

Oakland City Planning Commission

Case no. PLN17518

STAFF REPORT

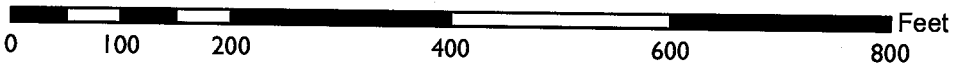
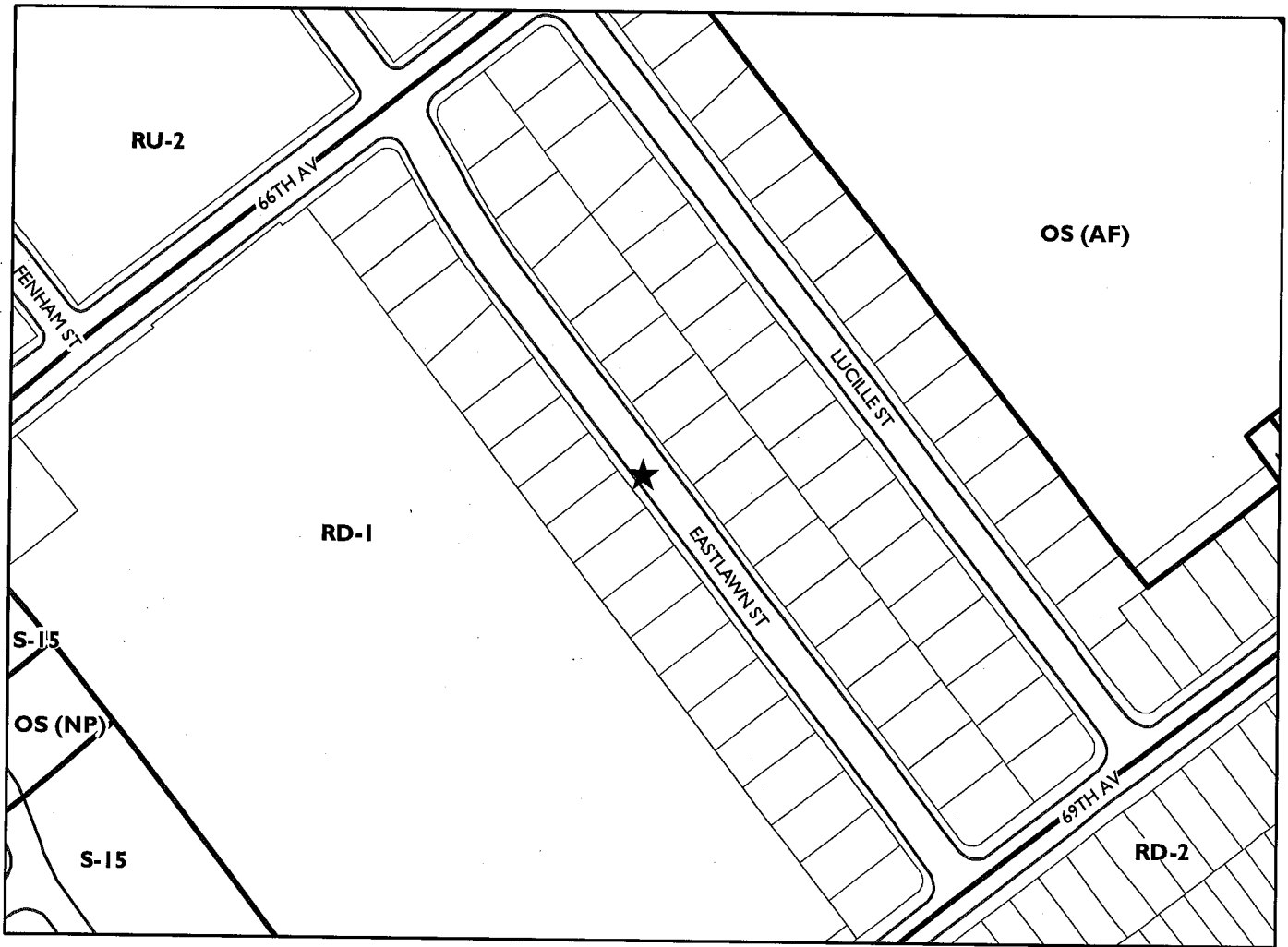
December 5, 2018

Locations:	Wooden utility pole in public right-of-way adjacent to: 6719 Eastlawn St (Case no. PLN17518; adjacent to APN: 041-4064-028-00); Submitted: 12/29/17; Zoning: RD-1 Zone <i>On February 21, 2018, the Planning Commission continued the item to a date uncertain to allow time for community outreach; on November 7, 2018, the item was continued again to this date certain for additional outreach</i> (see map on reverse)
Proposal:	To consider requests for one (1) applications to install a new "small cell site" Macro Telecommunications Facilities on a JPA wooden utility pole by attaching antenna and equipment.
Applicant / Phone Number:	Ms. Ana Gomez-Abarca / Black & Veatch (913) 458-9148
Owner:	Extenet, et al.
Planning Permit Required:	Regular Design Review with additional findings for Macro Telecommunications Facility
Environmental Determination:	Exempt, Section 15301 of the State CEQA Guidelines: Existing Facilities; Exempt, Section 15302: Replacement or Reconstruction; Exempt, Section 15303: New Construction of Small Structures; Section 15183: Projects Consistent with a Community Plan, General Plan or Zoning
Historic Status:	Non-historic property
Action to be Taken:	Approve with conditions
Finality of Decision:	<i>Appealable to City Council within 10 days</i>
For Further Information:	Contact case planner Aubrey Rose AICP at (510) 238-2071 or arose@oaklandca.gov

EXECUTIVE SUMMARY

On February 21, 2018, the Planning Commission continued the item to a date uncertain to allow time for community outreach; on November 7, 2018, the item was continued again to this date certain for additional outreach: to hold a community meeting and consider alternative sites. The applicant and neighbor scheduled separate community meetings for December 1, 2018; as of the completion of this report, the outcome of the meetings is not known, and, therefore, cannot be published, but will be discussed at the December 5th hearing.

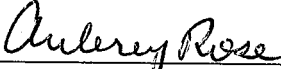
CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN17518
Applicant: Ms. Ana Gomez-Abarca / Black & Veatch
Address: Wooden utility pole in public right-of-way adjacent to:
6719 Eastlawn Street
Zone: RD-2

- RECOMMENDATIONS:**
1. Affirm staff's environmental determination.
 2. Approve the Regular Design Review subject to the attached Findings and Conditions of Approval.

Prepared by:



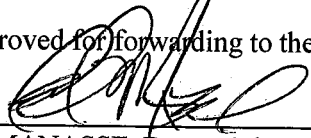
AUBREY ROSE, AICP
Planner III

Reviewed by:



ROBERT D. MERKAMP
Acting Zoning Manager

Approved for forwarding to the Planning Commission:



ED MANASSE, Deputy Director
Planning Bureau

ATTACHMENTS:

- A. December 1, 2018 community outreach notice (English / Spanish)
- B. November 7, 2018 staff report packet

(Findings / Conditions / Plans / Photo-Simulations / Site Analyses / RF Report / Proof of Posting)

Rose, Aubrey

Subject: RE: Eastlawn site continued to 12/5

From: Gomez-Abarca, Ana [mailto:GomezAbarcaA@bv.com]
Sent: Monday, November 19, 2018 4:45 PM
To: Rose, Aubrey <ARose@oaklandca.gov>
Cc: Gomez-Abarca, Ana <GomezAbarcaA@bv.com>; Ciprazo, Rosana <CiprazaOR@bv.com>; Marco Montoya <mmontoya@extenetsystems.com>
Subject: RE: Eastlawn site continued to 12/5

Hi, Aubrey.

We scheduled a community meeting for Saturday, December 1 from 10:00 am- 11:00 am at the pole location. The attached invites were sent out in both English and Spanish to the property owners and residents of the 6700 block of Eastlawn.

We will be there to speak about site selection (RF/network), permitting, alternative candidates and health questions.

Thank you,

Ana Gomez-Abarca | Project Manager | Telecom

Black & Veatch | 2999 Oak Road, Suite 490, Walnut Creek, CA 94597

+1 913 458-9148 P | +1 415 990-5384 M | +1 925 949-5902 F | GomezAbarcaA@BV.com

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Please consider the environment before printing my email

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Attachment A



ExteneNet is improving your wireless service in Oakland!

ExteneNet Systems is a neutral host telecommunications provider that is working to improve wireless services (voice, data, public safety) to the residents and businesses across Oakland. To deliver these improved services, we will be proposing to deploy high performance fiberoptic cabling and small cell wireless infrastructure at existing telephone pole near 6719 Eastlawn Street.

The national wireless carriers, in close collaboration with ExteneNet and City of Oakland, will use these components to greatly improve the coverage and performance of their wireless services for their customers. This kind of networking infrastructure is a proven solution already safely operating today in many cities and communities around the US, including California.

Although personal experiences with any kind of wireless service will vary based on a number of variables such as the user's location, application in use, and local environment, the wireless services delivered by this solution will better help meet your wireless connectivity demands, while providing a platform for serving future needs.

Want to learn more?

Please join us near the proposed location at 6719 Eastlawn Street. We will be gathering around the telephone wood pole to answer your questions.

December 1, 2018

**6719 Eastlawn Street
Oakland, CA 94621
10 A.M. to 11:00 A.M.**

For more information:

Mmontoya@extenetsystems.com





¡ExteNet está mejorando su servicio inalámbrico en Oakland!

ExteNet Systems es un proveedor de telecomunicaciones neutral que está trabajando para mejorar los servicios inalámbricos (voz, datos, seguridad pública) para los residentes y negocios en Oakland. Para brindar estos servicios mejorados, propondremos implementar cableado de fibra óptica de alto rendimiento e infraestructura inalámbrica, conocidas como "Small Cell" en las ubicaciones de los postes de teléfono cerca de 6719 Eastlawn Street.

Los operadores inalámbricos nacionales, en estrecha colaboración con ExteNet y la Ciudad de Oakland, usarán estos componentes para mejorar considerablemente la cobertura y el rendimiento de sus servicios inalámbricos para sus clientes. Este tipo de infraestructura de red es una solución comprobada que ya funciona de manera segura hoy en muchas ciudades y comunidades en los Estados Unidos, incluyendo California.

Las experiencias personales con cualquier tipo de servicio inalámbrico variarán en función de una serie de variables, como la ubicación del usuario, la aplicación en uso y el entorno local, los servicios inalámbricos proporcionados ayudarán a satisfacer sus demandas de conectividad inalámbrica, al tiempo que brindan una Plataforma para atender necesidades futuras.

¿Quiere aprender más?

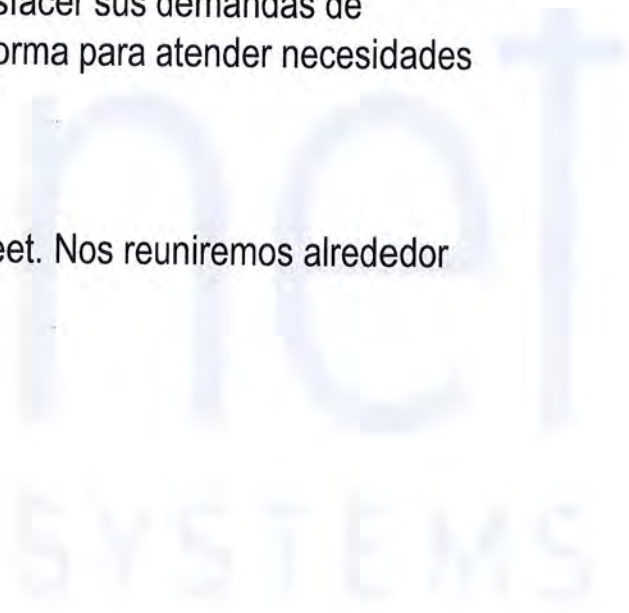
Por favor, únase con nosotros cerca de 6719 Eastlawn Street. Nos reuniremos alrededor del poste de teléfono para responder a tus preguntas.

**Diciembre 1, 2018
6719 Eastlawn Street
Oakland, CA 94621**

10 A.M. a 11:00 A.M.

Para recibir mas informacion:

Mmontoya@extenetsystems.com



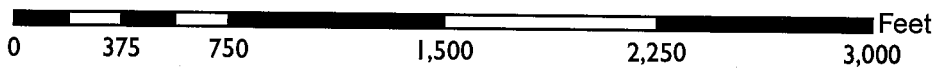
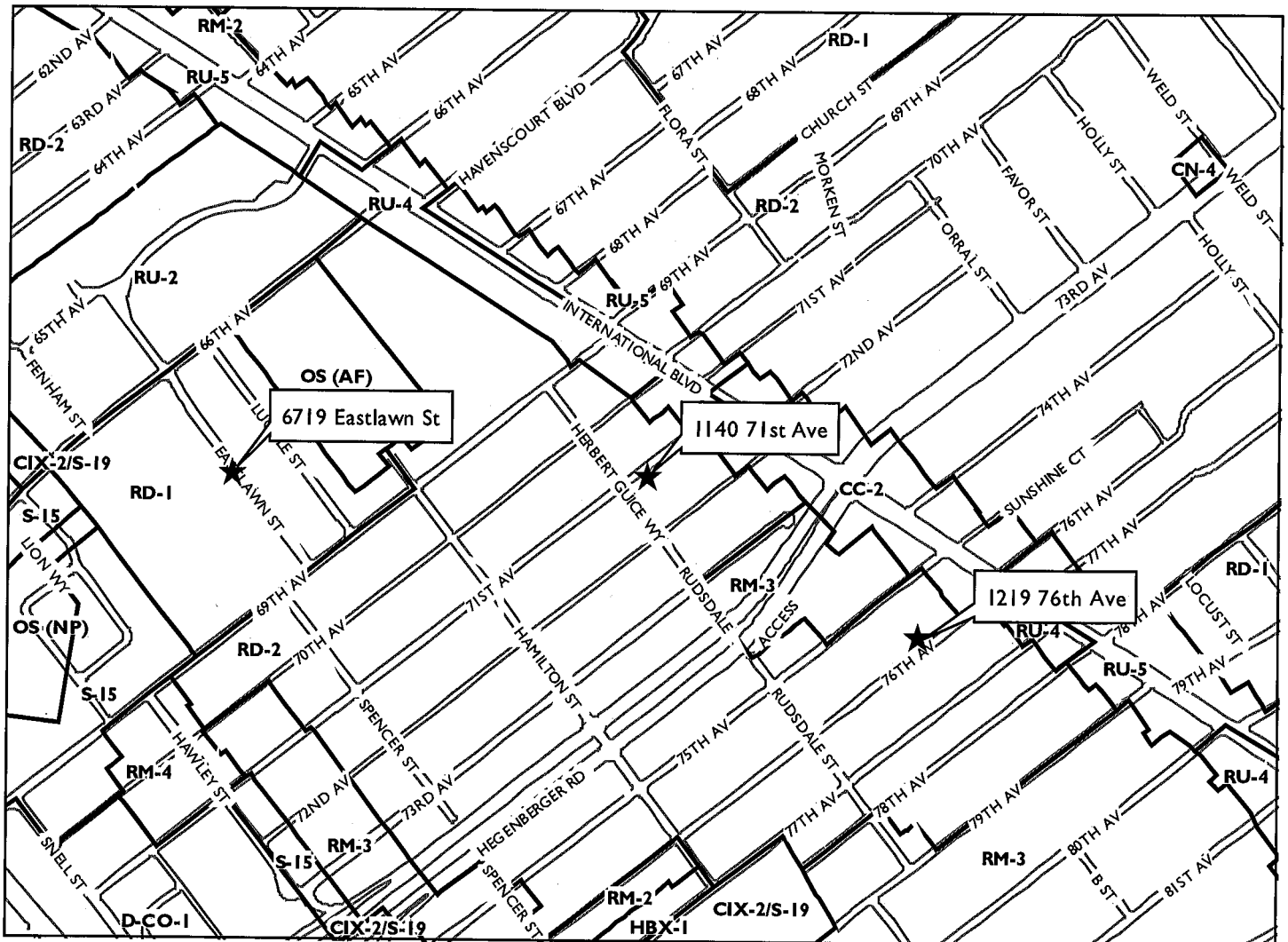
Locations:	Utility poles in public rights-of-way (sidewalk) adjacent to: 1) Case # PLN17517; 1140 71st Av (APN 041-4135-0260-00); Submitted 12/29/17; Zoning: RD-2 Detached Unit Residential; General Plan: Detached Unit Residential; Council District: 7 2) Case # PLN17518; 6719 Eastlawn St (APN 041-4064-0268-00); Submitted 12/29/17; Zoning: RD-1 Detached Unit Residential; General Plan: Detached Unit Residential; Council District: 6 3) Case # PLN17520; 1219 76th Ave (APN 041 4193-007-00); Submitted 12/29/17; Zoning: RD-2 Detached Unit Residential; General Plan: Detached Unit Res.; Council District: 7 <i>See map on reverse</i>
Proposal:	To consider requests for three (3) applications to install new “small cell site” Macro Telecommunications Facilities on existing utility poles by side mounting a shrouded antenna and equipment.
Applicant / Phone Number:	Ms. Ana Gomez-Abarca (913) 458-9148 / Black & Veatch
Owner:	Extenet, et al.
Planning Permits Required:	Regular Design Review with additional findings for Macro Telecommunications Facility in Residential Zone
Environmental Determination:	Exempt, Section 15301 of the CEQA Guidelines: Existing Facilities; Exempt, Section 15302: Replacement or Reconstruction; Exempt, Section 15303: New Construction of Small Structures; Section 15183: Projects Consistent with a Community Plan, General Plan or Zoning
Historic Status:	Non-historic properties
Action to be Taken:	Approve with Conditions
Finality of Decision:	<i>Appealable to City Council</i>
For Further Information:	Contact case planner Aubrey Rose AICP at (510) 238-2071 or by email at arose@oaklandnet.com

EXECUTIVE SUMMARY

The applicant requests Planning Commission approval to establish three (3) small cell wireless telecommunication facility sites on existing utility poles located on the public rights-of-way (sidewalk) in the residential neighborhoods. The project involves side-mounting antennas within a shroud and equipment to each utility pole as described in the submitted plans to enhance wireless services in those areas.

Regular Design Review is required for the installation of a new Macro Telecommunications Facility in a residential zone. The proposed project, antenna and associated equipment would be similar to other utility poles and equipment within the same area and around the City. The antenna shroud would extend toward the street away from the adjacent residences. The antenna shroud and associated equipment would be painted grey or brown to match the pole and/or other utilities located on the pole. As result, the proposed telecommunication facility is an appropriate location and would not significantly increase negative visual impacts to adjacent neighboring residential properties. The project meets all the required findings for approval of these three (3) small cell sites.

CITY OF OAKLAND PLANNING COMMISSION



Case Files: PLN17517, PLN17518, PLN17520
Applicant: Ms. Ana Gomez-Abarca/ Black & Veatch
Addresses: 1140 71st Ave, 6719 Eastlawn St, 1219 76th Ave
Zones: RD-1, RD-2

TELECOMMUNICATIONS BACKGROUND

Limitations on Local Government Zoning Authority under the Telecommunications Act of 1996

Section 704 of the Telecommunications Act of 1996 (TCA) provides federal standards for the siting of "Personal Wireless Services Facilities." "Personal Wireless Services" include all commercial mobile services (including personal communications services (PCS), cellular radio mobile services, and paging); unlicensed wireless services; and common carrier wireless exchange access services. Under Section 704, local zoning authority over personal wireless services is preserved such that the FCC is prevented from preempting local land use decisions; however, local government zoning decisions are still restricted by several provisions of federal law. Specifically:

- Under Section 253 of the TCA, no state or local regulation or other legal requirement can prohibit or have the effect of prohibiting the ability of any entity to provide any interstate or intrastate telecommunications service.
- Further, Section 704 of the TCA imposes limitations on what local and state governments can do. Section 704 prohibits any state and local government action which unreasonably discriminates among personal wireless providers. Local governments must ensure that its wireless ordinance does not contain requirements in the form of regulatory terms or fees which may have the "effect" of prohibiting the placement, construction, or modification of personal wireless services.
- Section 704 also preempts any local zoning regulation purporting to regulate the placement, construction and modification of personal wireless service facilities on the basis, either directly or indirectly, on the environmental effects of radio frequency emissions (RF) of such facilities, which otherwise comply with Federal Communications Commission (FCC) standards in this regard. (See 47 U.S.C. Section 332(c)(7)(B)(iv) (1996)). This means that local authorities may not regulate the siting or construction of personal wireless facilities based on RF standards that are more stringent than those promulgated by the FCC.
- Section 704 mandates that local governments act upon personal wireless service facility siting applications to place, construct, or modify a facility within a reasonable time (See 47 U.S.C.332(c)(7)(B)(ii) and FCC Shot Clock ruling setting forth "reasonable time" standards for applications deemed complete).
- Section 704 also mandates that the FCC provide technical support to local governments in order to encourage them to make property, rights-of-way, and easements under their jurisdiction available for the placement of new spectrum-based telecommunications services. This proceeding is currently at the comment stage.

For more information on the FCC's jurisdiction in this area, consult the following:
Competition & Infrastructure Policy Division (CIPD) of the Wireless Telecommunications Bureau, main division number: (202) 418-1310. <https://www.fcc.gov/general/competition-infrastructure-policy-division-wireless-telecommunications-bureau>

PROPERTY DESCRIPTION

1. 1140 71st Avenue: existing 38'-6" tall wooden utility pole located in the sidewalk towards the curb; the pole is between the Subject property containing a two-story residence set back by a parking area and the single-family home to the south (right) also set back.
2. 6719 Eastlawn Street: existing 39-foot tall wooden utility pole located in the sidewalk towards the curb; the pole is between the Subject property containing a one-story residence set back by a front yard and the single-family home to the south (left) also set back.
3. 1219 76th Avenue: existing 47'-6" tall wooden utility pole located in the sidewalk towards the curb; the pole is adjacent to the driveway of the Subject property containing a one-story home set back by a front yard

PROJECT DESCRIPTION

As shown in **Attachment C** for **PLN17517**, the project applicant proposes to:

- Install by side-mounting one panel antenna within an antenna shroud at a height of up to 21'-3" extending toward street;
- Install equipment at a height of 8' to 14'-5" above ground;
- Paint the proposed antennas and associated equipment grey or brown to match the pole and/or other utilities located on the pole.

As shown in **Attachment D** for **PLN1518**, the project applicant proposes to:

- Install by side-mounting one panel antenna within an antenna shroud at a height of up to 21'-2" extending toward street;
- Install equipment at a height of 7' to 12'-7" above ground;
- Paint the proposed antennas and associated equipment grey or brown to match the pole and/or other utilities located on the pole.

As shown in **Attachment E** for **PLN17520**, the project applicant proposes to:

- Replace pole with 47'-6" pole
- Install by side-mounting one panel antenna within an antenna shroud at a height of up to 21'-3" extending toward street;
- Install equipment at a height of 8' to 14'-4" above ground;
- Paint the proposed antennas and associated equipment grey or brown to match the pole and/or other utilities located on the pole.

No portion of the telecommunication facilities would be located at grade. The proposed antenna and associated equipment would not be accessible to the public.

SURROUNDING USES

The proposed sites are located in residential neighborhoods. The surrounding consists of a mix of single and multi-family homes.

SIMILAR CASES

Records show that the Planning Commission has approved approximately 70 Macro Telecommunications Facilities requiring Design Review throughout the City since 2016.

GENERAL PLAN ANALYSIS

The sites are classified Detached Unit Residential per the Oakland General Plan's Land Use and Transportation Element (LUTE). This classification is intended to *"to create, maintain, and enhance residential areas characterized by detached, single unit structures."*

The proposed telecommunication facilities would be mounted on existing wooden utility poles within the City of Oakland public right-of-way. The proposed unmanned wireless telecommunication facility would not adversely affect the characteristics of the neighborhood.

ZONING ANALYSIS

The proposed telecommunication facilities are located within the RD-1 and RD-2 Detached Unit Residential Zones. Section 17.136.040 and 17.128.070 of the City of Oakland Planning Code requires a Regular Design Review permit for Macro Telecommunication facilities that are attached to utility poles in these zones or that are located within one hundred (100) feet of the boundary of any residential zone. Special findings are also required for Design Review approval to ensure that the facility is concealed to the greatest extent possible. The project design is discussed later in this report, and the required findings for Regular Design Review are listed and included in staff's evaluation later in this report.

ENVIRONMENTAL DETERMINATION

The California Environmental Quality Act (CEQA) Guidelines list the projects that qualify as categorical exemptions from environmental review. The proposed project is categorically exempt from the environmental review requirements pursuant to Section 15301, minor additions and alterations to an existing utility pole; Section 15302, replacement or reconstruction of existing utility systems and/or facilities; Section 15303, new construction or conversion of small structures, and Section 15183, projects consistent with the General Plan or Zoning.

KEY ISSUES AND IMPACTS

The proposal to establish eight Macro Telecommunications Facilities is subject to the following Planning Code development standards, which are followed by staff's analysis in relation to this application:

17.128.070 Macro Telecommunications Facilities.

A. General Development Standards for Macro Telecommunications Facilities.

1. The Macro Facilities shall be located on existing buildings, poles or other existing support structures, or shall be post mounted.

The projects involve attachment to existing utility poles hosting power lines.

2. The equipment shelter or cabinet must be concealed from public view or made compatible with the architecture of the surrounding structures or placed underground. The shelter or cabinet must be regularly maintained.

Recommended conditions of approval require painting and texturing the antennas and all components to match the appearance of the utility poles and power line posts.

3. Macro Facilities may exceed the height limitation specified for all zones but may not exceed fifteen (15) feet above the roof line or parapet. Placement of an antenna on a nonconforming structure shall not be considered to be an expansion of the nonconforming structure.

This standard is inapplicable because the proposals do not involve attachment to a roofed structure.

4. Ground post mounted Macro Facilities must not exceed seventeen (17) feet to the top of the antenna.

This standard is inapplicable because the proposals do not involve ground post mounting.

5. The applicant shall submit written documentation demonstrating that the emissions from the proposed project are within the limits set by the Federal Communications Commission.

This standard is met by the proposals; satisfactory emissions reports have been submitted and are attached to this report (Attachments C-D-E).

17.128.110 Site location preferences.

New wireless facilities shall generally be located on the following properties or facilities in order of preference:

- A. Co-located on an existing structure or facility with existing wireless antennas.**
- B. City-owned properties or other public or quasi-public facilities.**
- C. Existing commercial or industrial structures in Nonresidential Zones (excluding all HBX Zones and the D-CE-3 and D-CE-4 Zones).**
- D. Existing commercial or industrial structures in Residential Zones, HBX Zones, or the DCE-3 or D-CE-4 Zones.**
- E. Other Nonresidential uses in Residential Zones, HBX Zones, or the D-CE-3 or D-CE-4 Zones.**
- F. Residential uses in Nonresidential Zones (excluding all HBX Zones and the D-CE-3 and D-CE-4 Zones).**
- G. Residential uses in Residential Zones, HBX Zones, or the D-CE-3 or D-CE-4 Zones.**

Site alternatives analyses are not required because the proposals conform to 'B' as they would be located on quasi-public facilities (utility poles with power lines). Nonetheless, the applicant has submitted analyses which are attached to this report (Attachment C-D-E).

The projects are located in an area with existing residential structures. The project applicant considered alternative sites on other utility poles in this area but none of these sites are as desirable from a service coverage perspective or from an aesthetics perspective to minimize visual impacts. The proposed project is in an underserved area. Staff has reviewed the applicant's alternative sites analysis and determined that the site selected conforms to the telecommunication regulation requirements. In addition, staff agrees that no other sites are more suitable.

17.128.120 Site design preferences.

New wireless facilities shall generally be designed in the following order of preference:

- A. Building or structure mounted antennas completely concealed from view.**
- B. Building or structure mounted antennas set back from roof edge, not visible from public right-of way.**
- C. Building or structure mounted antennas below roof line (facade mount, pole mount) visible from public right-of-way, painted to match existing structure.**
- D. Building or structure mounted antennas above roof line visible from public right-of-way.**
- E. Monopoles.**

F. Towers.

Facilities designed to meet an A or B ranked preference do not require a site design alternatives analysis. Facilities designed to meet a C through F ranked preference, inclusive, must submit a site design alternatives analysis as part of the required application materials. A site design alternatives analysis shall, at a minimum, consist of: a. Written evidence indicating why each such higher preference design alternative cannot be used. Such evidence shall be in sufficient detail that independent verification could be obtained if required by the City of Oakland Zoning Manager. Evidence should indicate if the reason an alternative was rejected was technical (e.g. incorrect height, interference from existing RF sources, inability to cover required area) or for other concerns (e.g. inability to provide utilities, construction or structural impediments).

The proposals most closely conform to 'C' (Building or structure mounted antennas below roof line (facade mount, pole mount) visible from public right-of-way, painted to match existing structure), and the applicant has submitted satisfactory site design alternatives analyses (Attachments C-D-E).

17.128.130 Radio frequency emissions standards.

The applicant for all wireless facilities, including requests for modifications to existing facilities, shall submit the following verifications:

- a. With the initial application, a RF emissions report, prepared by a licensed professional engineer or other expert, indicating that the proposed site will operate within the current acceptable thresholds as established by the Federal government or any such agency who may be subsequently authorized to establish such standards.**
- b. Prior to commencement of construction, a RF emissions report indicating the baseline RF emissions condition at the proposed site.**
- c. Prior to final building permit sign off, an RF emissions report indicating that the site is actually operating within the acceptable thresholds as established by the Federal government or any such agency who may be subsequently authorized to establish such standards.**

In the analyses prepared by Hammett & Edison, Inc. (Attachments C-D-E), the proposed project was evaluated for compliance with appropriate guidelines limiting human exposure to radio frequency electromagnetic fields. According to the report, the project would comply with the prevailing standards for limiting public exposure to radio frequency energy, and therefore, the proposed site would operate within the current acceptable thresholds as established by the Federal government or any such agency that may be subsequently authorized to establish such standards. The RF emissions report, states that the proposed project would not cause a significant impact on the environment. Additionally, the Planning Code requires that, prior to the final building permit sign off, the applicant submit a certified RF emissions report stating that the facility is operating within acceptable thresholds established by the regulatory Federal agency.

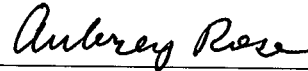
CONCLUSION

The proposed site design would not be situated on a historic pole or structure, create a view obstruction, or be directly adjacent to a primary living space such as a living room or bedroom window. The project meets all the required findings for approval and would provide an essential telecommunication service to the community and the City of Oakland at large. It would also be available to emergency services such as police, fire department and emergency response teams. Staff believes that the proposal is designed to meet the established zoning and telecommunication regulations and recommends supporting the Regular Design Review application.

RECOMMENDATIONS:

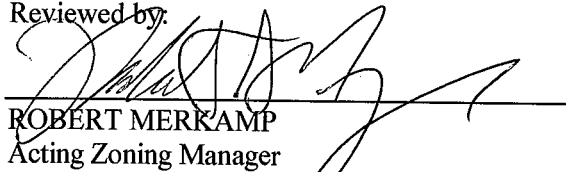
1. Affirm staff's environmental determination.
2. Approve the Regular Design Reviews subject to the attached Findings and Conditions of Approval.

Prepared by:



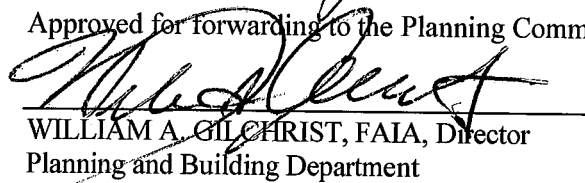
AUBREY ROSE, AICP
Planner III

Reviewed by:



ROBERT MERKAMP
Acting Zoning Manager

Approved for forwarding to the Planning Commission:



WILLIAM A. GILCHRIST, FAIA, Director
Planning and Building Department

ATTACHMENTS:

- A. Findings
- B. Conditions of Approval
- C. PLN17517, 1140 71st Avenue: Plans / Photo-Simulations / Site Analyses / RF Report / Proof of Posting
- D. PLN17518, 6719 Eastlawn Street: Plans / Photo-Simulations / Site Analyses / RF Report / Proof of Posting
- E. PLN17520, 1219 76th Avenue: Plans / Photo-Simulations / Site Analyses / RF Report / Proof of Posting

ATTACHMENT A: FINDINGS

This proposal meets the required findings under Regular Design Review Criteria for Nonresidential Facilities (OMC Sec. 17.136.050(B)) and Telecommunications Regulations/Design Review Criteria for Macro Telecommunications Facilities (OMC Sec. 17.128.070(B)), as set forth below. Required findings are shown in **bold type**; explanations as to why these findings can be made are in normal type.

REGULAR DESIGN REVIEW CRITERIA FOR NON-RESIDENTIAL FACILITIES (OMC SEC. 17.136.050(B))

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures:

The attachment of a small antenna and equipment to non-historic utility poles, painted and texturized to match the poles and power line posts in appearance for camouflaging, will be the least intrusive design. The antenna will project over the street, away from the closest residences.

2. That the proposed design will protect, preserve, or enhance desirable neighborhood characteristics;

The proposals will not create a view obstruction, be directly adjacent to a primary living space such as a living room or bedroom window, or be located on an historic structure.

3. The project will provide a necessary function without negatively impacting surrounding opens pace and hillside residential properties.

The proposals will enhance essential services in urbanized neighborhoods.

4. That the proposed design will be sensitive to the topography and landscape.

The proposals will not be ground mounted.

5. That, if situated on a hill, the design and massing of the proposed building relates to the grade of the hill.

This finding is inapplicable because the sites are level.

6. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

The sites are located in a Detached Unit Residential area under the General Plan's Land Use and Transportation Element (LUTE). Given resident's and visitors' increasing reliance upon cellular service for phone and internet, the proposal for a Macro Telecommunications Facility that is not adjacent to a primary living space or historic structure conforms to this intent.

TELECOMMUNICATIONS REGULATIONS/DESIGN REVIEW CRITERIA FOR MACRO TELECOMMUNICATIONS FACILITIES (OMC SEC. 17.128.070(B))

1. Antennas should be painted and/or textured to match the existing structure.

The antennas will be painted and texturized to match the poles in appearance for camouflaging will be the

least intrusive design, as required by conditions of approval.

2. Antennas mounted on architecturally significant structures or significant architectural detail of the building should be covered by appropriate casings which are manufactured to match existing architectural features found on the building.

This finding is inapplicable because the antennas will not be mounted onto an architecturally significant structure but to a wooden utility pole.

3. Where feasible, antennas can be placed directly above, below or incorporated with vertical design elements of a building to help in camouflaging.

The antennas will be located parallel to the host utility pole below posts hosting power lines.

4. Equipment shelters or cabinets shall be screened from the public view by using landscaping, or materials and colors consistent with surrounding backdrop or placed underground or inside existing facilities or behind screening fences.

Conditions of approval require painting and texturing to match the pole in appearance for camouflaging.

5. Equipment shelters or cabinets shall be consistent with the general character of the area.

Equipment will be attached to the utility pole with an unobtrusive design.

6. For antennas attached to the roof, maintain a 1:1 ratio (example: ten (10) feet high antenna requires ten (10) feet setback from facade) for equipment setback; screen the antennas to match existing air conditioning units, stairs, or elevator towers; avoid placing roof mounted antennas in direct line with significant view corridors.

This finding is inapplicable because the antennas will be attached to a pole and not to a roofed structure.

7. That all reasonable means of reducing public access to the antennas and equipment has been made, including, but not limited to, placement in or on buildings or structures, fencing, anti-climbing measures and anti-tampering devices.

The minimal clearance to the facility will be approximately 7 to 8-feet.

Attachment B: Conditions of Approval

1. Approved Use

The project shall be constructed and operated in accordance with the authorized use as described in the approved application materials, **staff report and the approved plans dated July 2017 and submitted August through December, 2017**, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”). Case Numbers:

- 1) Case # PLN17517; 1140 71st Av (APN 041-4135-0260-00)
- 2) Case # PLN17518; 6719 Eastlawn St (APN 041-4064-0268-00)
- 3) Case # PLN17520; 1219 76th Ave (APN 041 419300700)

2. Effective Date, Expiration, Extensions and Extinguishment

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **two calendar years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period all necessary permits for construction or alteration have been issued, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. Minor and Major Changes

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. Compliance with Conditions of Approval

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in a

technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.

- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant's expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within 60 days of approval, unless an earlier date is specified elsewhere.

8. Indemnification

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

9. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a

court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

10. Job Site Plans

Ongoing throughout demolition, grading, and/or construction

At least one (1) copy of the stamped approved plans, along with the Approval Letter and Conditions of Approval, shall be available for review at the job site at all times.

11. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with the Bureau of Building, if directed by the Building Official, Director of City Planning, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

12. Public Improvements

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement (“p-job”) permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

13. Construction Days/Hours

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents’/occupants’ preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction

activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

PROJECT-SPECIFIC CONDITIONS

14. Emissions Report

Requirement: A RF emissions report shall be submitted to the Planning Bureau indicating that the site is actually operating within the acceptable thresholds as established by the Federal government or any such agency who may be subsequently authorized to establish such standards.

Requirement: Prior to a final inspection

When Required: Prior to final building permit inspection sign-off

Initial Approval: N/A

Monitoring/Inspection: N/A

15. Camouflage

Requirement: The antenna, related equipment shall be painted, texturized, and maintained matte grey or brown, and the equipment and any other accessory items including cables gray, to better camouflage the facility to the utility pole.

When Required: Prior to a final inspection

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

16. Operational

Requirement: Noise levels from the activity, property, or any mechanical equipment on site shall comply with the performance standards of Section 17.120 of the Oakland Planning Code and Section 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the Planning and Zoning Division and Building Services.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

17. Possible District Undergrounding Wooden Utility Pole

Requirement: Should the City light pole be permanently removed for purposes of district undergrounding or otherwise, the telecommunications facility can only be re-established by applying for and receiving approval of a new application to the Oakland Planning Bureau as required by the regulations.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

18. Graffiti Control Requirement:

- a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation:
- b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following:
 - i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.
 - ii. For galvanized poles, covering with new paint to match the color of the surrounding surface.
 - iii. Replace pole numbers.

When Required: Ongoing

Initial Approval: N/A

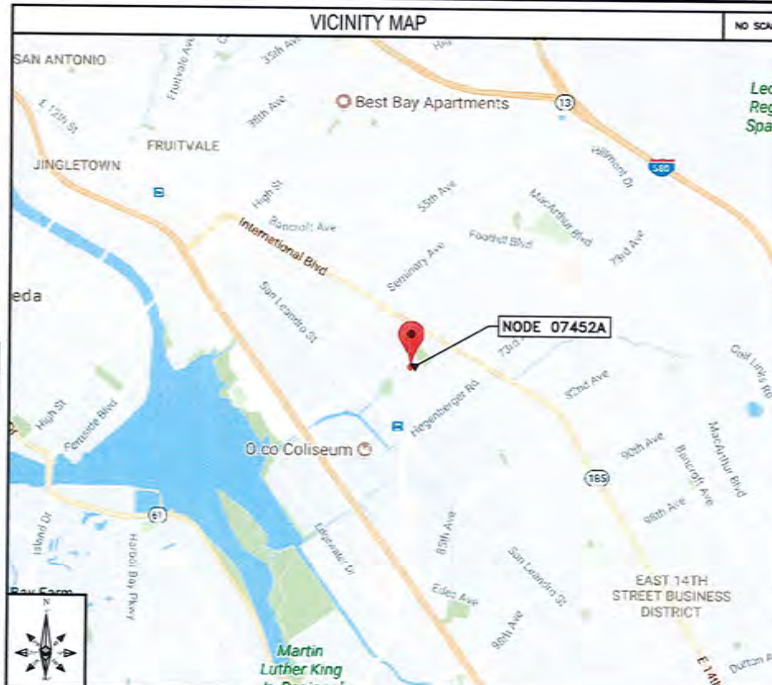
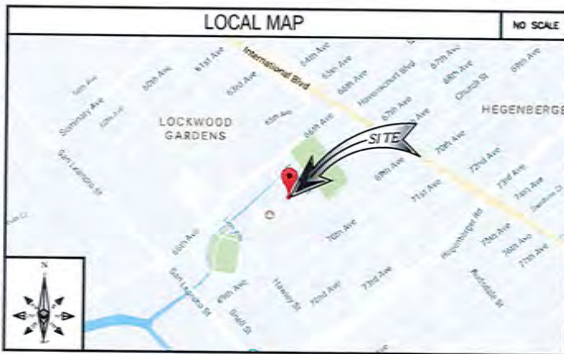
Monitoring/Inspection: Bureau of Building

ATTACHMENT D
CASE NO. PLN1518
6719 EASTLAWN STREET

NW-CA-OASF07M1-TMO 07452A

POWER DESIGN: DC
POLE REPLACEMENT: NO

ADJACENT TO (IN PROW)
6719 EASTLAWN STREET
OAKLAND, CA 94621



CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES (AS APPLICABLE). NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 1: IBC - 2015
- 2: CALIFORNIA BUILDING STANDARDS CODE - 2016
- 3: CALIFORNIA GENERAL ORDER 95
- 4: CALIFORNIA MECHANICAL CODE 2016
- 5: CALIFORNIA PLUMBING CODE 2016
- 6: CALIFORNIA ELECTRICAL CODE 2016
- 7: CITY AND/OR COUNTY ORDINANCES
- 8: 2012 INTERNATIONAL FIRE CODE
- 9: BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA)

PROJECT DESCRIPTION

THESE DRAWINGS DEPICT THE INSTALLATION OF A WIRELESS TELECOMMUNICATIONS NODE IN THE PUBLIC RIGHT OF WAY. HARDWARE AND ANCILLARY EQUIPMENT TO BE INSTALLED AS DESCRIBED HEREIN.

GENERAL PROJECT NOTES

1. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE NEW PROJECT.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE JOB SITE AND CONFIRM THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
3. ALL FIELD MODIFICATIONS BEFORE, DURING OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY AN EXTENET SYSTEMS REPRESENTATIVE.
4. INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, UNLESS INDICATED OTHERWISE.
5. NOTIFY EXTENET SYSTEMS, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM AN EXTENET SYSTEMS REPRESENTATIVE, AND ADJUSTING THE BID ACCORDINGLY.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
7. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF AN EXTENET SYSTEMS REPRESENTATIVE.
8. CONTRACTOR PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE, FOLLOWING THE FINAL INSPECTION BY EXTENET. THE CONTRACTOR SHALL PROVIDE EXTENET SYSTEMS WITH ONE COPY OF ALL RED-LINED DRAWINGS.
9. VERIFY ALL FINAL EQUIPMENT WITH AN EXTENET SYSTEMS REPRESENTATIVE. ALL EQUIPMENT LAYOUT, SPECS, PERFORMANCE INSTALLATION AND THEIR FINAL LOCATION ARE TO BE APPROVED BY EXTENET SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS/HER WORK WITH THE WORK AND CLEARANCES REQUIRED BY OTHERS RELATED TO SAID INSTALLATIONS.



INTERNAL REVIEW	
CONSTRUCTION SIGNATURE	DATE
RF SIGNATURE	DATE
REAL ESTATE SIGNATURE	DATE

BLACK & VEATCH CORPORATION
2999 OAK ROAD
SUITE 490
WALNUT CREEK, CA 94597

THESE DRAWINGS ARE COPYRIGHTED AND ARE THE PROPERTY OF BLACK & VEATCH. PRODUCED SOLELY FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DRAWINGS IS PROHIBITED WITHOUT WRITTEN CONSENT BY BLACK & VEATCH.

PROJECT NO.	DRAWN BY	CHECKED BY
192417.448A	YJG	LW
D	12/18/17	ADDED FOR COMMENTS
C	10/21/17	ISSUED FOR REVIEW
B	06/21/17	ISSUED FOR REVIEW
A	07/03/17	ISSUED FOR REVIEW
REV	DATE	DESCRIPTION

PRELIMINARY

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

EXTENET SYSTEMS (CA) LLC
2000 CROW CANYON PLACE
SUITE 210
SAN RAMON, CA 94583

SITE ADDRESS
07452A
ADJACENT TO (IN PROW)
6719 EASTLAWN STREET
OAKLAND, CA 94621

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

SHEET INDEX	
SHEET NO.	SHEET TITLE
T-1	TITLE SHEET
GN-1	GENERAL NOTES AND LEGEND
Z-1	OVERALL SITE PLAN
Z-2	UTILITY POLE ELEVATIONS
Z-2.1	RISER DETAILS AND EQUIPMENT CLEARANCES
Z-3	EQUIPMENT DETAILS
Z-4	ELECTRICAL DETAILS

ASSOCIATED FILES, DOCUMENTS & APPLICATIONS	
WINDLOAD FILE	N/A
JPA APPLICATION	N/A
PGE APPLICATION	N/A
PGE SLA	N/A
MUNICIPAL PERMIT	N/A
ELEC INSPECTION	N/A
EXTENET CONTACT (NOC)	888-882-5327 noc@extenet-systems.com
CUSTOMER CONTACT	N/A
FIBER CONST PNG	N/A

IF USING 11"x17" PLOT, DRAWINGS WILL BE HALF SCALE

SUBCONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

PROJECT INFORMATION

POLE OWNER	APPLICANT
<p>COMPANY: EXTENET JOINT POLE OWNERSHIP</p> <p>ADDRESS: 2000 CROW CANYON PLACE SUITE 210 SAN RAMON, CA 94583</p> <p>CONTACT: WENDY MUELLER</p> <p>PHONE: 925-895-4614</p>	<p>COMPANY: EXTENET SYSTEMS CALIFORNIA, LLC.</p> <p>CONTACT: CHARLES LINDSAY</p> <p>ADDRESS: 2000 CROW CANYON PLACE SUITE 210 SAN RAMON, CA 94583</p> <p>PHONE: (510) 910-7787</p> <p>E-MAIL: CLINDSAY@EXTENETSYSTEMS.COM</p>

AGENT	ENGINEER	PROJECT DATA
<p>COMPANY: BLACK & VEATCH</p> <p>CONTACT: ANA GOMEZ-ABARCA DISCUSSION MANAGER, TELECOM</p> <p>ADDRESS: 2999 OAK ROAD, SUITE 490 WALNUT CREEK, CA 94597</p> <p>PHONE: (913) 458-9148 D (925) 949-5902 F</p> <p>EMAIL: GOMEZABARCA@BV.COM</p>	<p>COMPANY: BLACK & VEATCH</p> <p>ENGINEER: LEE WRIGHT</p> <p>PHONE: (913) 458-9793</p> <p>E-MAIL: WRIGHTL@BV.COM</p>	<p>LATITUDE: 37.7591030417</p> <p>LONGITUDE: -122.195429027</p> <p>POLE #: 110146789</p> <p>ELEVATION: 16' AMSL</p> <p>ZONING JURISDICTION: CITY OF OAKLAND</p> <p>ZONING DISTRICT: RD-1</p> <p>NEAREST A.P.N.: 41-4064-28</p> <p>OCCUPANCY: U, UNMANNED</p> <p>CONSTRUCTION TYPE: ATTACHMENTS TO A WOOD UTILITY POLE</p> <p>TITLE 24 REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. THIS PROJECT IS EXEMPT.</p>

UNDERGROUND SERVICE ALERT
UTILITIES PROTECTION CENTER, INC.
811
48 HOURS BEFORE YOU DIG

GENERAL NOTES

- THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS, CONTRACT AND CONSTRUCTION DOCUMENTS.
- THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THESE PLANS AND IN THE CONTRACT DOCUMENTS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTOR(S) SHALL VISIT THE JOB SITE(S) AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND SURROUNDINGS AND CONFIRM THAT THE WORK MAY BE ACCOMPLISHED PER THE CONTRACT DOCUMENTS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE IMPLEMENTATION ENGINEER AND ARCHITECT/ENGINEER PRIOR TO BID SUBMITTAL.
- THE CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED ON ANY WORK NOT CLEARLY DEFINED OR IDENTIFIED IN THE CONTRACT AND CONSTRUCTION DOCUMENTS BEFORE STARTING ANY WORK.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES, INCLUDING APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS. IF THESE RECOMMENDATIONS ARE IN CONFLICT WITH THE CONTRACT AND CONSTRUCTION DOCUMENTS AND/OR APPLICABLE CODES OR REGULATIONS, REVIEW AND RESOLVE THE CONFLICT WITH DIRECTION FROM THE IMPLEMENTATION ENGINEER AND ARCHITECT/ENGINEER.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE IMPLEMENTATION ENGINEER AND WITH THE AUTHORIZED REPRESENTATIVE OF ANY OUTSIDE POLE OR PROPERTY OWNER.
- THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO PAVING CURBS, VEGETATION, GALVANIZED SURFACE OR OTHER EXISTING ELEMENTS AND UPON COMPLETION OF THE WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF EXTENT.
- CONTRACTOR IS TO KEEP THE GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH, AND REMOVED EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION DAILY.
- PLANS ARE INTENDED TO BE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED UNLESS OTHERWISE NOTED. RELY ONLY ON ANNOTATED DIMENSIONS AND REQUEST INFORMATION IF ADDITIONAL DIMENSIONS ARE REQUIRED.
- THE EXISTENCE AND LOCATION OF UTILITIES AND OTHER AGENCY FACILITIES WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. OTHER FACILITIES MAY EXIST. CONTRACTOR SHALL VERIFY LOCATIONS PRIOR TO START OF CONSTRUCTION AND USE EXTREME CARE AND PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE FACILITIES. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF UTILITIES OR OTHER AGENCY FACILITIES WITHIN THE LIMITS OF THE WORK, WHETHER THEY ARE IDENTIFIED IN THE CONTRACT DOCUMENTS OR NOT.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (800) 227-2600, AT LEAST TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.

DEFINITIONS

- "TYPICAL" OR "TYP" MEANS THAT THIS ITEM IS SUBSTANTIALLY THE SAME ACROSS SIMILAR CONDITIONS. "TYP." SHALL BE INTERPRETED TO MEAN "TYPICAL WHERE OCCURS" AND SHALL NOT BE CONSIDERED AS WITHOUT EXCEPTION OR MODIFICATION OF SPECIFIC CONDITIONS.
- "SIMILAR" MEANS COMPARABLE TO CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- "AS REQUIRED" MEANS AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS, BY GENERALLY ACCEPTED CONSTRUCTION PRACTICE, OR BY THE CONTRACT DOCUMENTS.
- "ALIGN" MEANS ACCURATELY LOCATE FINISH FACES OF MATERIALS IN THE SAME PLANE.
- THE TERM "VERIFY" OR "V.L.F." SHALL BE UNDERSTOOD TO MEAN "VERIFY IN FIELD WITH ENGINEER" AND REQUIRES THAT THE CONTRACTOR CONFIRM INTENTION REGARDING NOTED CONDITION AND PROCEED ONLY AFTER RECEIVING DIRECTION.
- WHERE THE WORDS "OR EQUAL" OR WORDS OF SIMILAR INTENT FOLLOW A MATERIAL SPECIFICATION, THEY SHALL BE UNDERSTOOD TO REQUIRE SHOWN APPROVAL OF ANY DEVIATION TO SAID SPECIFICATION PRIOR TO CONTRACTOR'S ORDERING OR INSTALLATION OF SUCH PROPOSED EQUAL PRODUCT.
- FURNISH : SUPPLY ONLY. OTHERS TO INSTALL: INSTALL ITEMS FURNISHED BY OTHERS. PROVIDE: FURNISH AND INSTALL.

FIELD WELDING NOTES:

- WELDING TO BE PERFORMED BY AWS CERTIFIED WELDER FOR THE TYPE OF AND POSITION INDICATED. ALL WORK MUST BE IN CONFORMANCE WITH LATEST EDITION OF AWS D1.1.
- GRIND SURFACES TO BE WELDED WITH A SILICON CARBIDE WHEEL PRIOR TO WELDING TO REMOVE ALL GALVANIZING WHICH MAY OTHERWISE BE CONCLUDED IN THE WELD METAL. APPLY ANTI-SPATTER COMPOUND AFTER GRINDING.
- WELDING TECHNIQUE MUST MINIMIZE TEMPERATURE RISE ON THE INSIDE SURFACE OF THE POLE AND ALSO VOLATILE ANY REMAINING ZINC WITHIN THE BASE METAL WITH MINIMUM SPATTER. USE AN E70 (LOW HYDROGEN) ELECTRODE. USE LARGEST DIAMETER ELECTRODE COMPATIBLE WITH WELDING POSITION AND MATERIAL THICKNESS. STRICTLY FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR STORAGE AND USE OF ELECTRODES. AVOID REMOVING ELECTRODES FROM MANUFACTURER'S PACKAGING UNTIL READY FOR IMMEDIATE USE.
- WELDING MAY PRODUCE TOXIC FUMES. REFER TO AWS STANDARD Z49.1 "SAFETY IN WELDING AND CUTTING" FOR PROPER PRECAUTIONS.
- UPON COMPLETION OF WELDING, APPLY GALV-IN-STICK ZINC COATING TO ALL UNPROTECTED SURFACES. APPLY A SECOND LAYER OF COLD GALVANIZING SPRAY COMPOUND CONTAINING A MINIMUM ZINC CONTENT OF 95% IF NECESSARY. APPLY A FINAL COAT OF COMPATIBLE PAINT TO MATCH SURROUNDING SURFACES.

ANTENNA MOUNTING

- DESIGN AND CONSTRUCTION OF ANTENNA SUPPORTS SHALL CONFORM TO CURRENT ANSI/TIA-222 OR APPLICABLE LOCAL CODES.
- ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS, UNLESS NOTED OTHERWISE.
- ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE, UNLESS NOTED OTHERWISE.
- DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.
- ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH LOCK NUTS, DOUBLE NUTS AND SHALL BE TORQUED TO MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL INSTALL ANTENNA PER MANUFACTURER'S RECOMMENDATION FOR INSTALLATION AND GROUNDING.
- PRIOR TO SETTING ANTENNA AZIMUTHS AND DOWN-TILTS, ANTENNA CONTRACTOR SHALL CHECK THE ANTENNA MOUNT FOR TIGHTNESS AND ENSURE THAT THEY ARE FLARED. ANTENNA AZIMUTHS SHALL BE SET FROM TRUE NORTH AND BE ORIENTED WITHIN +/- .5% AS DEFINED BY THE RFDS. ANTENNA DOWN-TILTS SHALL BE WITHIN +/- .05% AS DEFINED BY THE RFDS.

TORQUE REQUIREMENTS

- ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH.
- ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.
 - RF CONNECTION BOTH SIDES OF THE CONNECTOR.
 - GROUNDING AND ANTENNA HARDWARE ON THE NUT SIDE STARTING FROM THE THREADS TO THE SOLO SURFACE. EXAMPLE OF SOLO SURFACE: GROUND BAR, ANTENNA BRACKET METAL.
- ALL 8M ANTENNA HARDWARE SHALL BE TIGHTENED TO 9 LB-FT (12 NM).
- ALL 12M ANTENNA HARDWARE SHALL BE TIGHTENED TO 43 LB-FT (58 NM).
- ALL GROUNDING HARDWARE SHALL BE TIGHTENED UNTIL THE LOCK WASHER COLLAPSES AND THE GROUNDING HARDWARE IS NO LONGER LOOSE.
- ALL ON TYPE CONNECTIONS SHALL BE TIGHTENED TO 18-22 LB-FT (2.4 - 29.8 NM).
- ALL N TYPE CONNECTIONS SHALL BE TIGHTENED TO 15-20 LB-IN (1.7 - 2.3 NM).

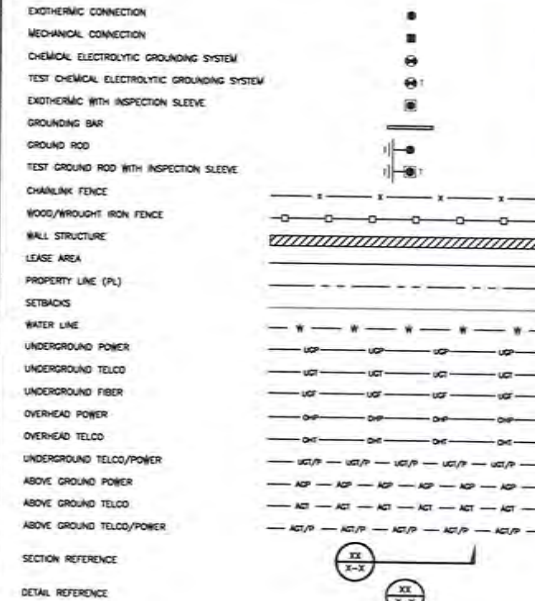
ROW UTILITY POLE CONSTRUCTION NOTES

- NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2" (.381M).
- FILL ALL HOLES LEFT IN POLE FROM REARRANGEMENT OF CLAMBERS.
- ALL CLAMB STEPS NEXT TO CONDUIT SHALL HAVE EXTENDED STEPS.
- CABLE NOT TO IMPIDE 15' (.381M) CLEAR SPACE OFF POLE FACE (12:00).
- 90 SHORT SWEEPS UNDER ANTENNA ARM. ALL CABLES MUST ONLY TRANSITION ON THE INSIDE OR BOTTOM OF ARMS (NO CABLE ON TOP OF ARMS).
- USE 90 CONNECTION AT CABLE CONNECTION TO ANTENNAS.
- USE 1/2" [0.125M] CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
- FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.

NODE SITE POWER SHUT DOWN PROCEDURES

- FOR NON EMERGENCY/SCHEDULED POWER SHUT DOWN
 - CALL EXTENET SYSTEMS NOC (NETWORK OPERATIONS CENTER) (866)892-5327
 - 24 HOURS PRIOR TO SCHEDULED POWER SHUT OFF
 - PROVIDE THE FOLLOWING INFORMATION:
 - NOC SITE NUMBER IDENTIFIED ON SITE NUMBERING STICKER
 - YOUR NAME AND REASON FOR POWER SHUTOFF
 - PROVIDE DURATION OF OUTAGE
 - UNLOCK DISCONNECT BOX, FLIP BOTH BREAKERS TO THE OFF POSITION
 - POWER SHUT OFF VERIFICATION WITH APPROVED POC&E PROCEDURES
 - NOTIFY EXTENET NOC UPON COMPLETION OF WORK
 - REINSTALL LOCK ON DISCONNECT BOX
- EMERGENCY POWER SHUT OFF
 - CALL EXTENET SYSTEMS NOC (NETWORK OPERATIONS CENTER) (866)892-5327
 - PROVIDE THE FOLLOWING INFORMATION:
 - NOC SITE NUMBER IDENTIFIED ON SITE NUMBERING STICKER
 - YOUR NAME AND REASON FOR POWER SHUTOFF
 - PROVIDE DURATION OF OUTAGE
 - UNLOCK DISCONNECT BOX, FLIP BOTH BREAKERS TO THE OFF POSITION
 - POWER SHUT OFF VERIFICATION WITH APPROVED POC&E PROCEDURES
 - NOTIFY EXTENET NOC UPON COMPLETION OF WORK
 - REINSTALL LOCK ON DISCONNECT BOX

LEGEND



GENERAL NOTES AND LEGEND



INTERNAL REVIEW	
CONSTRUCTION SIGNATURE	DATE
RF SIGNATURE	DATE
REAL ESTATE SIGNATURE	DATE



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PROJECT NO.	DRAWN BY	CHECKED BY
192417.4484	YJC	LW
D	DATE	REVISION
12/18/17	12/18/17	ISSUED PER COMMENTS
C	10/21/17	ISSUED FOR REVIEW
B	08/01/17	ISSUED FOR REVIEW
A	07/05/17	ISSUED FOR REVIEW
REV	DATE	DESCRIPTION

PRELIMINARY

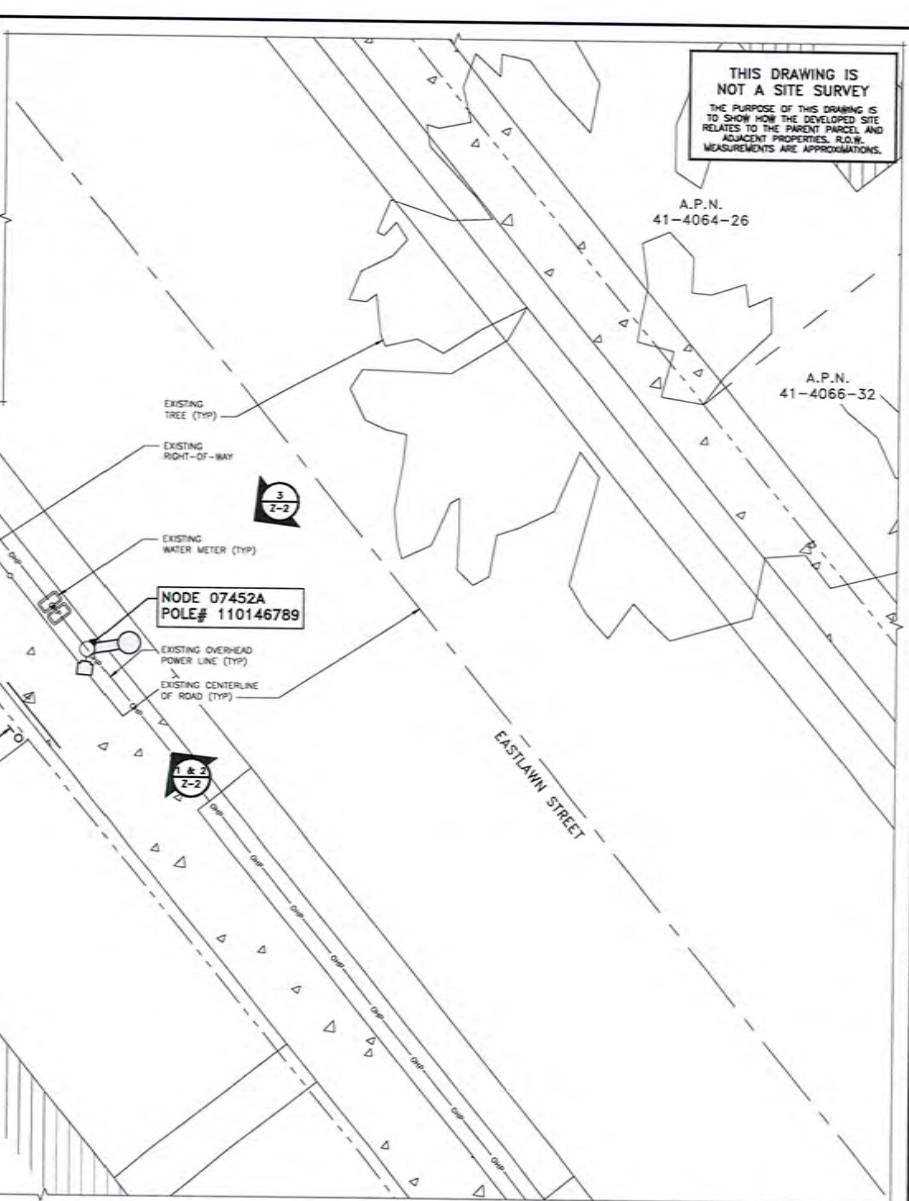
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EXTENET SYSTEMS (CA) LLC
2000 CROW CANYON PLACE
SUITE 210
SAN RAMON, CA 94583

SITE ADDRESS
07452A
ADJACENT TO (IN PROW)
6719 EASTLAWN STREET
OAKLAND, CA 94621

SHEET TITLE
GENERAL NOTES
AND LEGEND

SHEET NUMBER
GN-1



THIS DRAWING IS NOT A SITE SURVEY
 THE PURPOSE OF THIS DRAWING IS TO SHOW HOW THE DEVELOPED SITE RELATES TO THE PARENT PARCEL AND ADJACENT PROPERTIES. R.O.W. MEASUREMENTS ARE APPROXIMATIONS.



INTERNAL REVIEW	
CONSTRUCTION SIGNATURE	DATE
RF SIGNATURE	DATE
REAL ESTATE SIGNATURE	DATE

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C	10/25/17	ISSUED FOR REVIEW
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A	07/25/17	ISSUED FOR REVIEW

REV	DATE	DESCRIPTION
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PRELIMINARY

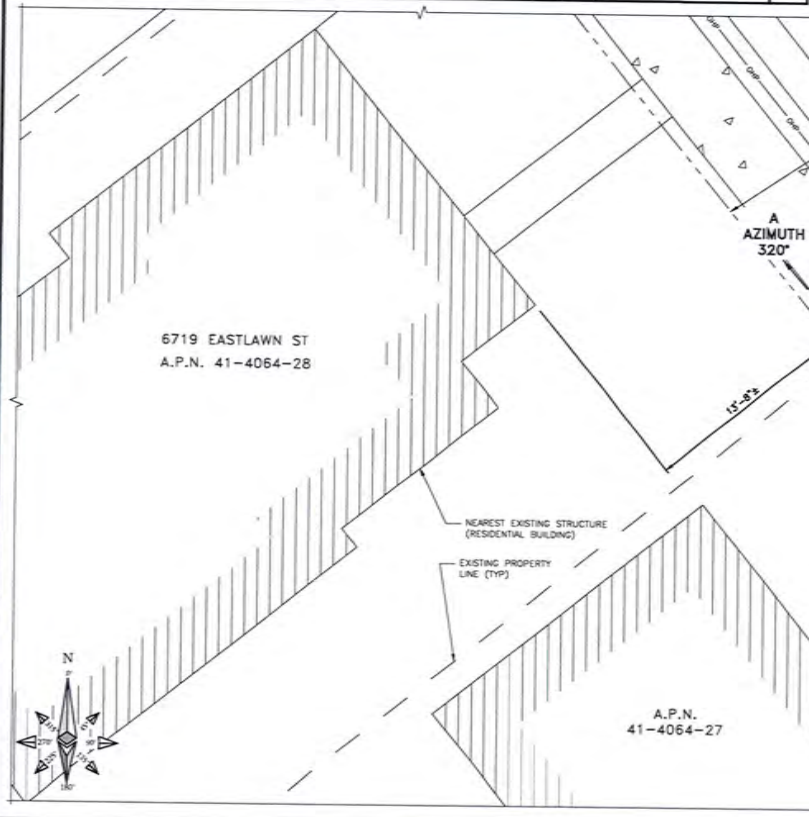
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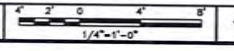
SITE ADDRESS
 07452A
 ADJACENT TO (IN PROW)
 6719 EASTLAWN STREET
 OAKLAND, CA 94621

SHEET TITLE
OVERALL SITE PLAN

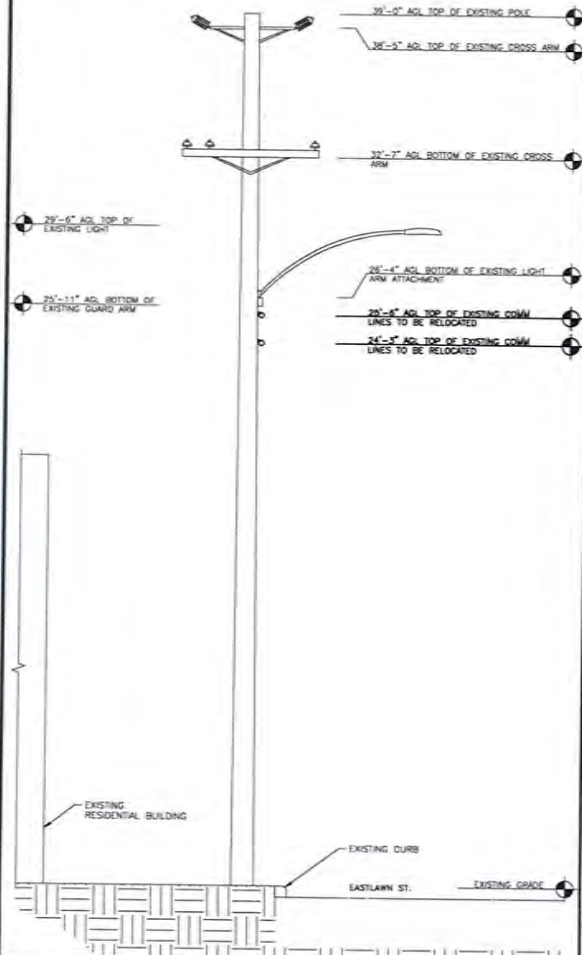
SHEET NUMBER
Z-1



OVERALL SITE PLAN



NOTE
 THESE DRAWINGS HAVE BEEN CREATED BASED ON THE ASSUMPTION THAT THE STRUCTURE HAS SUFFICIENT CAPACITY TO SUPPORT THE PROPOSED LOADING. IT IS THE RESPONSIBILITY OF THE POLE OWNER TO CONFIRM THAT THE PROPOSED LOADING IS WITHIN THE ORIGINAL DESIGN CAPACITY OF THE STRUCTURE.

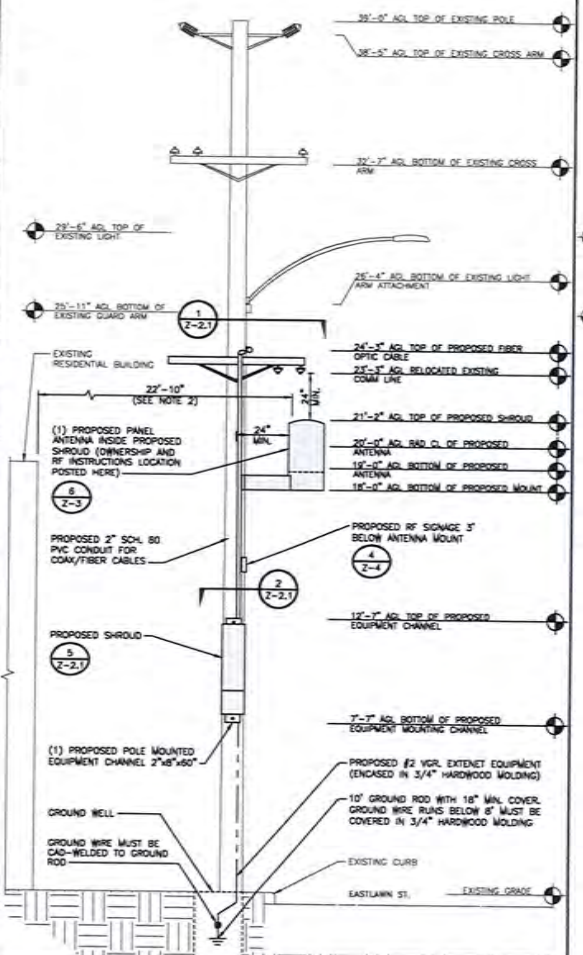


EXISTING SOUTHEAST ELEVATION

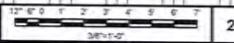


1

NOTES
 1. ALL PROPOSED/ANCIARY EQUIPMENT TO BE PAINTED MESA BROWN TO MATCH EXISTING UTILITY POLE.
 2. DISTANCE FROM ANTENNA FACE TO NEAREST BUILDING (8719 EASTLAWN STREET), SEE SHEET Z-1 FOR ORIENTATION.
 3. ANTENNA SHOULD NOT ENTIRELY SHOWN FOR CLARITY.

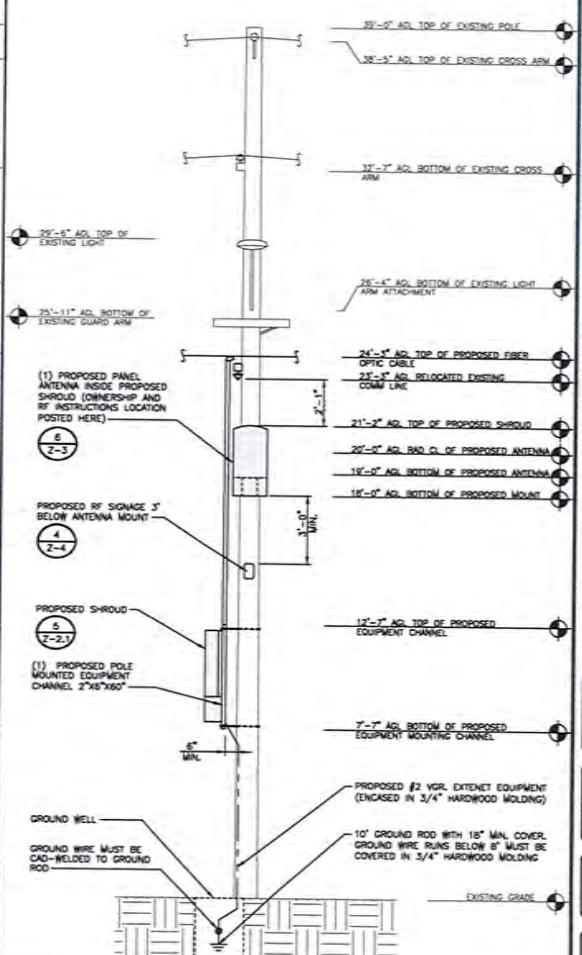


PROPOSED SOUTHEAST ELEVATION

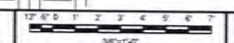


2

CARRIER MAKE-READY
 1. CONTRACTOR TO INSTALL (1) PANELED ANTENNA w/ ANCIARY ELECTRONICS AND HARDWARE ON PROPOSED ANTENNA SIDE ARM MOUNT WITH AN ELECTRICAL DOWN TILT OF 0 DEGREES.
 2. CONTRACTOR TO INSTALL EXTENET (S) RADIO EQUIPMENTS w/ ANCIARY ELECTRONICS AND HARDWARE ON PROPOSED 80" CHANNEL MOUNT.
 3. CONTRACTOR TO INSTALL (1)-2" SCH. 80 PVC CONDUIT WITH WEATHERHEAD FOR COAX AND FIBER CABLES.
 4. CONTRACTOR TO INSTALL (1) FIBER SPLICE BOX ON PROPOSED 80" CHANNEL MOUNT.
 5. CONTRACTOR TO INSTALL (1) RF SHUTDOWN ON PROPOSED 60" CHANNEL MOUNT.
 6. EXTENET APPROVED CONTRACTOR TO INSTALL (1) NEW FIBER OPTIC CABLE AT 24'-3".
 7. EXTENET APPROVED CONTRACTOR TO RELOCATE (2) EXISTING COAX LINES FROM 25'-6" TO 23'-3" AND 24'-3" TO 23'-3" ON PROPOSED CROSS ARM.
 8. CONTRACTOR TO INSTALL REQUIRED RF SIGNAGE 3'-0" BELOW PROPOSED ANTENNA MOUNT.



PROPOSED NORTHEAST ELEVATION



3



INTERNAL REVIEW	
CONSTRUCTION SIGNATURE	DATE
RF SIGNATURE	DATE
REAL ESTATE SIGNATURE	DATE

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PRELIMINARY

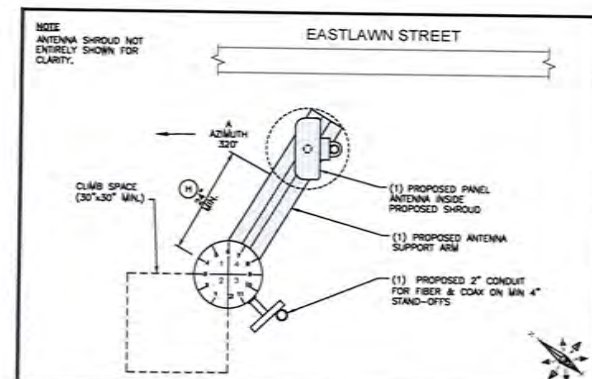
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EXTENET SYSTEMS (CA) LLC
 2000 CROW CANYON PLACE
 SUITE 210
 SAN RAMON, CA 94583

SITE ADDRESS
 07452A
 ADJACENT TO (IN PROW)
 6719 EASTLAWN STREET
 OAKLAND, CA 94621

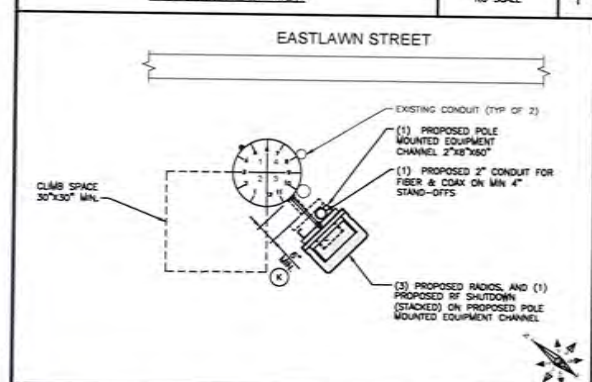
SHEET TITLE
 UTILITY POLE ELEVATIONS

SHEET NUMBER
Z-2



ANTENNA PLAN VIEW

NO SCALE 1



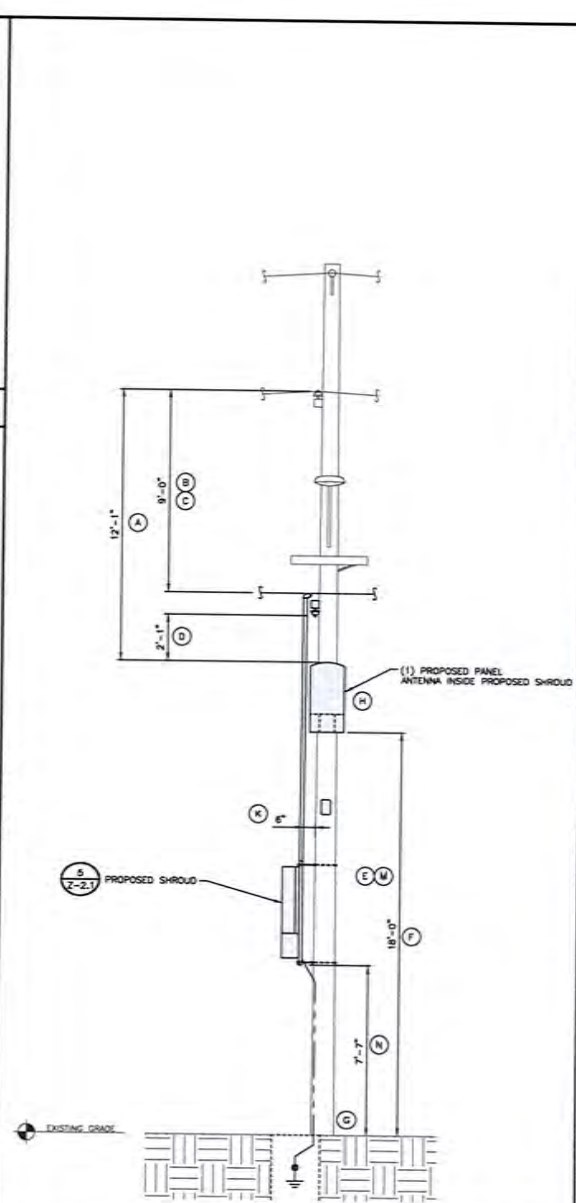
RADIO PLAN VIEW

NO SCALE 2

- (A) 72" MIN. CLEARANCE BETWEEN SECONDARY POWER AND CLOSEST LEVEL OF ANTENNA ASSEMBLY
- (B) 72" MIN. CLEARANCE REQUIRED
- (C) 48" MIN. CLEARANCE REQUIRED FROM SECONDARY POWER
- (D) 24" MIN. CLEARANCE REQUIRED
- (E) 12" MIN. SPACING FOR EQUIPMENT TO CURB
- (F) 15" MIN. (MAY BE REDUCED TO 9" WHEN NOT EXPOSED TO TRAFFIC)
- (G) GROUND INSTALLED BY COMAL COMPANY (INCLUDES 10' COPPER ROD)
- (H) 24" MIN. FROM CENTER OF POLE
- (I) 12" MIN. CLEARANCE REQUIRED
- (K) 6" MIN. SPACING BETWEEN POLE/RISERS AND EQUIPMENT
- (L) PROTECTIVE COVERING MUST EXTEND 3'-0" BEYOND ENERGIZED 0-750 VOLT LINES
- (M) POLE STEPS TO BE INSTALLED FROM 8'-5" ABOVE GRADE TO EXTENET ATTACHMENT
- (N) 7" MIN. / 8" MAX. REQUIRED

KEY

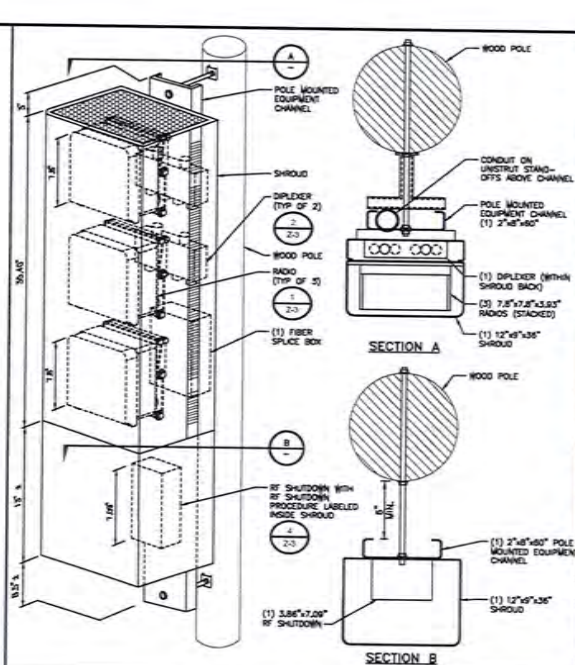
NO SCALE 3



EQUIPMENT CLEARANCES

12' 0" 1' 2' 3' 4' 5' 6' 7' 8' 9' 10' 11' 12' 13' 14' 15' 16' 17' 18' 19' 20'

3/8" = 1' = 0"

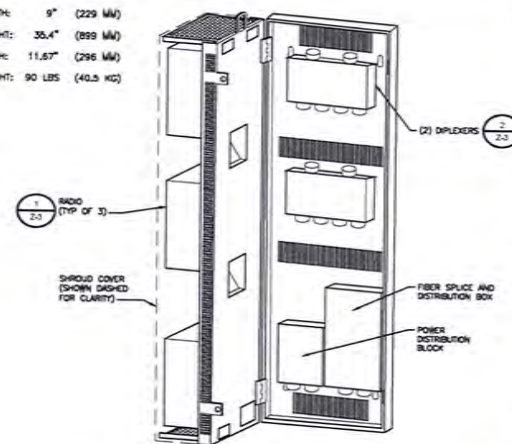


EQUIPMENT MOUNTING DETAIL

NO SCALE 5

ERICSSON SMALL CELL SHROUD

DEPTH: 9" (229 MM)
 HEIGHT: 35.4" (899 MM)
 WIDTH: 11.67" (296 MM)
 WEIGHT: 90 LBS (40.5 KG)



RADIO SHROUD SPECIFICATIONS

6



INTERNAL REVIEW	
CONSTRUCTION SIGNATURE	DATE
RF SIGNATURE	DATE
REAL ESTATE SIGNATURE	DATE



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PROJECT NO.	192417.4484	DRAWN BY	YJC	CHECKED BY	LW
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REV	DATE	DESCRIPTION
D	12/18/17	AWARDED PER COMMENTS
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EXTENET SYSTEMS (CA) LLC
 2000 CROW CANYON PLACE
 SUITE 210
 SAN RAMON, CA 94583

SITE ADDRESS
 07452A
 ADJACENT TO (IN PROW)
 6719 EASTLAWN STREET
 OAKLAND, CA 94621

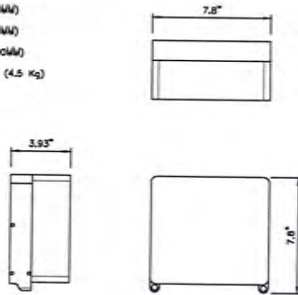
SHEET TITLE
 RISER DETAILS AND
 EQUIPMENT CLEARANCES

SHEET NUMBER

Z-2.1

ERICSSON RRUS-2203/5

LENGTH: 7.8" (200MM)
 WIDTH: 7.8" (200MM)
 DEPTH: 3.93" (100MM)
 TOTAL WEIGHT (WITHOUT BRACKETS): <9.9 LBS (4.5 kg)



RADIO UNIT SPECIFICATION

NO SCALE 1

COMMSCOPE

CBC1923-4310 | E11F13P20
 Diplexer PCS/AWS+WCS, DC block, 4.3-10

Mechanical Specifications

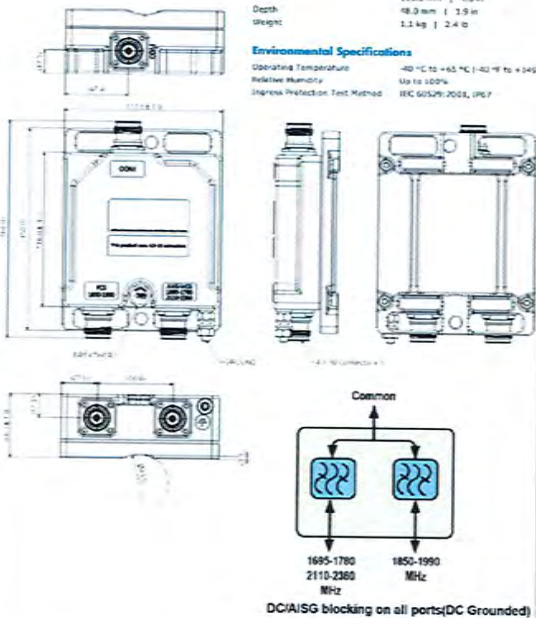
RF Connector Interfaces: 4.3-10 Female
 RF Connector Interface Body Style: Long neck
 Color: Gray
 Finish: Painted

Dimensions

Height: 117.6 mm | 4.6 in
 Width: 116.0 mm | 4.6 in
 Depth: 48.0 mm | 1.9 in
 Weight: 1.3 kg | 2.4 lb

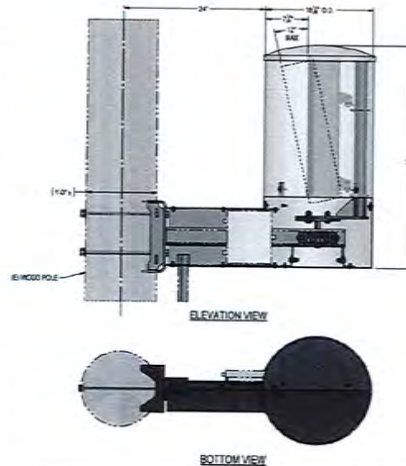
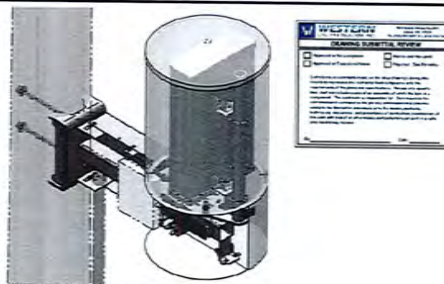
Environmental Specifications

Operating Temperature: -40 °C to +65 °C (-40 °F to +149 °F)
 Relative Humidity: Up to 100%
 Ingress Protection Test Method: IEC 60529:2003, IP17



DIPLEXER SPECIFICATIONS

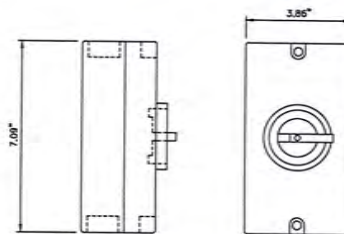
NO SCALE 2



SIDE ARM ANTENNA MOUNT

NO SCALE 3

NO DC DISCONNECT
 MODEL: S16-PS1648-2
 ENCLOSED DC SWITCH
 NEMA 4x
 16A
 800VDC
 2 POLE
 GREY
 3.86" [98mm] x 7.09" [180mm]



RF SHUTDOWN SPECIFICATIONS

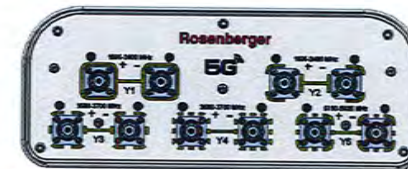
NO SCALE 4

ITEM #	PART #	DESCRIPTION	QTY	UNIT WT. (Gm)
STANDOFF ARM ASSEMBLY PARTS/HOUR				
1	WA-714	3/16x3/16x1/2" STANDOFF ARM W/DAMT	1	.43
2	SS-514	2V2Y1/4x7" AXI ANGLE	2	0.5
3	SS-516	2V2Y1/4x7" AXI ANGLE	2	0.4
4	10230	3/8x1/2" A307 FULLY THRD BOLT/TAPT/W GALV.	4	0.1
5	41910	3/8x1/2" A563-A HEX NUT, GALV.	2	0.04
6	51000	3/8x1/2" A563-A HEX NUT, GALV.	2	0.04
7	80236	3/8x1/2" A36 THRD ROD, GALV.	1	0.19
BUS BAR ASSEMBLY PARTS/HOUR				
8	PL-718	1/4x2V1/4" COPPER, BUS BAR	1	0.8
9	43010	3/8" LOCK COPPER, BUS BAR	4	0.01
10	71017	3/8" LOCK FULLY THRD S.S. BOLT	4	0.04
11	90060	3/8" STANDOFF (INSULATOR) (SS6648)	2	0.1
ANTENNA / EQUIPMENT MOUNT PARTS/HOUR				
12	MA57	PANEL ANTENNA PIPE MAST	1	2.2
13	16250P	3/8x1/2" 1/2" A307 FULLY THRD BOLT, GALV.	2	0.1
14	41910	3/8" LOCK WASHER, GALV.	2	0.04
15	51000	3/8" A563 HEX NUT, GALV.	2	0.02
SHROUD ASSEMBLY PARTS/HOUR				
14	WA-710L	1/4GAx13 1/8x14 5/8" L.D. E.G., FORMED PLATE W/DAMT	1	8
15	WA-710R	1/4GAx13 1/8x14 5/8" L.D. E.G., FORMED PLATE W/DAMT	1	8
16	PL-1264	1/4GAx17 5/8x2-0 7/8" E.G., FORMED COVER	1	0.9
17	PL-1267	1/4GAx17 5/8x2-0 1/8" E.G., FORMED COVER	1	0.9
18	PL-1581	1/2V1/2" A36, PLATE	4	0.3
19	14205-4	1 1/4GAx1 1/2x2 1/8" A36, FORMED PLATE	2	0.1
20	55550	1/4-20 UN-STYLE SPEED NUT, BLACK PHOSPHATE	16	0.02
21	70217	1/8" UN-1 SS FLGD BUTT-ON HD SOKT CAP SCRW	18	0.02
22	70218	1/8" UN-1 1/4" SS FLGD BUTT-ON HD SOKT CAP SCRW	18	0.003
				TOTAL CALC. WT. = 89.0g

ANTENNA SHROUD PARTS TABLE

NO SCALE 5

Data Sheet: Rosenberg
 Small/Micro Coil Panel Antenna (2G/4G/5G) BA-0308T3T2VFK55F-06



Input Connectors: 10 x 4.3-10 Female
 Connector Position: Bottom
 Lightning Protection: DC Ground
 Dimensions: 908 x 350 x 138 mm | 23.9 x 13.8 x 5.4 in
 Weight: 6.6kg | 14.6 lbs
 Maximum Wind Velocity: 24.1km/h | 150 mph
 Maximum Wind Loading @150 km/h: 211 N | 47.5 lbf
 Reflector Material: Aluminum Alloy
 Radome Material: ASA
 Radome Color: Gray
 Mounting Kit: Included
 Mechanical Tilt Range: 0°-20°

ANTENNA SPECIFICATIONS

NO SCALE 6



INTERNAL REVIEW
 CONSTRUCTION SIGNATURE DATE
 RF SIGNATURE DATE
 RF/ELECTRICAL SIGNATURE DATE



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REV	DATE	DESCRIPTION
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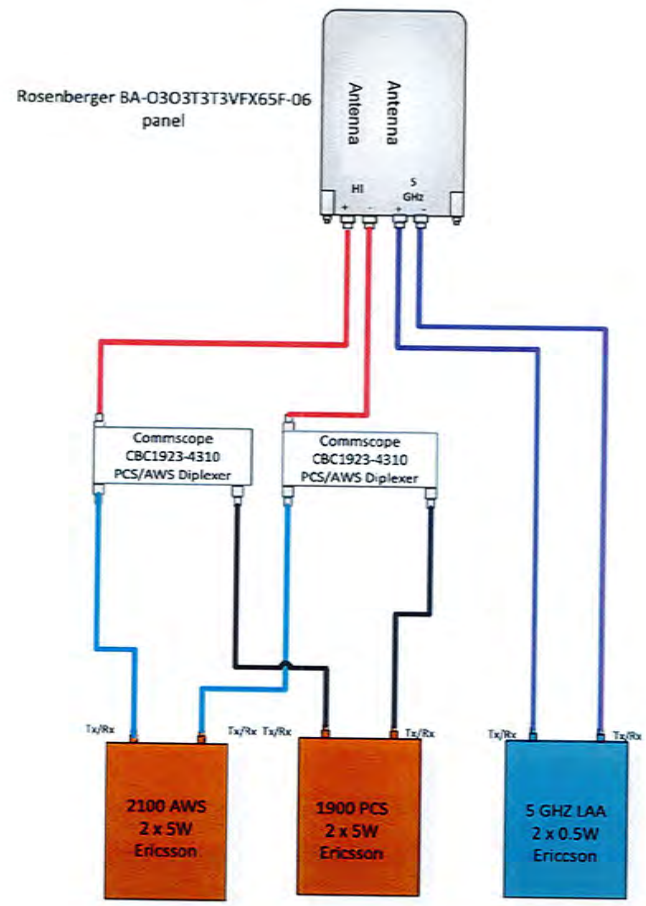
EXTENET SYSTEMS (CA) LLC
 2000 CROW CANYON PLACE
 SUITE 210
 SAN RAMON, CA 94583

SITE ADDRESS
 07452A
 ADJACENT TO (IN PROW)
 6719 EASTLAWN STREET
 OAKLAND, CA 94621

SHEET TITLE
 EQUIPMENT DETAILS

SHEET NUMBER
Z-3

TMO 360
Option 4B
SINGLE PANEL



ANTENNA CONFIGURATION

NO SCALE 1

NOT USED

NO SCALE 2

NOT USED

NO SCALE 3

- NOTES
1. EXTENET TO INSTALL SIGNS PER CODES RULE 94.5 APPENDIX H, EXHIBIT A; AT NODE/ANTENNA POLE.
 2. SPECIFIC EME PLACARD WILL BE PLACED AFTER EME REPORT.



RF SIGNAGE DETAIL

NO SCALE 4



INTERNAL REVIEW	
CONSTRUCTION SIGNATURE	DATE
RF SIGNATURE	DATE
REAL ESTATE SIGNATURE	DATE

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BLACK & VEATCH CORPORATION
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192417.4484	YJG	LW

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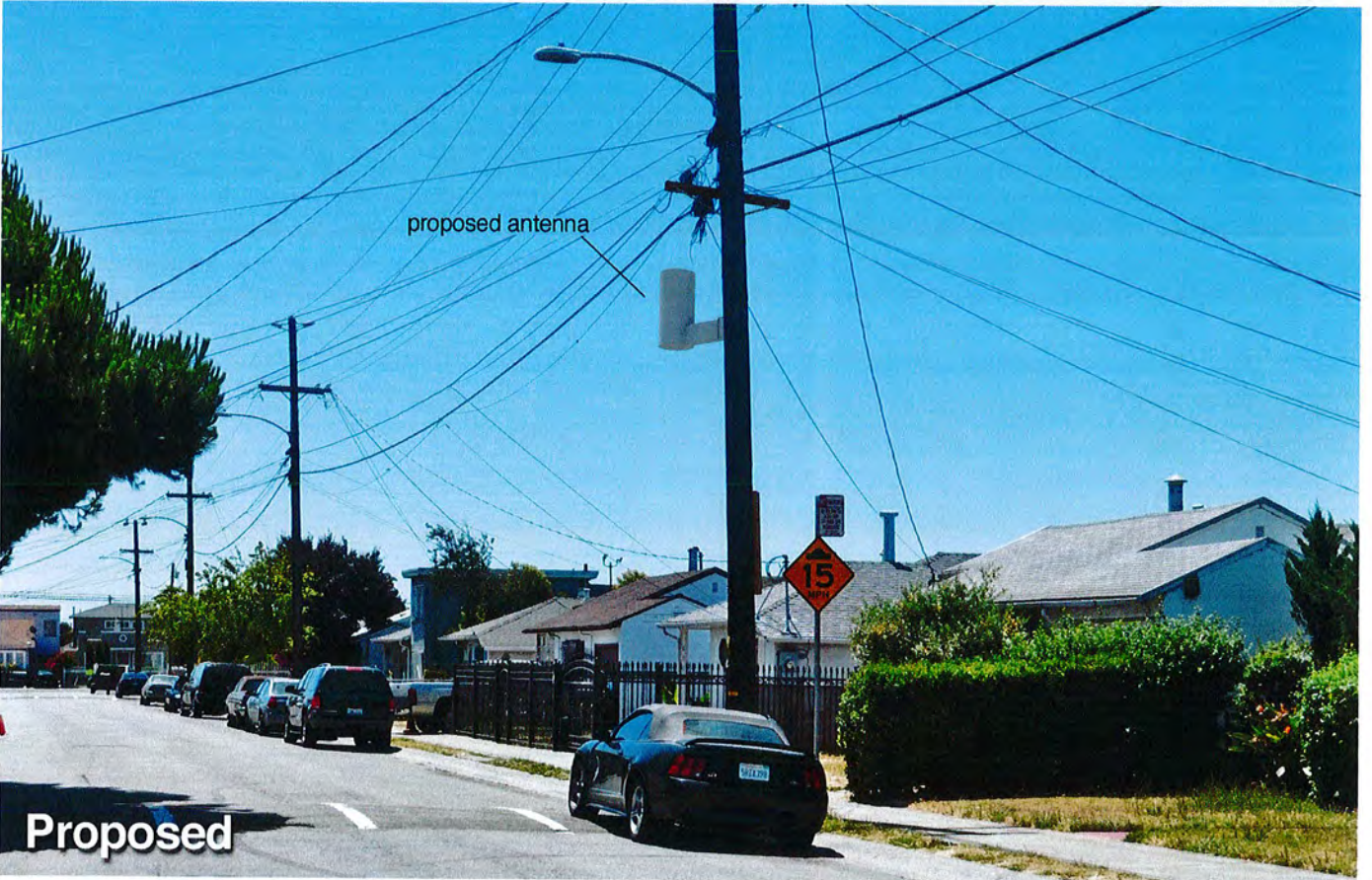
SITE ADDRESS
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ADJACENT TO (IN PROW)
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OAKLAND, CA 94621

SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER
Z-4



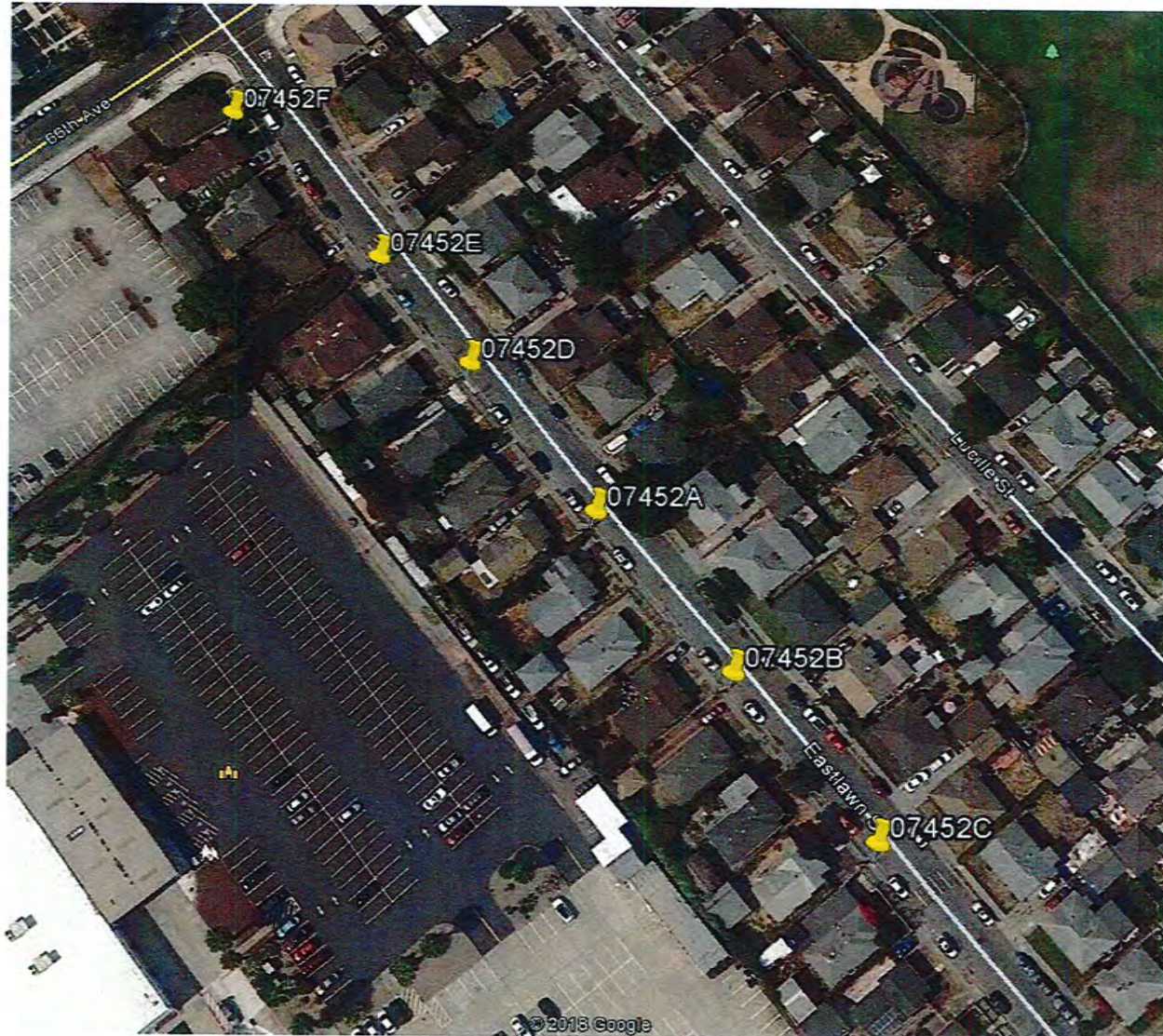






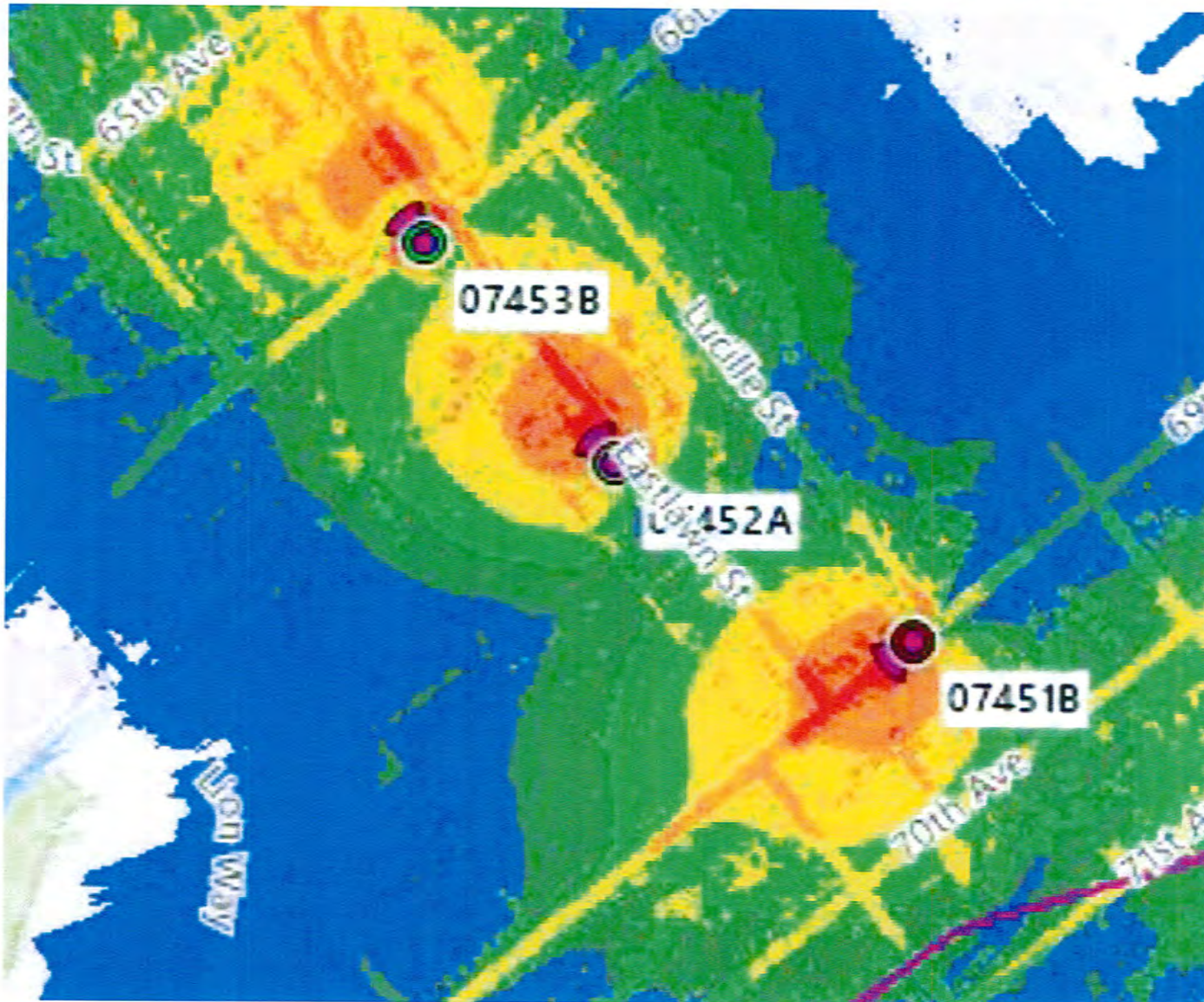
EXTENET OAKLAND NODE 07452A ALTERNATIVE SITE ANALYSIS

MAP OF ALTERNATIVE POLES EVALUATED FOR NODE 07452A



- The above maps depict ExteNet's proposed Node 07452A in relation to other poles in the area that were evaluated as possibly being viable alternative candidates.
- The following is an analysis of each of those 5 alternative locations.

PROPAGATION MAP OF NODES 07452A



This propagation map depicts the ExteNet proposed Node 07452A in relation to surrounding proposed ExteNet small cell nodes.

07452A - PROPOSED LOCATION



- The location for ExteNet's proposed Node 07452A is a wood utility pole located adjacent to PROW at 6719 Eastlawn Street. (37.759106, -122.195433).
- ExteNet's objective is to provide T-Mobile 5G wireless coverage and capacity as well as high speed wireless internet to the Oakland area.
- ExteNet evaluated this site and nearby alternatives to verify that the selected site is the least intrusive means to close T-Mobile's significant service coverage gap.

ALTERNATIVE NODE 07452B



- Node 07452B is a wood utility pole located adjacent to PROW at 6741 Eastlawn Street. (37.758807, -122.195129).

ALTERNATIVE NODE 07452C



- Node 07452C is a wood utility pole located adjacent to PROW at 6817 Eastlawn Street. (37.758515, -122.194828).

ALTERNATIVE NODE 07452D



- Node 07452D is a wood utility pole located adjacent to PROW at 6645 Eastlawn Street. (37.759395, -122.195725).

ALTERNATIVE NODE 07452E



- Node 07452E is a wood utility pole located adjacent to PROW at 6639 East Lawn Street. (37.759610, -122.195947).

ALTERNATIVE NODE 07452F



- Node 07452F is a wood utility pole located adjacent to PROW at 6609 Eastlawn Street. (37.759965, -122.196256).

ALTERNATIVE SITE ANALYSIS CONCLUSION

Based on ExteNet's analysis of alternative sites, the currently proposed Node 07452A is the least intrusive location from which to fill the surrounding significant wireless coverage gaps.



extenetSM
SYSTEMS

Thank You!



CITY OF OAKLAND
BUREAU OF PLANNING

250 Frank H. Ogawa Plaza, Suite 2114, Oakland, CA 94612-2031
Phone: 510-238-3911 Fax: 510-238-4730

PLANNING COMMISSION PUBLIC NOTICE

Locations:	Utility poles in public right-of-way adjacent to: <ul style="list-style-type: none">• 1140 71st Ave (PLN17517, APN: 041-4135-026-00); Submitted 12/29/17; Zone: RD-2; General Plan: Detached Unit Residential; Council District: 7• 6719 Eastlawn St (PLN17518, APN: 041-4064-028-00); Submitted 12/29/17; Zone: RD-1; General Plan: Detached Unit Residential; Council District: 6• 1219 76th Ave (PLN17520, APN: 041-4193-007-00); Submitted 12/29/17; Zone: RD-2; General Plan: Detached Unit Residential; Council District: 7
Proposal:	To consider requests for (3) applications to install new "small cell site" Macro Telecommunications Facilities on existing utility by attaching an antenna within a shroud and minimal equipment mounted on the side of the pole.
Applicant / Phone Number:	Ms. Ana Gomez-Abarca (913) 458-9148 / Black & Veatch
Owner:	Extenet, et al.
Planning Permits Required:	Regular Design Review with additional findings for Macro Telecommunications Facility in Residential Zone
Environmental Determination:	Exempt, Section 15301 of the State CEQA Guidelines: Existing Facilities; Exempt, Section 15302: Replacement or Reconstruction; Exempt, Section 15303: New Construction of Small Structures; Section 15183: Projects Consistent with a Community Plan, General Plan or Zoning
Historic Status:	Non-historic properties
Action to be Taken:	Decision based on staff report
Finality of Decision:	Appealable to City Council
For Further Information:	Contact Case Planner Aubrey Rose AICP at (510) 238-2071 or by email at arose@oaklandnet.com .

Your comments and questions, if any, should be directed to the Bureau of Planning, 250 Frank H. Ogawa Plaza, 2nd Floor, Oakland, California 94612-2031 at or prior to the public hearing to be held on **February 21, 2018**, at Oakland City Hall, Council Chambers, 1 Frank H. Ogawa Plaza, Oakland, California 94612. The public hearing will start at 6:00 p.m.

If you challenge the Planning Commission decision on appeal and/or in court, you will be limited to issues raised at the public hearing or in correspondence delivered to the Bureau of Planning, at, or prior to, the public hearing on this case. If you wish to be notified of the decision of any of these cases, please provide the case planner with a regular mail or email address.

Please note that the description of the application found above is preliminary in nature and that the project and/or such description may change prior to a decision being made. Except where noted, once a decision is reached by the Planning Commission on these cases, they are appealable to the City Council. **Such appeals must be filed within ten (10) calendar days of the date of decision by the Planning Commission and by 4:00p.m.** An appeal shall be on a form provided by the Bureau of Planning, and submitted to the same at 250 Frank H. Ogawa Plaza, Suite 2114, to the attention of the Case Planner. The appeal shall state specifically wherein it is claimed there was error or abuse of discretion by the City of Oakland or wherein the decision is not supported by substantial evidence and must include payment in accordance with the City of Oakland Master Fee Schedule. Failure to file a timely appeal will preclude you from challenging the City's decision in court. The appeal itself must raise every issue that is contested along with all the arguments and evidence previously entered into the record prior to or at the public hearing mentioned above. Failure to do so will preclude you from raising such issues during the appeal hearing and/or in court.

POSTING DATE: **February 2, 2018**

IT IS UNLAWFUL TO ALTER OR REMOVE THIS NOTICE WHEN POSTED ON SITE

PLEASE CALL (510) 238-3911

