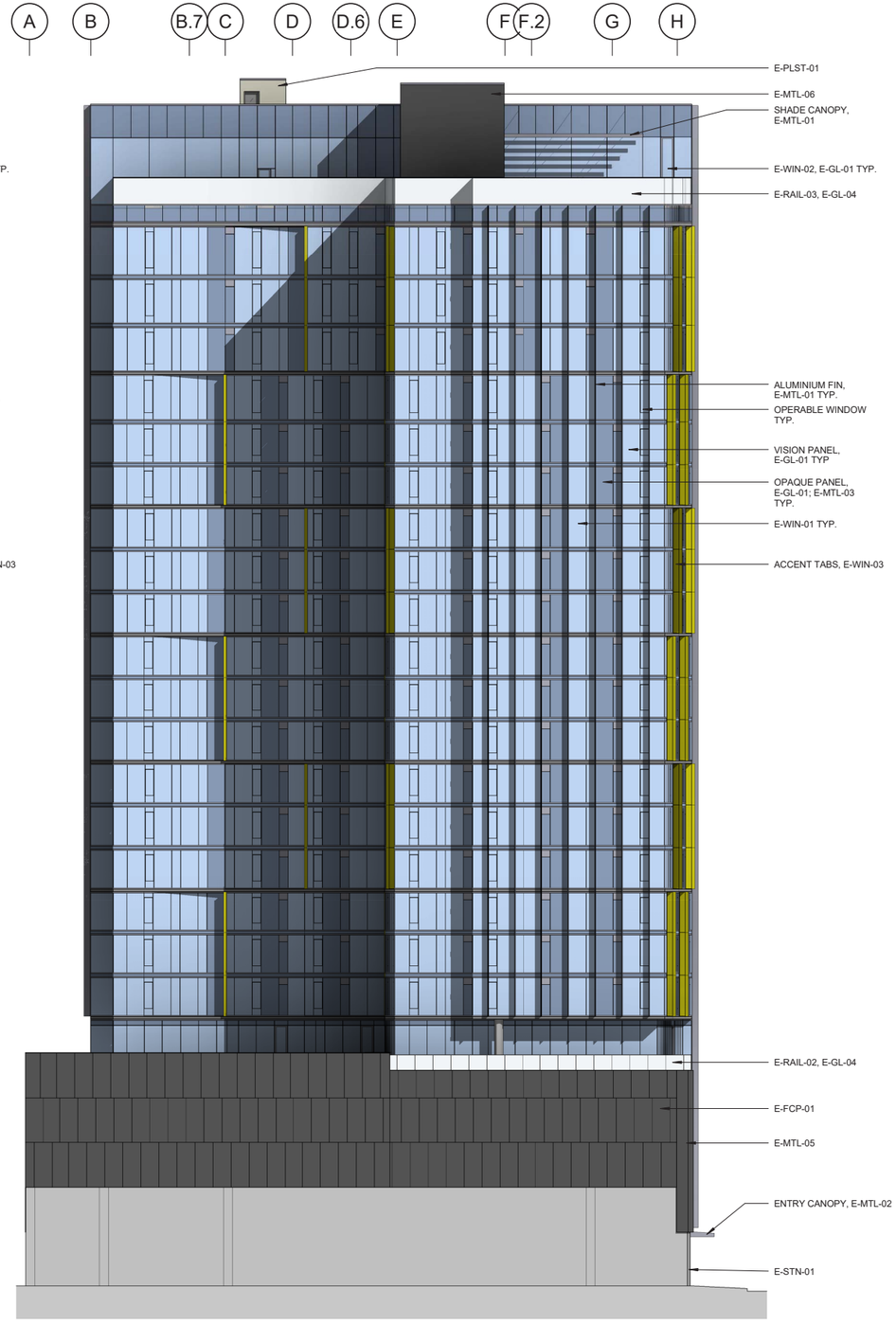
A3.01

EMR ROOF 270' - 8"
MEP DECK 262' - 0"
ROOF TERRACE 244' - 0"
240' - 0"
LEVEL 24 228' - 0"
LEVEL 23 217' - 4"
LEVEL 22 206' - 8"
LEVEL 21 195' - 10"
LEVEL 20 186' - 4"
LEVEL 19 176' - 10"
LEVEL 18 167' - 4"
LEVEL 17 157' - 10"
LEVEL 16 148' - 4"
LEVEL 15 138' - 10"
LEVEL 14 129' - 4"
LEVEL 13 119' - 10"
LEVEL 12 110' - 4"
LEVEL 11 100' - 10"
LEVEL 10 91' - 4"
LEVEL 9 81' - 10"
LEVEL 8 72' - 4"
LEVEL 7 62' - 10"
LEVEL 6 50' - 10"
LEVEL 5 36' - 8"
LEVEL 4 27' - 8"
LEVEL 3 18' - 8"
LEVEL 2 9' - 8"
LEVEL 1 0"



WEST ELEVATION



SOUTH ELEVATION

0 16' 32'

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Building Elevations

Final Development Plan 2017_0120

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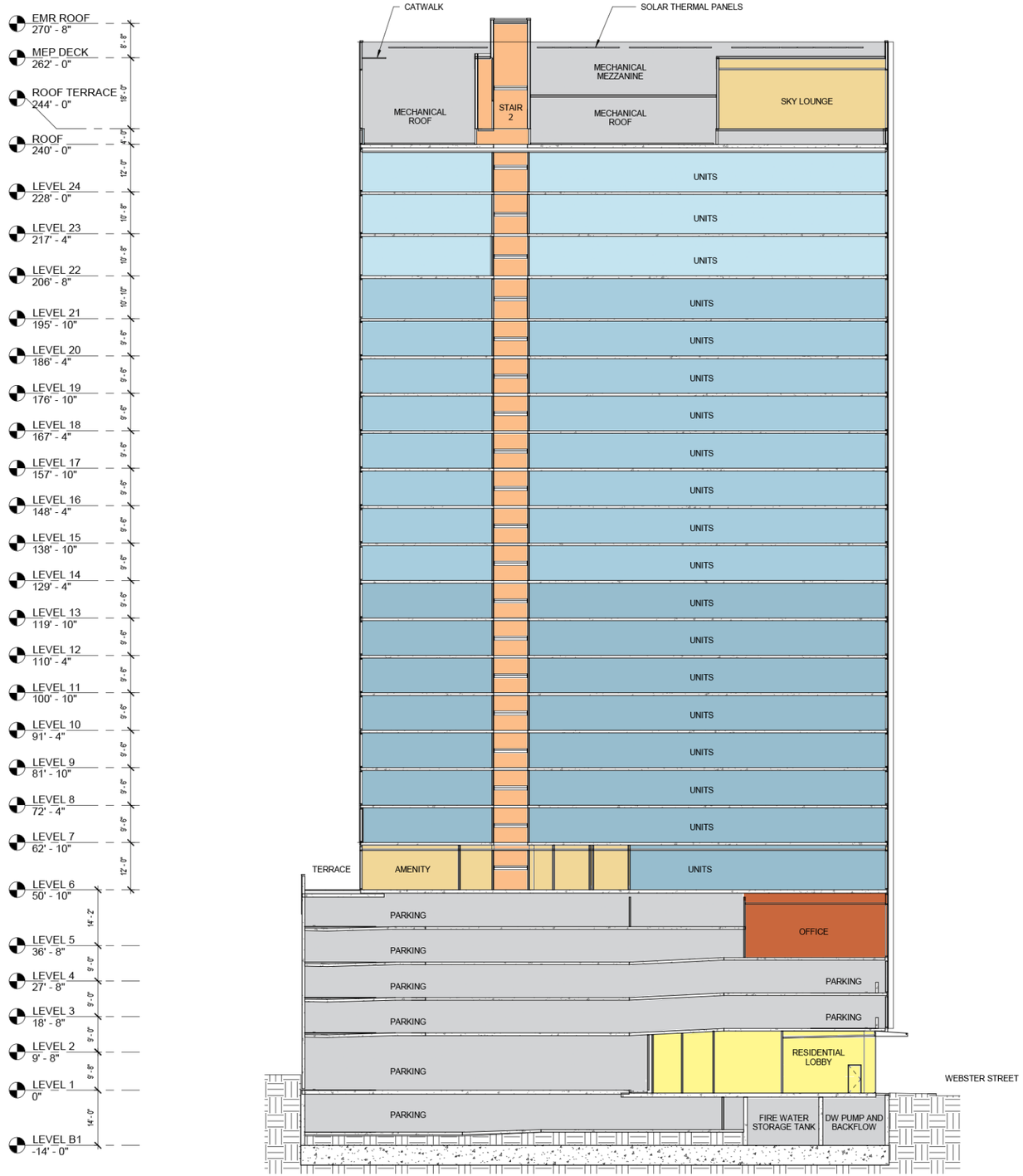
A3.02



0 16' 32'

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Building Section

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A3.03

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Rendering - Southeast Perspective

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A4.00

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Rendering - Northeast Perspective

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Rendering - East Podium Perspective

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A4.02

Rendering - Northeast Perspective

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Rendering - East Podium Perspective

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Rendering - Southeast Perspective

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Rendering - Southeast Perspective

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Rendering - Southwest Birdseye

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DESIGN FOR A CHANGING WORLD

SOLOMON CORDWELL BUENZ

255 California Street
San Francisco, CA 94111
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