

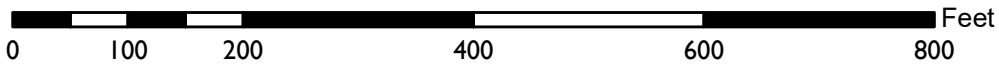
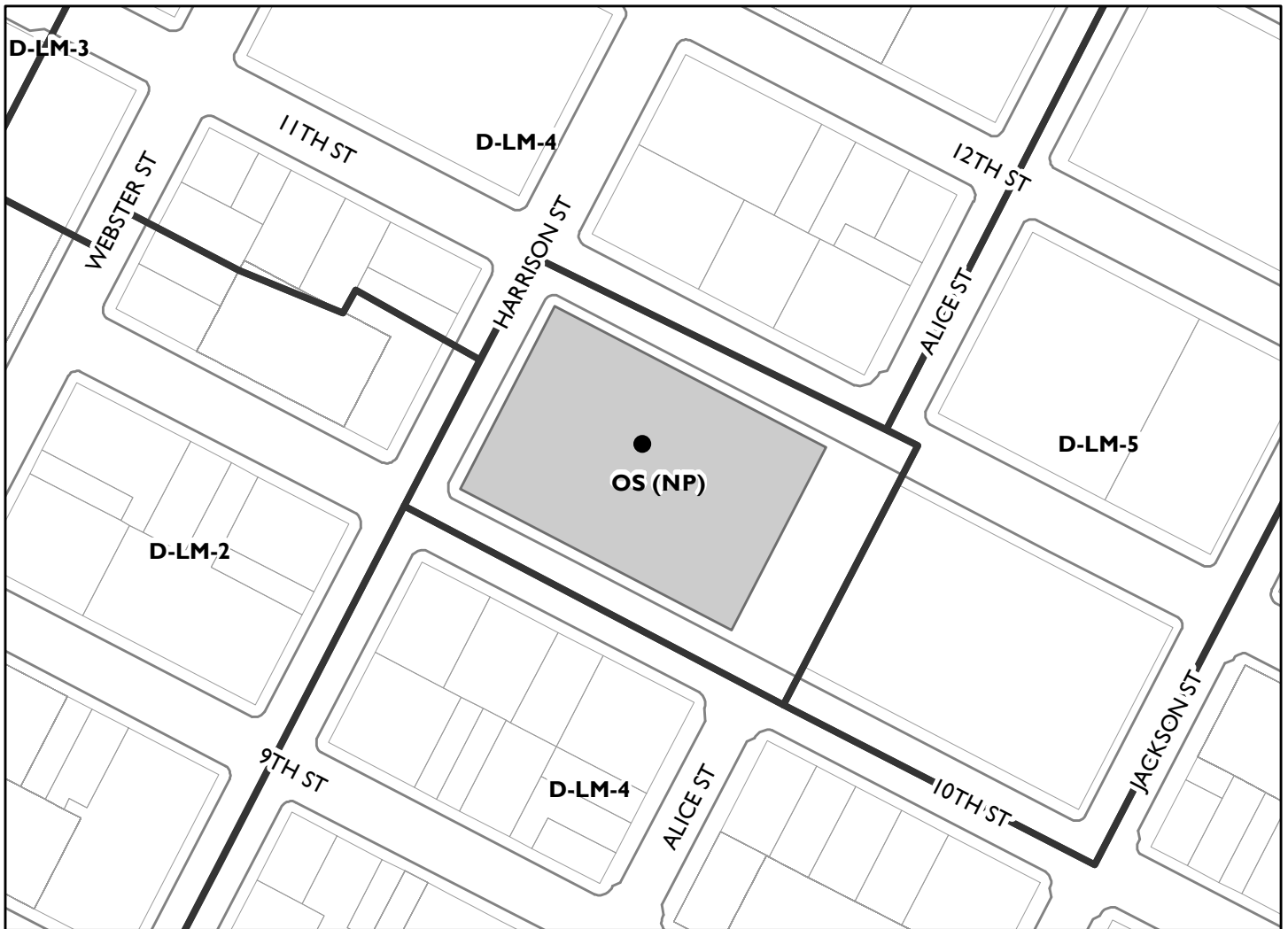
<b>#1</b>	<b>Project Location:</b>	Lincoln Square Park, 250 10 <sup>th</sup> Street (adjacent to 11 <sup>th</sup> and Harrison Streets)
	<b>Assessor's Parcel Number:</b>	002 0071001
	<b>Proposal:</b>	Remove the existing 7,476 square-foot recreation center and construct a new, 37-foot tall, 22,221 square-foot recreation center. The project also includes the construction of a new basketball court, installation of landscaping, and placement of new outdoor furniture.
	<b>Applicant:</b>	City of Oakland, Department of Public Works
	<b>Contact Information:</b>	Henry Choi at (510) 238-3340 and <a href="mailto:hchoi@oaklandca.gov">hchoi@oaklandca.gov</a>
	<b>Owner:</b>	City of Oakland
	<b>Case File Number:</b>	PLN22143
	<b>Planning Permits Required:</b>	<ul style="list-style-type: none"> <li>• Major Conditional Use Permit for a new recreation center in the Open Space / Neighborhood Park (OS/NP) Zone;</li> <li>• Regular Design Review for new construction on a Landmark Site; and</li> <li>• Variances for exceeding: 1) maximum impervious surface where 25% is allowed and 64% is proposed, and 2) maximum building height where 35 feet is allowed, and 37 feet is proposed.</li> </ul>
	<b>General Plan:</b>	Urban Park and Open Space
	<b>Zoning:</b>	Open Space / Neighborhood Park (OS/NP)
	<b>Environmental Determination:</b>	Under Review
	<b>Historic Status:</b>	Lincoln Square Park is a City Landmark and on the Local Register of Historic Sites. The Park has a Cultural Heritage Survey rating of B+a3.
	<b>City Council District:</b>	2
	<b>Status:</b>	Pending
	<b>Finality of Decision:</b>	No decision at this hearing. The Planning Commission will make the initial decision at a future public meeting, which will be appealable to the City Council.
	<b>For Further Information:</b>	Contact Case Planner <b>Mike Rivera</b> at (510) 238-6417 or by email at <a href="mailto:mriviera@oaklandca.gov">mriviera@oaklandca.gov</a>

**SUMMARY**

The applicant proposes to demolish and construct a new recreation center, replace athletic courts, and install new landscaping at Lincoln Square Park in the Chinatown District. Lincoln Square Park, located at the intersections of 10<sup>th</sup>, Harrison, and 11<sup>th</sup> Streets, is a City Landmark because it is one of the City's first seven original town squares. The project consists of approximately three-quarters of the 60,000 square foot parcel. The existing one-story senior center, children's playground, and accessory building located east of the park are not a part of this proposal. The new recreation center will continue to provide similar recreational and after school programs for youth, seniors, and other adults.

Staff requests that the Design Review Committee provide input to staff and the Planning Commission regarding the design of the proposal.

# CITY OF OAKLAND PLANNING COMMISSION



Case File:      PLN22143  
Applicant:     City of Oakland  
Address:        250 10th Street  
Zone:           OS (NP)



**BACKGROUND**

Between 2017 and 2019, the Parks and Recreation Commission (PRAC) and neighborhood groups conducted 20 community events to gather ideas and conceptual designs for a new recreation center at Lincoln Square Park. The Department of Public Works, PRAC and community representatives met several times to refine the vision and design concept for the new recreation center and refurbished park.

The project requires review by the City's PRAC, Design Review Committee, and Landmarks Preservation Advisory Board and approval by the Planning Commission. On September 14, 2022, the project was presented to the PRAC. The public and Commissioners reacted positively to the proposal and recommended approval to the Planning Commission.

**PROJECT SITE AND SURROUNDING NEIGHBORHOOD**

The proposed recreation center replacement is in Lincoln Square Park in Chinatown. Lincoln Square Park, located at the intersections of 10<sup>th</sup>, Harrison, and 11<sup>th</sup> Streets, is a City Landmark because it is one of the City's first seven original town squares. The park sits on an approximately 60,000 square-foot lot, contains a one-story 7,476 square-foot recreation center built in 1976, a one-story 1,900 square-foot senior center built in 1940, several sports courts, a children's playground, and a 200 square-foot accessory building. The main pedestrian access to the existing Lincoln Square Park Recreation Center is from 10<sup>th</sup> Street at the southwest corner of the park.

Most of Lincoln Square Park is paved except for some open yard areas, located near the northwest and southwest portions of the property. The site also has a variety of trees located to the north, west and south sides of the property and along 10<sup>th</sup> and Harrison Streets. The athletic courts are shared between the adjacent Lincoln Elementary School and the City's Department of Parks and Recreation.

Lincoln Square Park is in Chinatown's urban context, surrounded by a mix of one-story to seven-story commercial, civic, and residential buildings. It is one of the most bustling parks in the City, attracting tai chi practitioners, basketball, soccer, and volleyball players, summer program campers, Lincoln Elementary School students, members of the senior center, participants in programmed events, leagues and classes, and other activities. The park is lit and used from dawn until midnight.

The site is accessible by public transportation such as AC Transit's Bus Rapid Transit on 11<sup>th</sup> Street and Lake Merritt BART Station, located a few blocks to the east. Interstate I-880 is also located approximately four blocks to the south.

**PROJECT PROPOSAL**Lincoln Recreation Center

The existing Lincoln Recreation Center building will be demolished and replaced with a new two-story 22,221 square foot building (see Attachment A for project plans). The new building will include a gymnasium, five multi-purpose rooms, a lobby, offices, a kitchen, a roof garden, restrooms, storage, utility, and recycling rooms.

The proposed new building envelope is segmented into four areas that consist of two main building segments, a one-story 35-foot-tall and a two-story 37-foot-tall building volume that are connected by a one-story, 16-foot-tall, and 27-foot-tall building circulation area. These segments create an overall L-

shaped volume, which defines an outdoor courtyard and plaza facing the interior of the park. The courtyard contains concrete pavers, wood benches, landscaping, and a trellis. The design is a modern interpretation of “courtyard architecture”, a concept that is typically found in China, where private quarters are arranged around a more communal central courtyard. The main entrance is through the interior courtyard and a secondary entrance is through the 16-foot-tall volume facing Harrison Street. This connective volume provides visual interest on Harrison Street by breaking up the facade into three different volumes. However, the facade on 10<sup>th</sup> Street is relatively unarticulated. This issue is discussed in the “Key Issues and Impacts” Section of this report.

The project incorporates two different design elements around the exterior elevations of the ground and upper building floors of the main buildings. The 9-foot-tall transparent ground floor contains glazing, aluminum framing, and aluminum plate curtainwalls. The upper floors incorporate light colored 17-foot to 28-foot-tall Glass Fiber Reinforced Concrete (GFRC) panels that display weaving patterns and a texture of different images and designs. The panels incorporate three motifs: 1) Kesi, a traditional Chinese tapestry that signifies well-wishes, 2) Ohlone fishing nets, a significant object in the Ohlone culture, and 3) California Flora that represents California poppy and Coast Live Oak.

The project includes linear LED light fixtures mounted on the top edge of the building facades. The lights would be used during special events such as Chinese New Year and other seasonal events. The proposal also includes two separate backlit LED raised aluminum red signs that would read: “Lincoln Square Recreation Center”. One sign is located on the face of the 10-foot-tall trellis on 10<sup>th</sup> Street, and the other sign is located on the face of the 16-foot-tall trellis at the entry court.

Three basketball courts located north of the park will be refurbished. The project includes a new courtyard covered with a steel trellis to the northeast of the main entry, two courtyards to the northwest and southwest of the building, and a plaza with a grove of trees, game tables, benches, bike racks and a steel semi-transparent screen to the southeast of the building. Several biofiltration planters are proposed around the building, sports courts, and plaza to manage stormwater.

The proposal includes a 3.5-foot and six-foot-tall black metal picket fence and a 10-foot-tall black vinyl covered chain-link fence located along the west and north side of the new building and sports courts. The project includes a new curb cut, driveway and a swing chain-link gate on 11<sup>th</sup> Street to provide access to Department of Parks and Recreation vehicles. The existing 26-foot-tall double-headed light poles used for the sports courts will be replaced by new decorative poles.

### Landscaping

The project proposes to remove seven trees to accommodate the new recreation center building and plaza. These trees vary in size and species and are located to the west and south of the property. An arborist report was prepared by SBCA Tree Consulting which surveyed the trees within the project site. A tree permit was filed for the project, and the City Tree Services Division will review and make a final decision regarding tree removal. The project site is also adjacent to eight city street trees located on Harrison and 10<sup>th</sup> Streets that would remain.

The project includes the installation of at least 34 new trees within the property, located to the north, southwest, and southeast sides of the new building and sports courts. Two additional street trees are also proposed on Harrison Street. The new trees range from 15-gallon to 24-inch box size and are a combination of Red Maple, Western Redbud, Brisbane, and Frontier Elm. In addition, the project proposes the installation of one-gallon and five-gallon shrubs, groundcover, grasses, and a variety of

paving materials within the property. Other landscaping includes outdoor furniture such as benches, tables, bollards, tree guards and trash receptacles.

## **GENERAL PLAN POLICIES**

### Land Use and Transportation Element of the General Plan

The property is classified as an “Urban Park and Open Space” by the City’s Land Use and Transportation Element of the General Plan. The intent of the Urban Park and Open Space land use classification is to identify, enhance and maintain land for parks and open space. Its purpose is to maintain an urban park which provides open space for outdoor recreation, psychological and physical well-being, and relief from the urban environment. The desired character and uses under this classification are urban parks, schoolyards, and other active outdoor recreational spaces. Recreation center activities such as gymnasiums and outdoor recreational facilities are appropriate because they enhance the operation of park and open space facilities.

### Open Space Conservation and Preservation Element of the General Plan (OSCAR)

The OSCAR is part of the City’s General Plan that manages open land, natural resources, and parks in Oakland. The OSCAR contains goals, objectives, policies, and actions on a diverse range of topics. OSCAR Objective OS2 for Urban Parks is to maintain urban parks which provides open space for outdoor recreation, psychological and physical well-being and relief from urban environment. The applicable policy for the project includes:

- Policy OS-2. Protection of Park Open Space: Manage Oakland’s urban parks to protect and enhance their open space character while accommodating a wide range of outdoor recreational activities. A variety of outdoor recreational activities should continue to be provided and activities should be compatible with the environment and character of the park.

### Lake Merritt Specific Plan

The policies for the Lake Merritt Specific Plan (LMSP) identify a range of actions to establish a nuanced land use character, activate key streets and achieve the vision for each of the districts identified in the plan. The applicable policy for the project includes:

- LU-17 Neighborhood recreational, educational, and cultural center: Expand recreational and educational facilities to serve the population growth in the plan vision and complement Lincoln Recreation Center.

Furthermore, the Open Space section of the LMSP for proposed park improvements, maintenance and enhancement of existing spaces recommends physical improvements to Lincoln Square Park and the Recreation Center. The Plan also indicates that park users wanted more trees and greenery, shading, a computer lab with updated equipment, and a multi-level building with sports/fitness facilities. The LMSP also indicates that prioritization for improvements should be given to existing spaces that are well-used such as the Lincoln Recreation Center. The applicable policy for the project includes:

- OS-8 Lincoln Square Park: Continue to maintain the popular Lincoln Square Park and make improvements on an ongoing basis, responsive to the needs of the community.

## ZONING ANALYSIS

### Intent of the Zone

The project at Lincoln Square Park is in the Open Space/Neighborhood Park (OS/NP) Zone, and has regulations intended to create, preserve, and enhance land for permanent open space to meet the active and passive recreational needs of Oakland residents and to promote park uses which are compatible with surrounding land uses and the City's natural environment. Lincoln Square Park is designated an Open Space/Neighborhood Park in the Zoning Map.

### Permits Required

The OS/NP Zone requires a Major Conditional Use Permit for a new recreation center building. Final decisions for Major Conditional Use Permits are made by the Planning Commission per Section 17.134.040 of the Planning Code. The proposal also requires review by the Landmarks Preservation Advisory Board (LPAB) before the application is forwarded for a final decision to the Planning Commission because Lincoln Square Park is a City Landmark (see Section 17.135.040 of the Planning Code).

The proposal requires a recommendation of the Major Conditional Use Permit by the PRAC. As previously mentioned, on September 14, 2022, the application was reviewed by the PRAC, which recommended approval to the Planning Commission.

Section 17.136.070(B) of the Planning Code requires Regular Design Review approval for an alteration to any designated Landmark site such as Lincoln Square Park. Further, the Landmark designation states: *"The said Landmark shall be preserved generally as public park...and no permanent structure...may be constructed or demolished without Design Review approval..."* (Case File: LM83-401).

The proposal also requires two minor Variances for exceeding the maximum 25% of impervious surface area in the park, and maximum 35 feet building height per Sections 17.11.150 and 17.11.130 of the Planning Code, respectively. The Variances will require final decision by the Planning Commission in conjunction with the other required permits. Staff supports the Variances because the additional height is required to facilitate the volume of the gym and is consistent with the height context of the area, and the site is already well above the maximum 25 percent impervious surface requirement.

### Required Findings

Regular Design Review approval may only be granted upon a determination that the proposal conforms to the following Regular Design Review criteria contained in Section 17.136.050 and special findings for alteration of landmarks contained in Section 17.136.070(C) of the Planning Code.

The following are the Regular Design Review criteria contained in Section 17.136.050 of the Planning Code:

1. That the proposal will help achieve or maintain a group of facilities which are well related to one another and which, when taken together, will result in a well-composed design, with consideration given to site, landscape, bulk, height, arrangement, texture, materials, colors, and appurtenances; the relation of these factors to other facilities in the vicinity; and the relation of the proposal to the total setting as seen from key points in the surrounding area. Only elements of design which have some significant relationship to outside appearance shall be considered, except as otherwise provided in [Section 17.136.060](#).

2. That the proposed design will be of a quality and character which harmonizes with, and serves to protect the value of, private and public investments in the area.
3. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable design review guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

The following are the special Regular Design Review criteria for designated landmarks contained in Section 17.136.070(C) of the Planning Code:

1. That the proposal will not adversely affect the exterior features of the designated landmark nor, when subject to control as specified in the designating ordinance for a publicly owned landmark, its major interior architectural features.
2. That the proposal will not adversely affect the special character, interest, or value of the landmark and its site, as viewed both in themselves and in their setting.
3. That the proposal conforms with the Design Guidelines for Landmarks and Preservation Districts as adopted by the City Planning Commission and, as applicable for certain federally related projects, with the Secretary of the Interior's Standards for the Treatment of Historic Properties.
4. If the proposal does not conform to the criteria set forth in Subdivisions 1, 2 and 3:
  - i. That the designated landmark or portion thereof is in such condition that it is not architecturally feasible to preserve or restore it, or
  - ii. That, considering the economic feasibility of alternatives to the proposal, and balancing the interest of the public in protecting the designated landmark or portion thereof, and the interest of the owner of the landmark site in the utilization thereof, approval is required by considerations of equity.

Development Standards

The table below shows the applicable development standards for the project in the OS Zone:

<b>Regulation</b>	<b>Required</b>	<b>Proposed</b>	<b>Compliance</b>	<b>Comments</b>
Building Height	Max of 35'	37'	Does not meet code	Variance requested for portion of south wing building facing 10 <sup>th</sup> St.
Minimum Front, Side, and Rear Yards	0'	Varies	Complies	No setbacks are required in the Open Space Zone.
Maximum Imperious Surface	Maximum of 25%	64%	Does not meet code	Variance requested for proposed new structures and paving in the park.
Off-Street Parking	None required	None proposed	Complies	-
Off-Street Loading	None required	None proposed	Complies	-

Bicycle Parking	To be prescribed by the Planning Director	36 bicycle parking spaces within the property	Complies	Staff recommends the specified quantity of spaces after consultation with the Department of Transportation
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**KEY ISSUES AND IMPACTS**

Staff requests that the Design Review Committee comment regarding the following two issues.

10<sup>th</sup> Street Building Facade

The south building facade facing 10<sup>th</sup> Street is 37-foot-tall and approximately 110-foot-wide. Similar to the west, north and east, the south building base has a 9-foot-tall glazing that provides transparency to a multipurpose room in the recreation center. However, approximately fifty percent of the ground-level building base facing 10<sup>th</sup> Street is covered with pre-finished aluminum plate to screen the offices, kitchen, recycling, and restrooms. This side of the building is also relatively unarticulated.

Staff believes that this façade requires more visual interest. Possible improvements include:

- Transparent windows into the ground floor offices and kitchen;
- A more prominent structure at the 10<sup>th</sup> Street access point to the new recreation center courtyard entrance;
- Greater façade articulation;
- A wider top or distinctive feature for the 10-foot-tall steel trellis entry feature on 10<sup>th</sup> Street.

Building Ground Floor Height

The proposed new building has a first-story base that contains 9-foot-tall clear glazing that faces 10<sup>th</sup>, Harrison and 11<sup>th</sup> Streets. The building base provides a view into the gym and other multi-purpose recreational rooms that identify and relate to the operation of Lincoln Square Park. Staff requests input from the Design Review Committee whether the base should be raised to 12-foot-tall either throughout or at strategic locations on the façade. Raising the height of the base could: 1) provide a more comfortable pedestrian scale on Harrison, 10<sup>th</sup>, and 11<sup>th</sup> Streets, and 2) create a more park-like atmosphere. The project plans include renderings that compare a 9-foot-tall and a 12-foot-tall building base. The minimum height of ground floors for nonresidential facilities in Downtown outside of OS Zones is 15 feet.

**RECOMMENDATION**

Staff recommends that the Design Review Committee consider the proposal and provide comments to the project applicant and staff before the proposal is considered by the Planning Commission at a future public hearing.

Prepared by:

*Mike Rivera/m@r*

Mike Rivera, Acting Planner III  
Bureau of Planning

Approved for forwarding to the  
Design Review Committee:

*Neil Gray*

Neil Gray, Planner IV  
Bureau of Planning

**ATTACHMENTS**

- A. Project Design Plans
- B. Materials Sheets
- C. Building Base-Height Comparisons



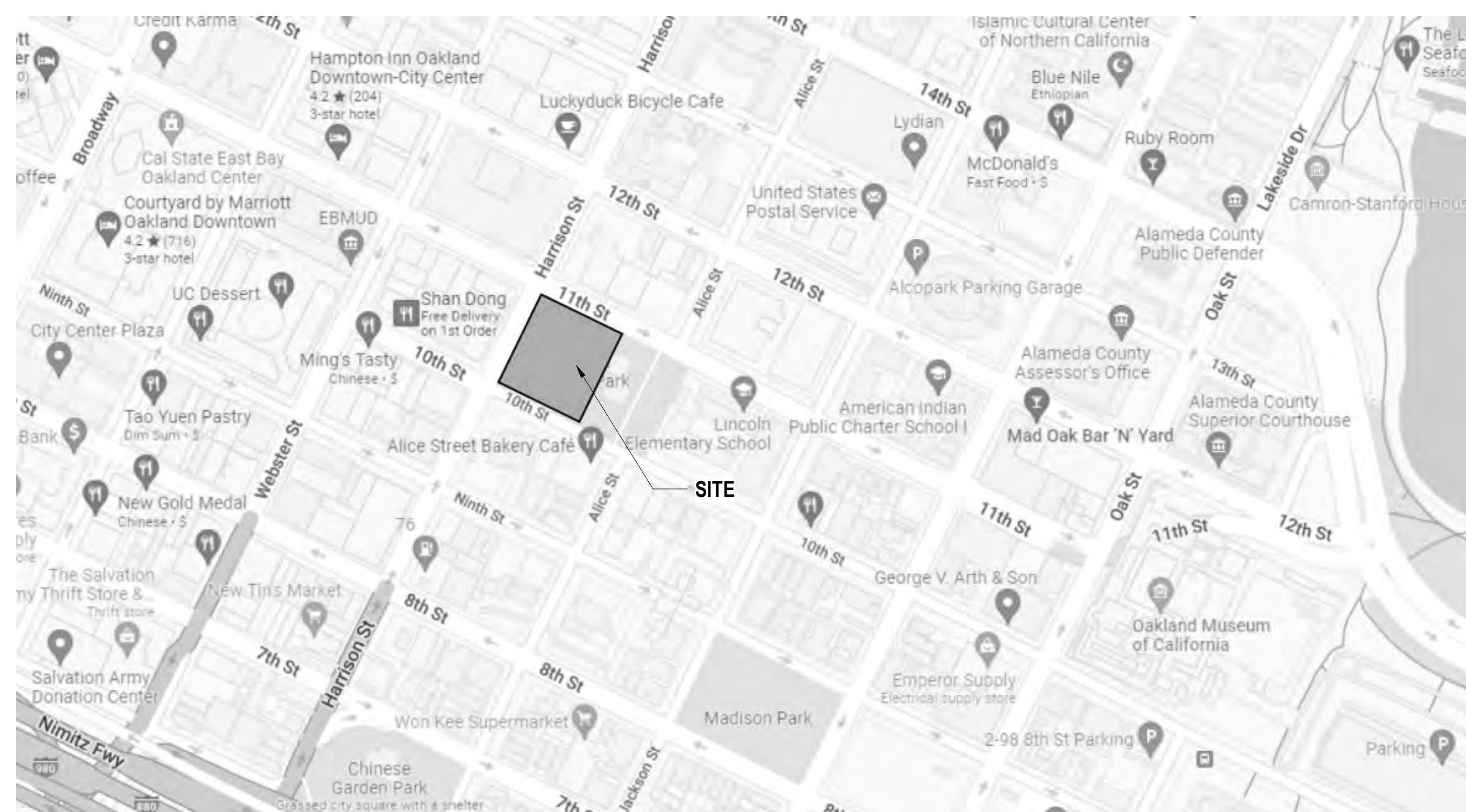
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**PROJECT DATA**

**ASSESSOR'S PARCEL NUMBER (APS):** 2-71-1  
**AREA ACRES:** 1.39 (60,359.00 SF)  
 PROPERTY IS ZONED OS (NP) OPEN SPACE NEIGHBORHOOD PARK  
 URBAN PARK AND OPEN SPACE PER GENERAL PLAN  
**SETBACK REQUIREMENTS:**  
 FRONT SETBACK: 0-10 FT  
 SIDE, INTERIOR SETBACK: NONE  
 SIDE, CORNER SETBACK: NONE  
 REAR, INTERIOR SETBACK: NONE  
 REAR, CORNER SETBACK: NONE  
**BLDG. HEIGHT REQUIREMENTS:** MAXIMUM HEIGHT: 35'  
**FAR REQUIREMENTS:** NONE  
**TOTAL BUILDING FOOTPRINT AREA:** 16,194 SF  
**TOTAL GROSS AREA:** 22,221 SF

**VICINITY MAP**



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- A-005 CODE ANALYSIS / MEANS OF EGRESS LEVEL 1
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- A-011 SIGNAGE @ TRELLIS
- C1.0 EXISTING CONDITIONS
- C3.0 GRADING PLAN
- C4.0 UTILITY PLAN
- C5.0 STORMWATER CONTROL PLAN
  
- L1.0 NOTES AND ABBREVIATIONS
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- L5.0 MATERIAL BOARD
- L5.1 CONSTRUCTION DETAILS
- L6.0 CONSTRUCTION DETAILS
- L9.0 PRELIMINARY PLANNING & HYDROZONE PLAN
  
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- S-110 3D ISOMETRIC VIE
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- A-201 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS
  
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- A-320 ENVELOPE SYSTEM GFRC & CW-E2 - GYMNASIUM
- A-321 ENVELOPE SYSTEM GFRC & CW-E2 - MPR
- A-322 EXTERIOR SYSTEM @ GFRC & MPR-E1
  
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- A-403
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- A-411
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- A-501 EXTERIOR DETAILS - TYPICAL ASSEMBLIES
- A-502 EXTERIOR DETAILS @ ROOF GARDEN
- A-521 TRELLIS LAYOUT AND DETAILS STUDY
- A-523 TRELLIS CONNECTIONS
  
- A-601 FINISH SCHEDULE
- A-602 DOOR SCHEDULE
  
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- P-122
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- M-001 MECHANICAL SCHEDULE SHEET
- M-121 MECHANICAL LEVEL 1 PLAN
- M-122 MECHANICAL LEVEL 2 PLAN
- M-123 MECHANICAL ROOF PLAN
- M-701 VRV SYSTEMS DIAGRAM
  
- E-000 NOT USED IN DRC REVIEW SET
- E-101 ELECTRICAL SITE PLAN
- E-121 NOT USED IN DRC REVIEW SET
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- E-501
- E-701

**SHEET INDEX (CONT.)**

# Attachment -A

**PROJECT TEAM**

- OWNER**  
CITY OF OAKLAND  
250 FRANK OGAWA PLAZA, SUITE 4314  
OAKLAND, CA 94612
- ARCHITECT**  
SHAH KAWASAKI ARCHITECTS  
570 10TH STREET, #201  
OAKLAND, CA 94607
- ACOUSTICS**  
PAPADIMOS  
4302 REDWOOD HWY, SUITE 100  
SAN RAFAEL, CA 94903
- CEQA**  
DAVID J. POWERS & ASSOCIATES, INC  
1736 FRANKLIN STREET, SUITE 300  
OAKLAND, CA 94612
- CIVIL ENGINEERING / SURVEY**  
BKF ENGINEERS  
300 FRANK OGAWA PLAZA, SUITE 300  
OAKLAND, CA 94612
- COMMUNITY**  
TIFFANY ENG
- COST ESTIMATOR**  
CUMMINGS  
475 SANSOME STREET, SUITE 700  
SAN FRANCISCO, CA 94111
- ENCLOSURE**  
TERRACON CONSULTANTS, INC  
1981 N. BROADWAY, SUITE 385  
WALNUT CREEK, CA 94596
- FOOD SERVICE**  
MARSHALL ASSOCIATES, INC.  
3000 DANVILLE BLVD., SUITE F344  
ALAMO, CA 94507
- GEOTECHNICAL ENGINEERING**  
TERRACON CONSULTANTS, INC  
5075 COMMERCIAL CIRCLE, SUITE E  
CONCORD, CA 94520
- LANDSCAPE ARCHITECT**  
MERRILL MORRIS PARTNERS  
155 FILBERT STREET, SUITE 240/250  
OAKLAND, CA 94607
- LEED CONSULTING**  
AR GREEN CONSULTING  
333 MAIN STREET, 9B  
SAN FRANCISCO, CA 94105
- MEP ENGINEERING**  
EDESIGN INCORPORATED  
212 9TH ST, SUITE 203  
OAKLAND, CA 94607
- STRUCTURAL ENGINEERING**  
KPW STRUCTURAL ENGINEERS, INC  
55 HARRISON STREET, SUITE 550  
OAKLAND, CA 94607

**CONSULTANTS**

DESIGNED BY  
 DRAWN BY  
 CHECKED BY

**ARCHITECT**

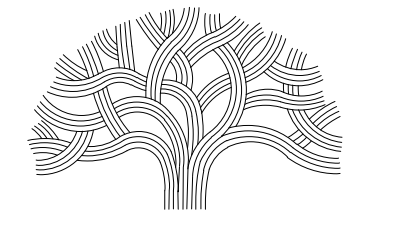
DESIGNED BY  
 DRAWN BY  
 CHECKED BY

NO.	DATE	ISSUE DESCRIPTION
	10/04/2022	DRC REVIEW

SHEET NAME  
**COVER SHEET**

SHEET NO.  
**A-001**





**CITY OF OAKLAND**  
 BUREAU OF ENGINEERING AND CONSTRUCTION  
 250 FRANK H. OGAWA PLAZA, SUITE 4314  
 OAKLAND, CA 94612  
 (510) 238-3437  
 FAX (510) 238-7227

PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square  
 Recreation Center**  
 250 10th Street, Oakland, CA 94607

NOTE: If this drawing is not 30"x42" it has been revised from its original size and the scales noted on drawing/details are no longer applicable.

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DESIGNED BY

DRAWN BY

CHECKED BY

NO.	DATE	ISSUE DESCRIPTION
09/23/2022	DESIGN DEVELOPMENT	
10/04/2022	DRC REVIEW	

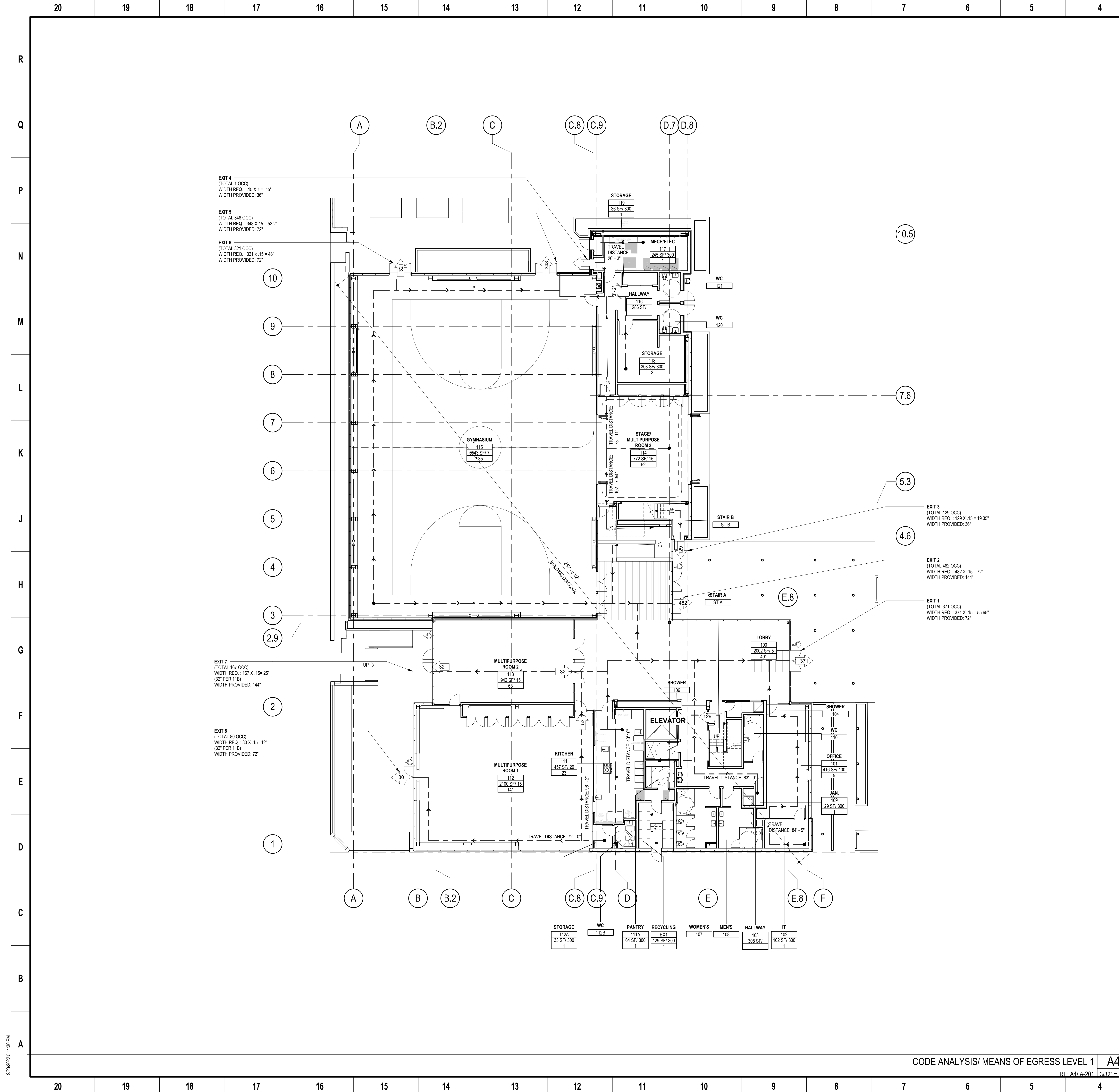
Architect	Consultants
<b>S H A H KAWASAKI ARCHITECTS</b>	
<small>570 10th Street, Suite 201 Oakland, CA 94607</small>	

Stamp	Sheet Name <b>PROJECT OVERVIEW</b>
	Sheet No. <b>A-002</b>

SKA Project Number: 21703







EXIT 4  
(TOTAL 1 OCC)  
WIDTH REQ. : 15 X 1 = 15'  
WIDTH PROVIDED: 36"

EXIT 5  
(TOTAL 348 OCC)  
WIDTH REQ. : 348 X 15 = 52.2'  
WIDTH PROVIDED: 72"

EXIT 6  
(TOTAL 321 OCC)  
WIDTH REQ. : 321 X 15 = 48'  
WIDTH PROVIDED: 72"

EXIT 7  
(TOTAL 167 OCC)  
WIDTH REQ. : 167 X 15 = 25'  
(32" PER 118)  
WIDTH PROVIDED: 144"

EXIT 8  
(TOTAL 80 OCC)  
WIDTH REQ. : 80 X 15 = 12'  
(32" PER 118)  
WIDTH PROVIDED: 72"

10.5

7.6

5.3

4.6

EXIT 3  
(TOTAL 128 OCC)  
WIDTH REQ. : 128 X 15 = 19.35'  
WIDTH PROVIDED: 36"

EXIT 2  
(TOTAL 482 OCC)  
WIDTH REQ. : 482 X 15 = 72'  
WIDTH PROVIDED: 144"

EXIT 1  
(TOTAL 371 OCC)  
WIDTH REQ. : 371 X 15 = 55.65'  
WIDTH PROVIDED: 72"

GENERAL NOTES

KEY LEGEND

KEY LEGEND

- 15X # ROOM NUMBER
- SF/100 # AREA DIVIDED BY LOAD FACTOR
- # MAX. OCCUPANT LOAD
- # OCCUPANT EXIT LOAD
- PATH OF EGRESS
- EXIT LIGHT, SED
- 5'-0" DIAMETER ACCESSIBLE CLEAR TURNING AREA AND 30" X 48" CLEAR FLOOR SPACE
- CLEAR FLOOR AREA AT DOORS
- ACCESSIBLE BUILDING ENTRANCE

OCCUPANCY LOAD CALCULATIONS LEVEL 1

RM NUMBER	RM NAME	OCCUPANCY TYPE	AREA	LOAD FACTOR	OCCUPANTS
100	ROOF GARDEN	A-3	2187 SF	15 SF	146
100	LOBBY	A-3	2002 SF	5 SF	401
101	LOBBY	A-3	416 SF	100 SF	5
102	IT	A-3	102 SF	300 SF	1
103	HALLWAY	A-3	308 SF		
104	SHOWER	A-3	39 SF	0 SF	
106	SHOWER	A-3	49 SF	0 SF	
107	WOMEN'S	A-3	136 SF	0 SF	
108	MENS	A-3	159 SF	0 SF	
109	JAN.	A-3	29 SF	300 SF	1
110	WC	A-3	76 SF	0 SF	
111	KITCHEN	A-3	457 SF	20 SF	23
111A	PANTRY	A-3	64 SF	300 SF	1
112	MULTIPURPOSE ROOM 1	A-3	2100 SF	15 SF	141
112A	STORAGE	A-3	33 SF	300 SF	1
112B	WC	A-3	43 SF	0 SF	
113	MULTIPURPOSE ROOM 2	A-3	942 SF	15 SF	63
114	STAGE/MULTIPURPOSE ROOM 3	A-3	772 SF	15 SF	52
114A	STORAGE	A-3	58 SF	300 SF	1
115	GYMNASIUM	A-3	6643 SF	7 SF	935
116	HALLWAY	A-3	286 SF		
117	MECHELEC	A-3	245 SF	300 SF	1
117A	FIRE RISER	A-3	13 SF		
118	STORAGE	A-3	303 SF	300 SF	2
119	STORAGE	A-3	36 SF	300 SF	1
120	WC	A-3	52 SF	0 SF	
121	WC	A-3	52 SF	0 SF	
27			17560 SF		1775



PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square Recreation Center**  
250 10th Street, Oakland, CA 94607

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Architect  
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Consultants  
Sheet Name  
**CODE ANALYSIS / MEANS OF EGRESS LEVEL 1**

Sheet No.  
**A-005**

SKA Project Number: 21703

CODE ANALYSIS/ MEANS OF EGRESS LEVEL 1 **A4**

RE: A4/A-201 3/32" = 1/8"

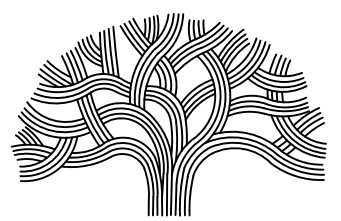
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PLANS FOR THE CONSTRUCTION OF  
**LINCOLN RECREATION CENTER**  
**RENOVATION/EXPANSION**  
 250 10TH STREET,  
 OAKLAND, CA 94607

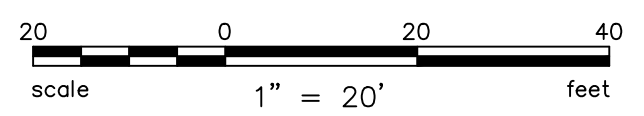
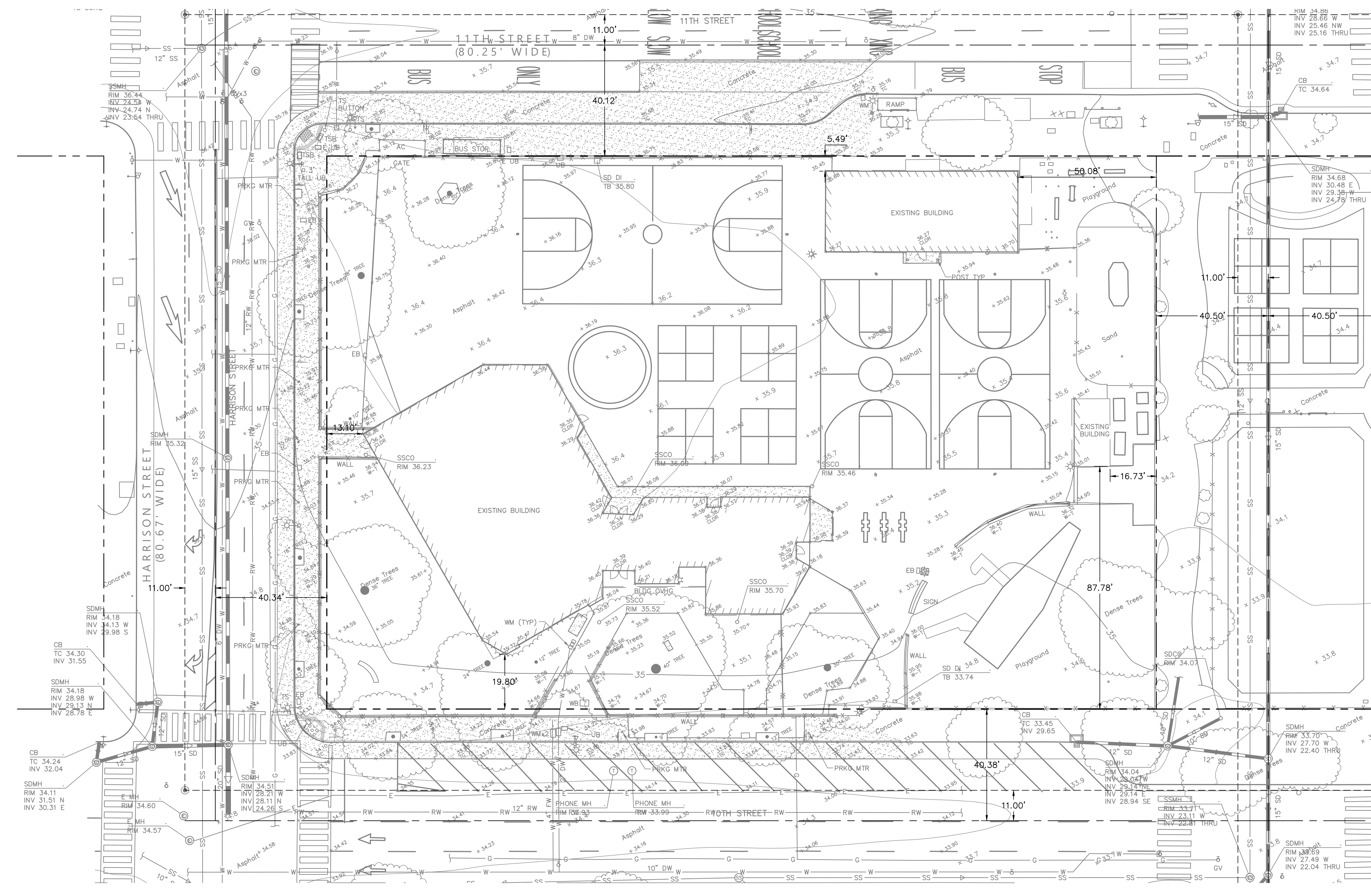
- LEGEND:**
- FOUND MONUMENT
  - ⊕ WATER VALVE
  - ⊕ FIRE DEPARTMENT CONNECTION (FDC)
  - ⊕ SIGN
  - ⊕ STREET LIGHT
  - ⊕ LIGHT POLE
  - TREE
  - PROPERTY LINE
  - ADJOINER PROPERTY LINE
  - CENTER LINE
  - SURVEY TIE
  - FENCE
  - STORM DRAIN
  - SANITARY SEWER
  - UNDERGROUND ELECTRIC LINE
  - UNDERGROUND GAS LINE
  - CONCRETE
  - DETECTABLE WARNING

- ABBREVIATIONS:**
- APN ASSESSOR'S PARCEL NUMBER
  - BLDG BUILDING
  - CB CATCH BASIN
  - CO CLEANOUT
  - DI DROP INLET
  - E ELECTRIC
  - G GAS
  - GV GAS VALVE
  - INV INVERT
  - MH MANHOLE
  - MTR METER
  - OVHG OVERHANG
  - PRKG PARKING
  - SD STORM DRAIN
  - SDCO STORM DRAIN CLEANOUT
  - SDMH STORM DRAIN MANHOLE
  - SS SANITARY SEWER
  - SSCO SANITARY SEWER CLEAN OUT
  - SSMH STORM DRAIN MANHOLE
  - TB TOP OF BOX
  - TC TOP FACE OF CURB
  - TYP TYPICAL
  - UB UTILITY BOX
  - WB WATER BOX
  - WM WATER METER
  - W-T TOP OF WALL

- NOTES:**
- THE BOUNDARY SHOWN HEREON IS BASED ON FIELD MEASUREMENTS AND RECORD INFORMATION AND IS WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THE SURVEYOR ASSUMES NO LIABILITY FOR TITLE RESEARCH.
  - TOPOGRAPHY SHOWN HEREON WAS COMPILED BY PHOTOGRAMMETRIC METHODS AND FIELD SURVEYS PERFORMED IN OCTOBER OF 2021. THE DATE OF PHOTOGRAPHY WAS SEPTEMBER 22, 2021.
  - ALL UNITS ARE IN US SURVEY FEET AND DECIMALS THEREOF.
  - ALL TIES ARE PERPENDICULAR UNLESS NOTED OTHERWISE.

**BENCHMARK:**  
 ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND CITY OF OAKLAND BENCHMARK, DESIGNATION 25-A-16, BEING A STANDARD OAKLAND DISC IN A WELL AT THE NORTHEAST CORNER OF 7TH STREET AND HARRISON STREET, HAVING A PUBLISHED ELEVATION OF 25.812 FEET. DATUM = CITY OF OAKLAND.

**UTILITY NOTE:**  
 THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM RECORD DATA AND SURFACE OBSERVATION. ACTUAL LOCATION AND SIZE TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



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10/04/2022		DRC REVIEW

Architect	Consultants
<b>S H A H</b> <b>KAWASAKI</b> <b>ARCHITECTS</b> <small>970 5th Street, Suite 201 Oakland, CA 94607</small>	
Stamp	Sheet Name
	<b>EXISTING CONDITIONS</b>
	Sheet No. <b>C1.0</b>

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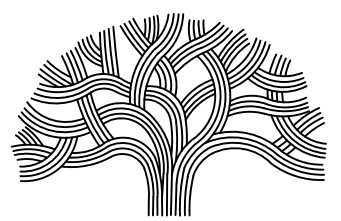












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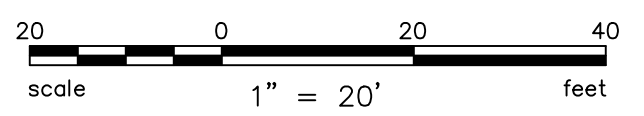
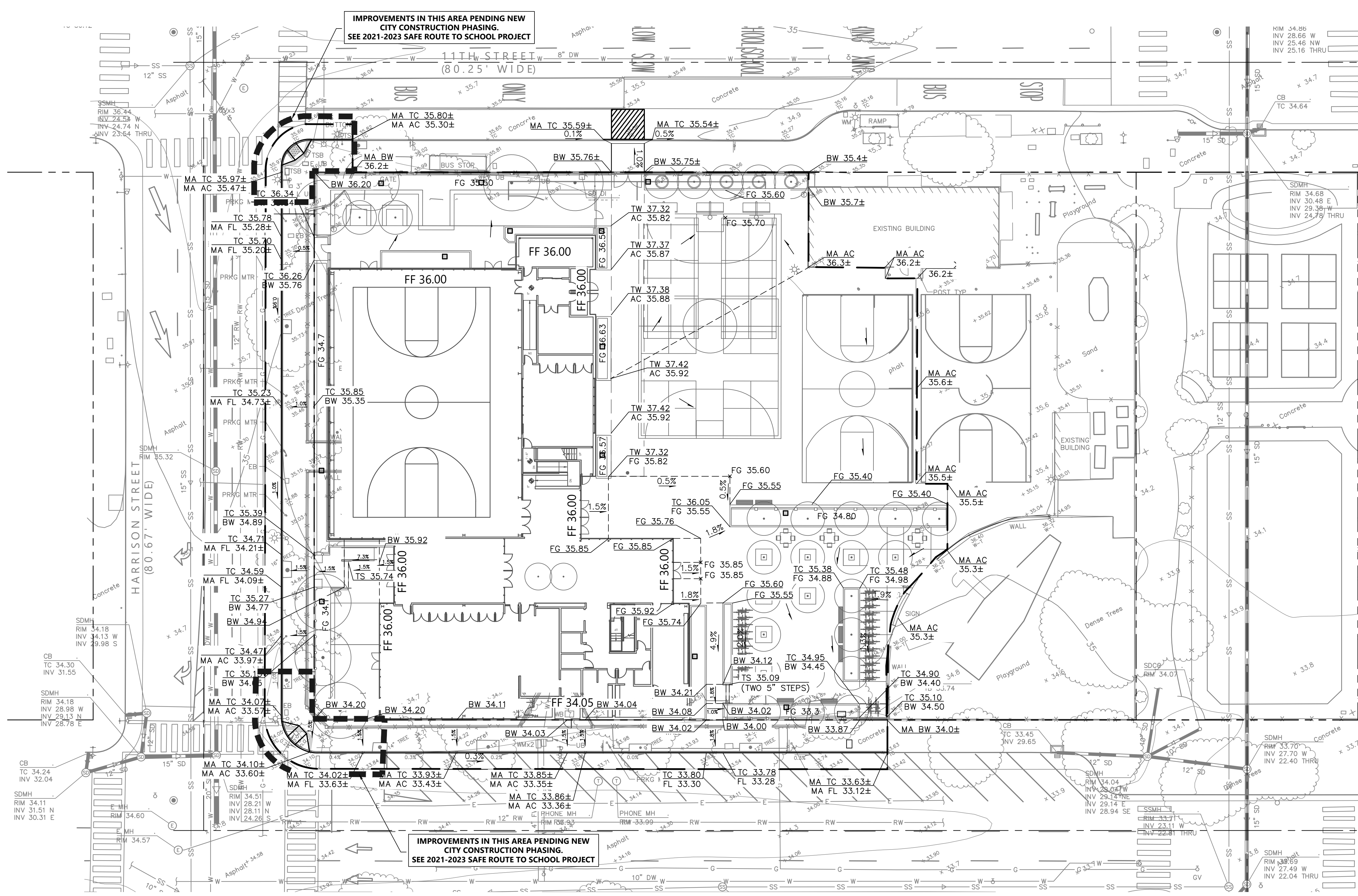
PLANS FOR THE CONSTRUCTION OF
LINCOLN RECREATION CENTER
RENOVATION/EXPANSION
250 10TH STREET,
OAKLAND, CA 94607

GRADING PLAN LEGEND:
Flow direction, Sawcut line, Grade break, Grading limits

GRADING PLAN ABBREVIATIONS:
AC ASPHALT CONCRETE
BGW BOTTOM OF GRADE AT WALL
BS BACK OF WALK
BS BOTTOM OF STEP
EX EXISTING
EG EXISTING GRADE
FF FINISH FLOOR
FG FINISHED GRADE
FL FLOWLINE
FW FIRE WATER
HP HIGH POINT
LG LIP OF GUTTER
GRT GRATE
MA MATCH
TC TOP OF CURB
TGW TOP OF GRADE AT WALL
TS TOP OF STEP
TW TOP OF WALL

EARTHWORK:
EXPORT 440 CY
IMPORT 90 CY
\*EARTHWORK QUANTITIES ARE FOR REFERENCE ONLY. CONTRACTOR MUST PERFORM OWN EARTHWORK TAKEOFFS.

- GRADING PLAN NOTES:
1. FOR WALKWAYS AND ALL ACCESSIBLE AREAS CROSS SLOPES SHALL NOT EXCEED 2% GRADE.
2. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS AND SIDEWALKS, GRADING, ETC. AND TO AVOID ABRUPT OR APPARENT CHANGES.
3. REFER TO ARCHITECTURAL PLANS BUILDING DETAILS.
4. IF, DURING CONSTRUCTION, ARCHAEOLOGICAL OR NATIVE AMERICAN REMAINS OR ARTIFACTS ARE ENCOUNTERED, THE CONTRACTOR SHALL HALT CONSTRUCTION IN THE VICINITY AND SHALL NOTIFY THE PROJECT OWNER.
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND TO FACE OF CURB UNLESS OTHERWISE NOTED ON PLANS.
6. UNLESS OTHERWISE SPECIFIED, THE NOMINAL SPECIFIED HEIGHT OF CURB MEASURED FROM GUTTER TO TOP OF CURB SHALL BE 6".
7. ALL WORK SHALL CONFORM TO CURRENT CITY STANDARD PLANS AND SPECIFICATIONS, UNLESS OTHERWISE NOTED AND APPROVED.
8. PER GEOTECHNICAL ENGINEER RECOMMENDATIONS THE ENTIRE SITE MUST BE OVER-EXCAVATED DOWN TO THE UNDERLYING MEDIUM DENSE TO DENSE CLAYEY SAND, APPROXIMATELY 4-4.5 FEET OF CUT OF VERY LOOSE TO LOOSE SILTY SAND TO BE CUT. THE EXCAVATED SOIL MAY BE REUSED PROVIDED THE MATERIAL IS CLEANED OF ANY DEBRIS AND VEGETATION AND MEETS THE CRITERIA FOR GENERAL OR STRUCTURAL FILL IN THE "FILL MATERIAL TYPES" PROVIDED IN THE GEOTECHNICAL REPORT.



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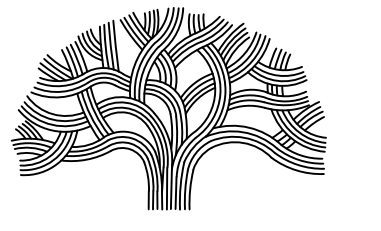
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Architect: S H A H KAWASAKI ARCHITECTS
770 10th Street, Suite 201
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PLANS FOR THE CONSTRUCTION OF  
**LINCOLN RECREATION CENTER**  
 RENOVATION/EXPANSION  
 250 10TH STREET,  
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**UTILITY PLAN LEGEND:**

- G — GAS LINE
- DW — DOMESTIC WATER LINE
- FW — FIRE WATER LINE
- SD — STORM DRAIN LINE
- P — PERFORATED PIPE
- ⊙ — STORM DRAIN MANHOLE
- — STORM DRAIN INLET
- ◻ — STORM DRAIN CLEANOUT
- — STORM DRAIN AREA DRAIN
- SS — SANITARY SEWER LINE
- — SANITARY SEWER CLEANOUT
- JT — JOINT TRENCH LINE

**UTILITY PLAN ABBREVIATIONS:**

- CCWD CONTRA COSTA WATER DISTRICT
- CCCSO CONTRA COSTA COUNTY SEWER DISTRICT
- DW DOMESTIC WATER
- EX EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FL FLOWLINE
- FW FIRE WATER
- HP HIGH POINT
- INV INVERT
- LG LIP OF GUTTER
- GRT GRATE
- PERF PERFORATED PIPE
- PV POST INDICATOR VALVE
- POC POINT OF CONNECTION
- RPB REDUCED PRESSURE BACKFLOW
- SD STORM DRAIN
- SDAD STORM DRAIN AREA DRAIN
- SDCB STORM DRAIN CATCH BASIN
- SDDI STORM DRAIN DROP INLET
- SDMH STORM DRAIN MANHOLE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- TC TOP OF CURB
- TD TRENCH DRAIN

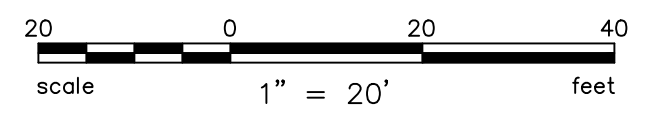
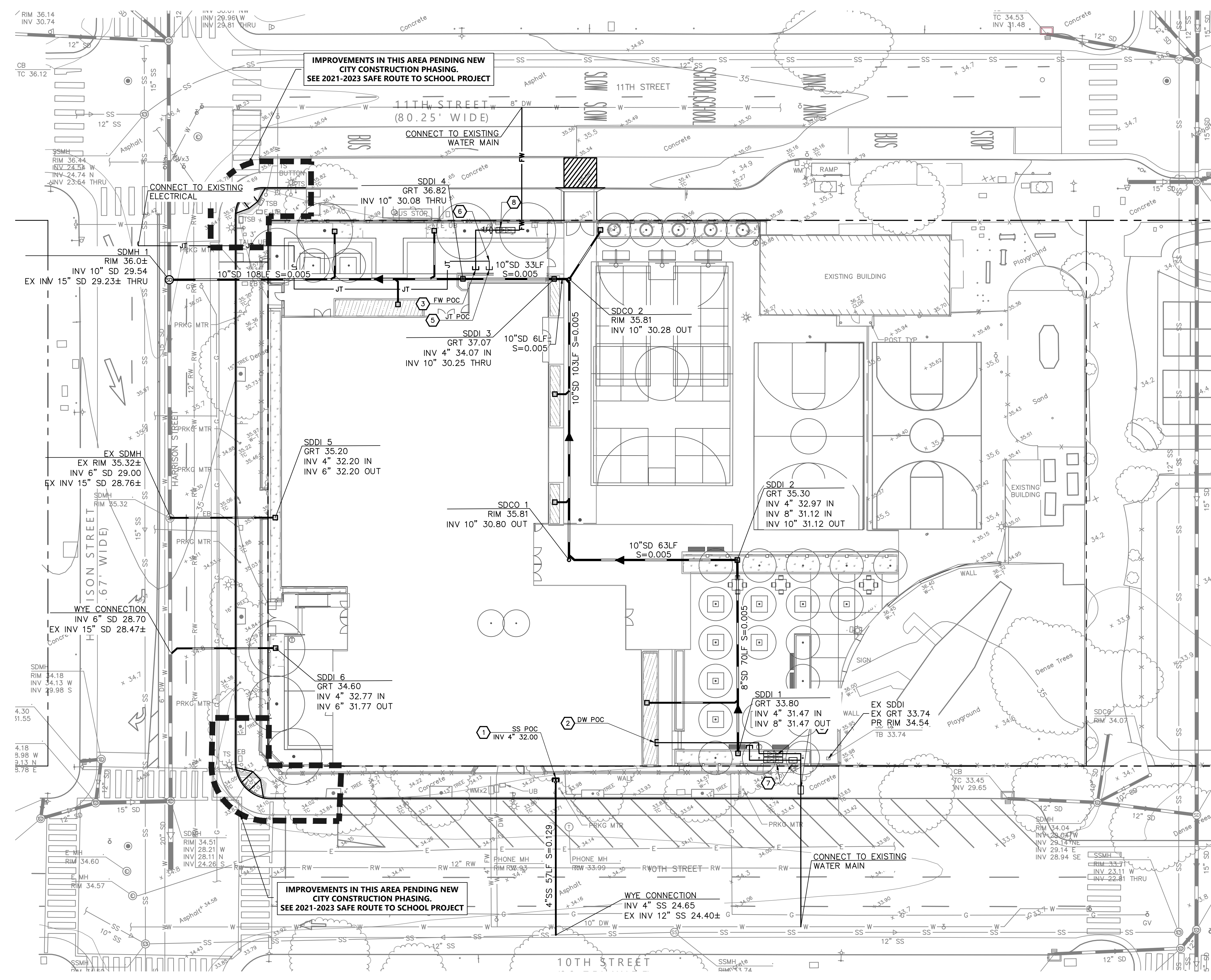
**UTILITY PLAN NOTES:**

1. CONTRACTOR TO VERIFY THAT SEWER LATERAL LINE WILL NOT CONFLICT WITH OTHER EXISTING UTILITIES AND THAT PIPE WILL SLOPE AT A MIN 2% FOR 4" LATERALS AND 1.1% FOR 6" BUILDING LATERALS.
2. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR COMMENCEMENT OF WORK.
3. ALL EXISTING UTILITY VAULTS AND BOXES TO BE PROTECTED SHALL BE ADJUSTED TO FINISHED GRADE.
4. CONTRACTOR TO CONTACT USA AT (800) 247-2600 AT LEAST 48 HOURS PRIOR TO ANY UTILITY REMOVAL OR EXCAVATION.
5. NON-WET UTILITIES SHOWN ON THIS PLAN FOR COORDINATION ONLY. CONTRACTOR TO REFER TO APPROPRIATE DISCIPLINES FOR DRY UTILITY DESIGN.

**UTILITY PLAN KEYNOTES:**

- ① 6" SANITARY SEWER POC. SEE PLUMBING PLANS FOR CONTINUATION.
- ② 2" DOMESTIC WATER POC. SEE PLUMBING PLANS FOR CONTINUATION.
- ③ 6" FIRE WATER POC. SEE PLUMBING PLANS FOR CONTINUATION.
- ④ GAS LINE POC. SEE PLUMBING PLANS FOR CONTINUATION.
- ⑤ JOINT TRENCH POC. SEE ELECTRICAL PLANS FOR CONTINUATION.
- ⑥ POSSIBLE TRANSFORMER. SEE ELECTRICAL PLANS FOR DETAILS.
- ⑦ IRRIGATION RPB AND METER
- ⑧ 2" DOMESTIC WATER RPB METER
- ⑨ FIRE WATER RPB, PIV, & FDC

PRIVATE PIPING MATERIAL SCHEDULE	
UTILITY	PIPE MATERIAL
STORM DRAIN	PVC SDR 26
SANITARY SEWER	PVC SDR 26
WATER SERVICE (LESS THAN 4" DIAMETER)	PVC SCHEDULE 40
WATER SERVICE (4" DIAMETER OR LARGER)	PVC C900 DR14



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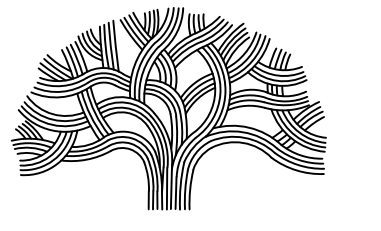
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 CIVIL  
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Sheet Name: **UTILITY PLAN**  
 Sheet No.: **C5.0**





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PLANS FOR THE CONSTRUCTION OF  
**LINCOLN RECREATION CENTER**  
**RENOVATION/EXPANSION**  
 250 10TH STREET,  
 OAKLAND, CA 94607

**LEGEND:**

- DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
- INTEGRATED MANAGEMENT PRACTICE (IMP)
- ROOF
- IMPERVIOUS PAVEMENT
- DMA LABEL
- IMP LABEL

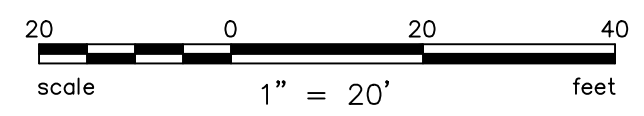
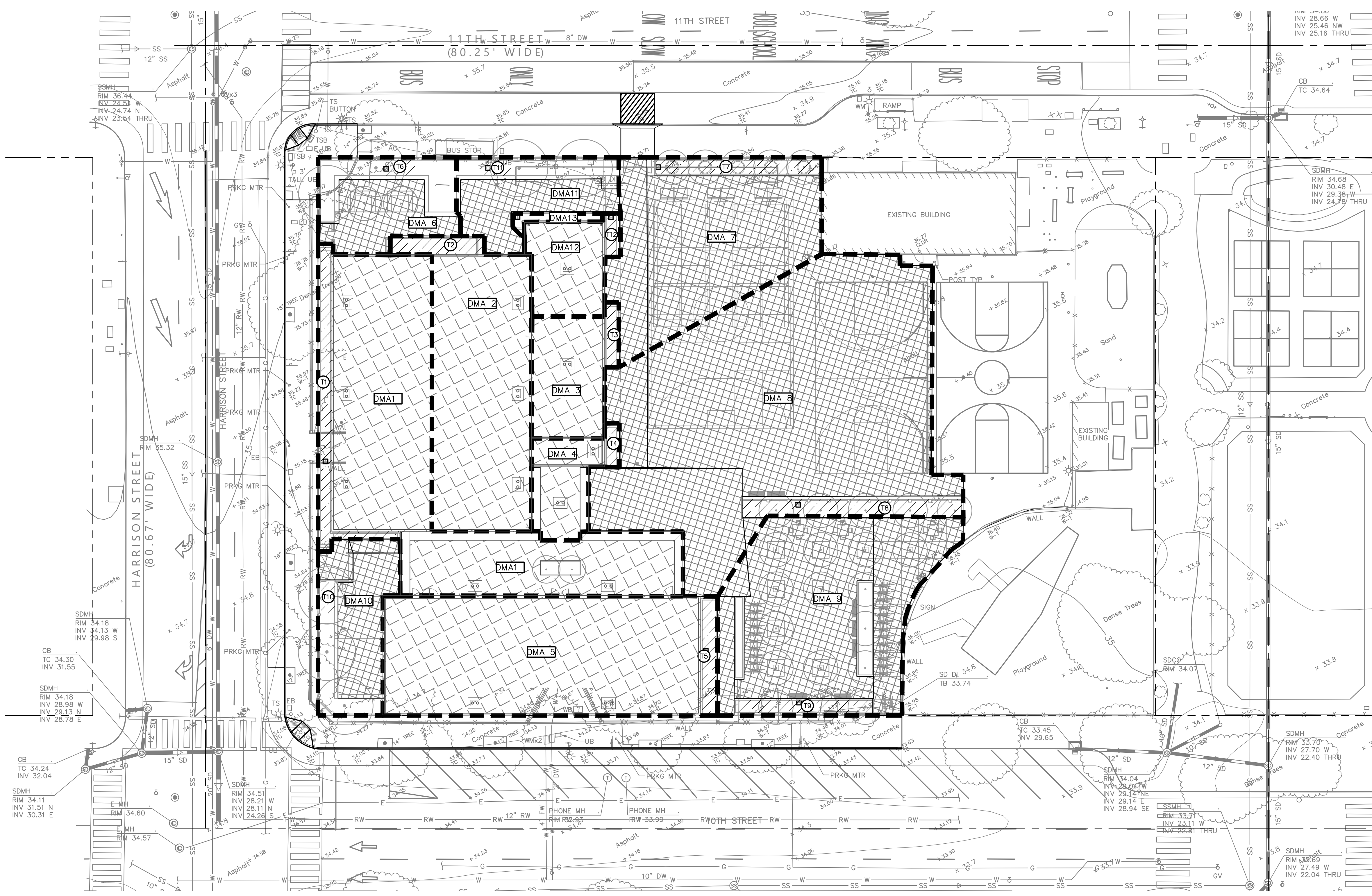
- NOTES:**
- SEE GRADING PLAN FOR BIORETENTION AREA ELEVATIONS.
  - SEE LANDSCAPE PLANS FOR PROPOSED LOCATION AND IDENTIFICATION OF LANDSCAPING AND PLANT MATERIALS.
  - BIORETENTION TREATMENT AREAS ARE SIZED USING THE FLOW HYDRAULIC DESIGN BASIS, WHICH IS THE FLOW OF RUNOFF RESULTING FROM A RAIN EVENT EQUAL TO AT LEAST 0.2 INCHES PER HOUR INTENSITY.
  - THIS SITE IS CONSIDERED EXEMPT FROM HYDROMODIFICATION. THIS IS BASED ON OUR SITE DRAINING TOWARD THE BAY TO AN ENGINEERED CHANNEL (EXEMPT) SHOWN ON THE CITY OF OAKLAND HYDROMODIFICATION SUSCEPTIBILITY MAP -WEST.

BIORETENTION TREATMENT CONTROL MEASURE SUMMARY TABLE							
DMA #	DRAINAGE AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	TREATMENT TYPE	TCM#	TREATMENT AREA REQUIRED (SF)*	TREATMENT AREA PROVIDED (SF)
1	6,475	5,535	471	BIORETENTION	1	221	469
2	3,767	3,575	0	BIORETENTION	2	143	192
3	1,257	1,179	0	BIORETENTION	3	47	78
4	869	671	142	BIORETENTION	4	27	56
5	5,143	4,935	0	BIORETENTION	5	197	208
6	1,558	1,079	418	BIORETENTION	6	43	61
7	4,069	3,774	0	BIORETENTION	7	151	295
8	10,281	9,772	0	BIORETENTION	8	391	509
9	4,916	4,459	238	BIORETENTION	9	178	219
10	1,573	1,280	237	BIORETENTION	10	51	56
11	1,424	1,103	260	BIORETENTION	11	44	61
12	1,007	956	0	BIORETENTION	12	38	51
13	94	0	94	SELF-TREATING	-	0	0

OPEN SPACE ZONE CALCULATION	
TOTAL ON-SITE DISTURBED AREA	42,433 SF
TOTAL PARCEL AREA	60,013 SF
TOTAL PROPOSED TREATED IMPERVIOUS HARDSCAPE AREA	21,172 SF
TOTAL PROPOSED TREATED IMPERVIOUS ROOF AREA	17,146 SF
TOTAL PROPOSED PERVIOUS AREA	4,115 SF
TOTAL EXISTING UNTREATED IMPERVIOUS HARDSCAPE AREA	25,486 SF
TOTAL EXISTING UNTREATED IMPERVIOUS ROOF AREA	8,696 SF
TOTAL EXISTING PERVIOUS AREA	8,251 SF
PROPOSED IMPERVIOUS SURFACE <sup>1</sup>	64%

**NOTES:**

- CALCULATION IS (TOTAL PROPOSED IMPERVIOUS ROOF AREA) PLUS (TOTAL PROPOSED IMPERVIOUS HARDSCAPE AREA) DIVIDED BY (TOTAL PARCEL AREA)
- MAXIMUM ALLOWED OPEN SPACE IS 25% PER CODE UNDER OS ZONE (SECTION 17.11.150 OPC)
- OPEN SPACE VARIANCE MUST BE APPROVED BY CITY OF OAKLAND



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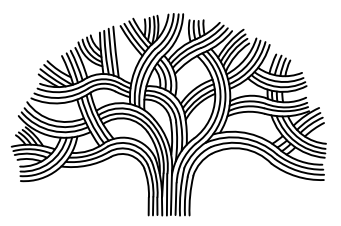
Architect:  
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 970 5th Street, Suite 201  
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Sheet Name:  
**STORMWATER CONTROL PLAN**  
 Sheet No.  
**C6.0**

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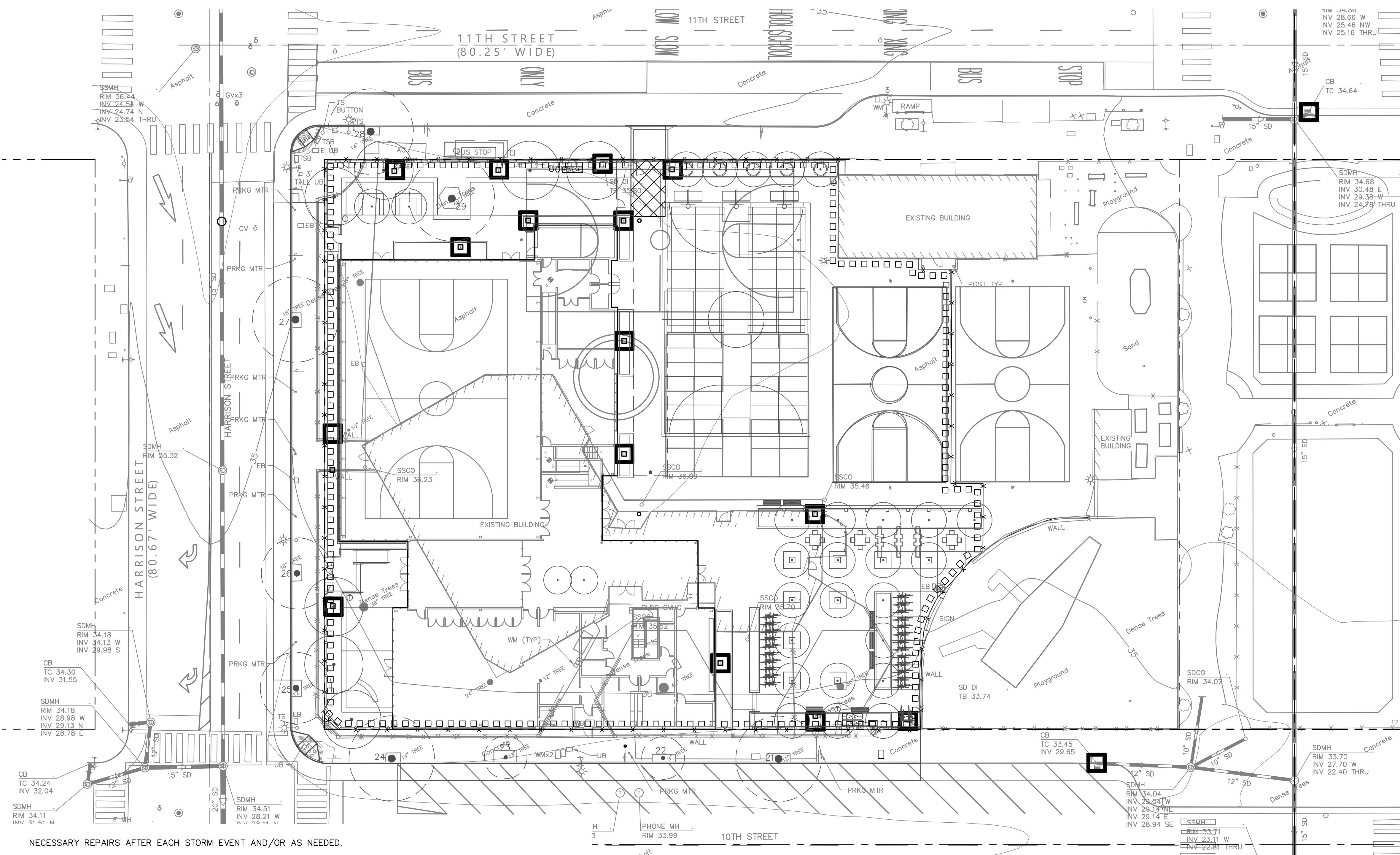


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PLANS FOR THE CONSTRUCTION OF
LINCOLN RECREATION CENTER
RENOVATION/EXPANSION
250 10TH STREET,
OAKLAND, CA 94607

LEGEND:
CONSTRUCTION FENCE
FIBER ROLL
STABILIZED CONSTRUCTION ENTRANCE
HYDROSEEDING
STORM DRAIN INLET PROTECTION
\*\*REFER TO CASQA STORMWATER BMP HANDBOOK FOR MORE INFORMATION.

- NOTES:
1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT AND MAINTAINED BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED CITY AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE CITY INSPECTOR.
2. BY THE CONTRACTOR ON A YEAR-ROUND BASIS UNTIL ALL DISTURBED CITY AREAS ARE STABILIZED UNLESS OTHERWISE PERMITTED BY THE CITY INSPECTOR.
3. ALL INLETS RECEIVING STORM WATER RUNOFF FROM THE PROJECT AREA MUST BE EQUIPPED WITH REQUIRED INLET PROTECTION.
4. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF ENTERING THE STORM DRAIN SYSTEM.
5. THE CONTRACTOR SHALL ADJUST THE EROSION CONTROL LAYOUT FOR SITE CONDITIONS. SEDIMENT LADEN RUNOFF SHALL NOT BE ALLOWED TO LEAVE THE SITE WITHOUT BEING ADEQUATELY FILTERED OR DETAINED TO ALLOW SETTLEMENT.
6. CONTRACTOR SHALL ALSO PROVIDE A QUALIFIED SWPPP PRACTITIONER TO IMPLEMENT ALL SWPPP NEEDS ON SITE FOR THE DURATION OF CONSTRUCTION.
7. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT AND SEDIMENT-LADEN RUNOFF FROM LEAVING THE SITE. FABRIC-WRAPPED CINDER BLOCKS, SAND BAGS, FIBER ROLLS AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. ALL EXISTING, TEMPORARY, OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED.
9. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OPERABLE AT ALL TIMES UNTIL VEGETATION IS ESTABLISHED ON DISTURBED SURFACES.
10. HYDROSEED AND INITIAL LANDSCAPE PLANTING SHALL BE IN-PLACE NO LATER THAN SEPTEMBER 15. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIAL WATERING OF AREAS TO ESTABLISH GROWTH AND STABILIZE SLOPES BY OCTOBER 1.
11. DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT AND SEDIMENT-LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
12. ALL EROSION CONTROL FACILITIES MUST BE MONITORED AS REQUIRED IN THE SWPPP. ALL SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
13. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, FIBER ROLLS, SILT FENCES ETC.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM.
14. ALL TRUCK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.
15. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES LISTED IN THE SWPPP.
16. DURING PERIODS WHEN STORMS ARE FORECASTED -
A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
C. WHERE STOCKPIILING IS NECESSARY, USE A TARPAULIN OR SURROUND THE STOCKPILED MATERIAL WITH STRAW BALES, SILT FENCE, OR OTHER RUNOFF CONTROLS.
D. USE INLET CONTROLS FOR STORM DRAINS ADJACENT TO THE STOCKPILED.
E. THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SOIL EXCAVATION AND PLACEMENT.
16. DURING PERIODS WHEN STORMS ARE NOT FORECASTED -
A. PREVENT STOCKPILED MATERIAL FROM ENTERING THE STORM DRAIN SYSTEM.
B. THOROUGHLY REMOVE LOOSE SOIL VIA SWEEPING FOLLOWING REMOVAL OF DIRT.
17. OPEN SPACE AREAS ARE TO BE PLANTED BY SEPTEMBER 15. IF THIS CONDITION IS NOT MET, CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL.
18. DURING CONSTRUCTION, THE MAINTENANCE OF SUMMERTIME DRAINAGE THROUGH THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
19. MAINTENANCE, MONITORING, AND INSPECTION SHALL BE CONDUCTED ACCORDING TO THE PROCEDURES OUTLINED IN THE SWPPP. TRAINING OF INSPECTION PERSONNEL WILL BE CONDUCTED PRIOR TO IMPLEMENTATION OF THE MONITORING PROGRAM. THE MONITORING PROGRAM SHALL INCLUDE REGULAR SITE INSPECTIONS AND REPORTS, ACCORDING TO THE PROCEDURES INDICATED IN THE SWPPP. MONITORING FORMS AND COMPLIANCE CERTIFICATION SHALL BE PROVIDED TO THE OWNER AND ENGINEER BY JULY 1 FOR THE PREVIOUS YEARS ACTIVITIES.
20. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH WORK DAY DURING THE RAINY SEASON AND/OR AS NEEDED.
21. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DURING GRADING OPERATION, BEFORE OCTOBER 1 AND PRIOR TO INSTALLATION OF STORM DRAINAGE SYSTEM. SUCH ADDITIONAL MEASURES WILL BE CONTINGENT UPON THE STAGE OF GRADING OPERATION.
22. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AND MAKE ALL NECESSARY REPAIRS AFTER EACH STORM EVENT AND/OR AS NEEDED.
23. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE. ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY.
24. ALL ROUGH GRADED AREAS SHALL BE HYDROSEED. HYDROSEED WITH NON-IRRIGATED HYDROSEED MIX. HYDROSEED DURING THE FALL. REFER TO LANDSCAPE SPECIFICATIONS. HYDROSEED MIX SHALL BE 100% ZORRO FESCUE (65 LBS/ACRE) 16-6-8 FERTILIZER (500 LBS/ACRE).
25. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND DESIGNATING AREAS FOR SOIL AND CONSTRUCTION MATERIALS STORAGE, AND WASTE COLLECTION AREAS. AREAS ARE TO BE COVERED AND SURROUNDED BY EARTHEN BERMS AND/OR OTHER CONTAINMENT MEASURES.
26. VACUUM SAW-CUTTING SLURRY IMMEDIATELY AND REMOVE FROM SITE. DO NOT ALLOW SAW-CUT SLURRY TO ACCUMULATE ON SURROUNDING PAVEMENT OR ENTER THE STORM WATER CONVEYANCE SYSTEM.



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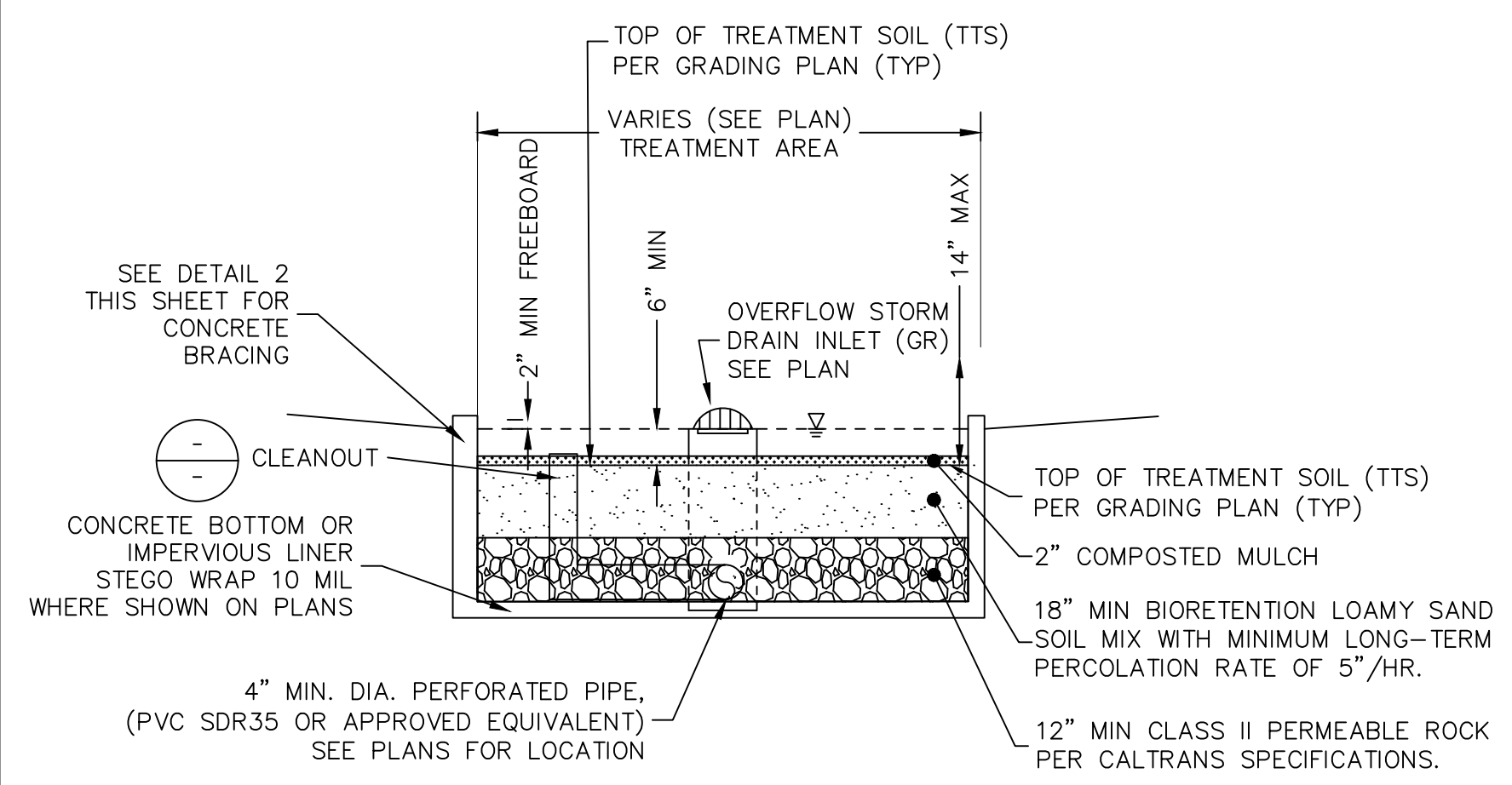
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Oakland, CA 94607

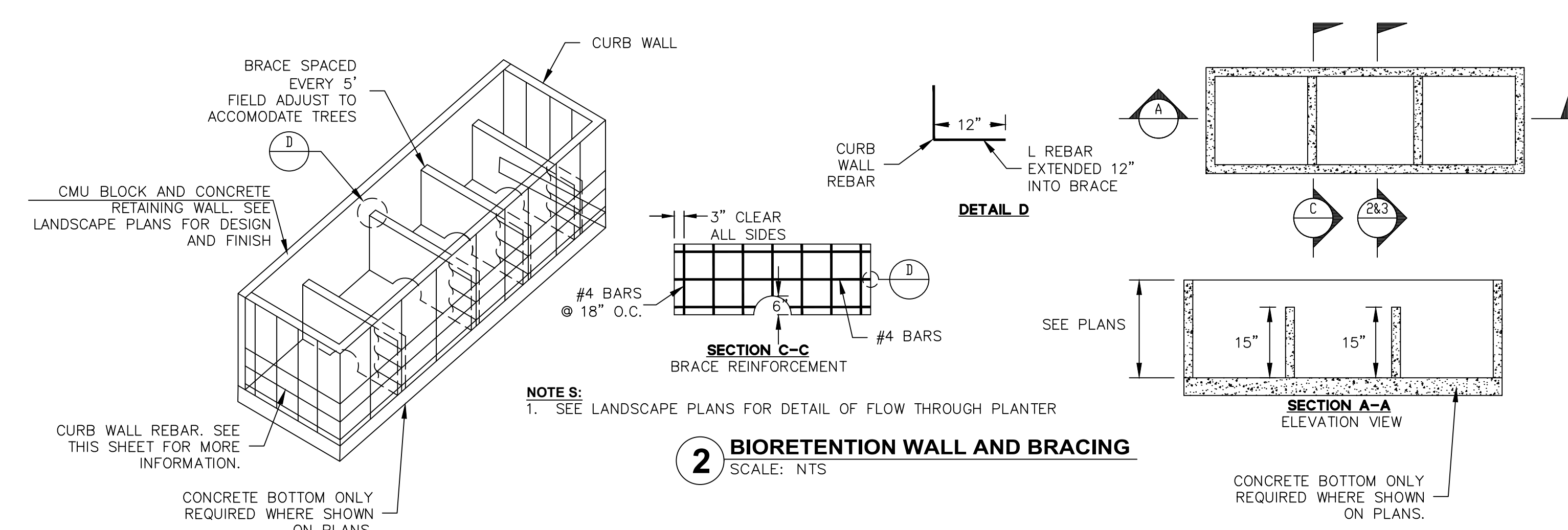
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**1** BIORETENTION BASIN  
SCALE: NONE



**2** BIORETENTION WALL AND BRACING  
SCALE: NTS

NOTE:  
1. SEE LANDSCAPE PLANS FOR DETAIL OF FLOW THROUGH PLANTER

**CITY OF OAKLAND**  
BUREAU OF ENGINEERING AND CONSTRUCTION  
250 FRANK H. OGAWA PLAZA, SUITE 4314  
OAKLAND, CA 94612  
238-3437  
FAX (510) 238-7227

PLANS FOR THE CONSTRUCTION OF  
**LINCOLN RECREATION CENTER**  
RENOVATION/EXPANSION  
250 10TH STREET,  
OAKLAND, CA 94607

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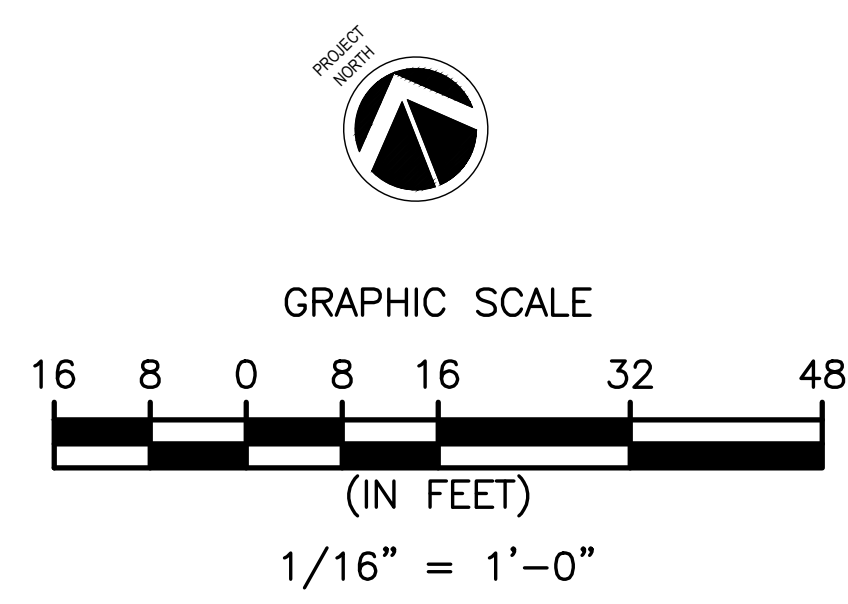
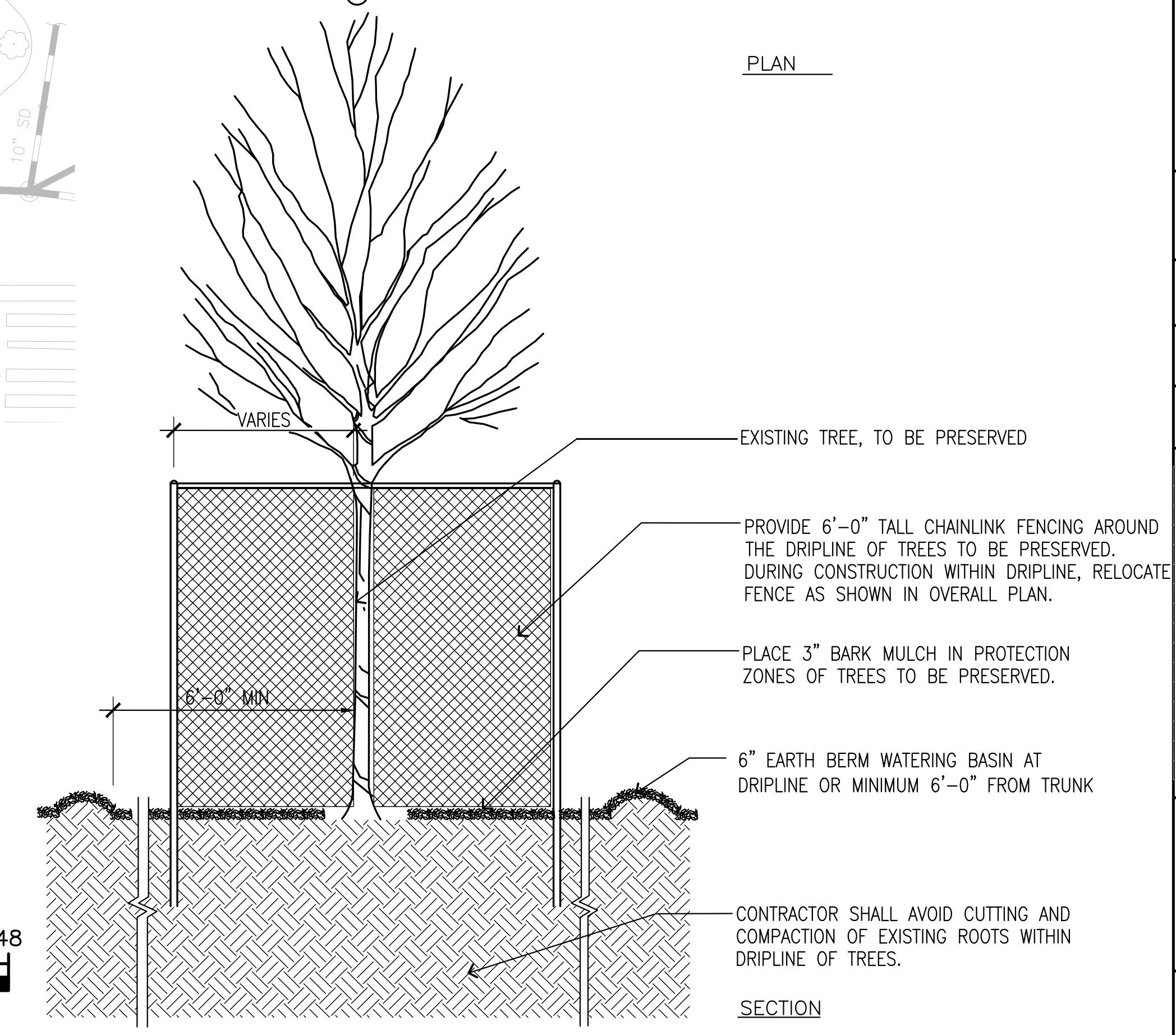
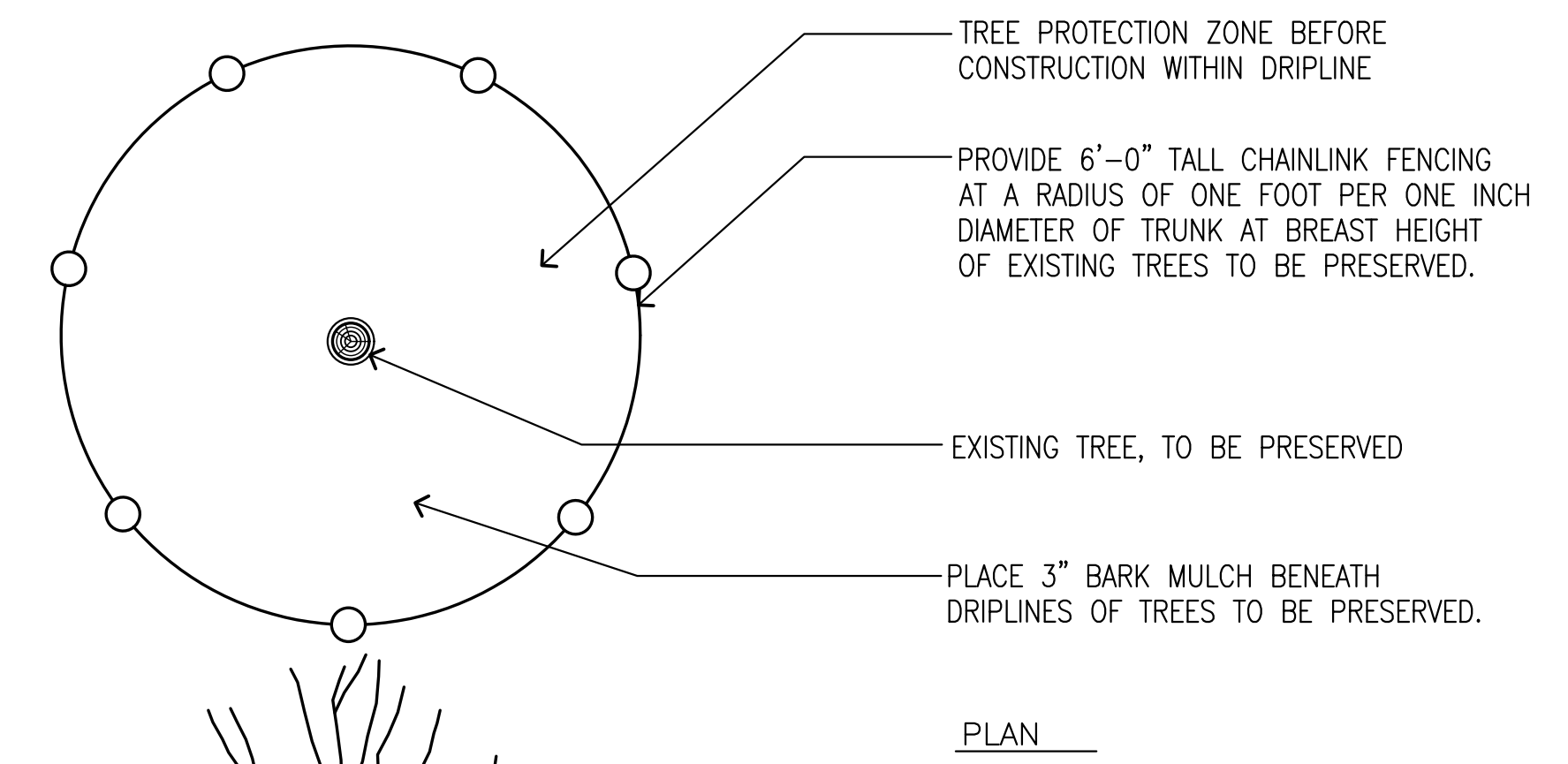
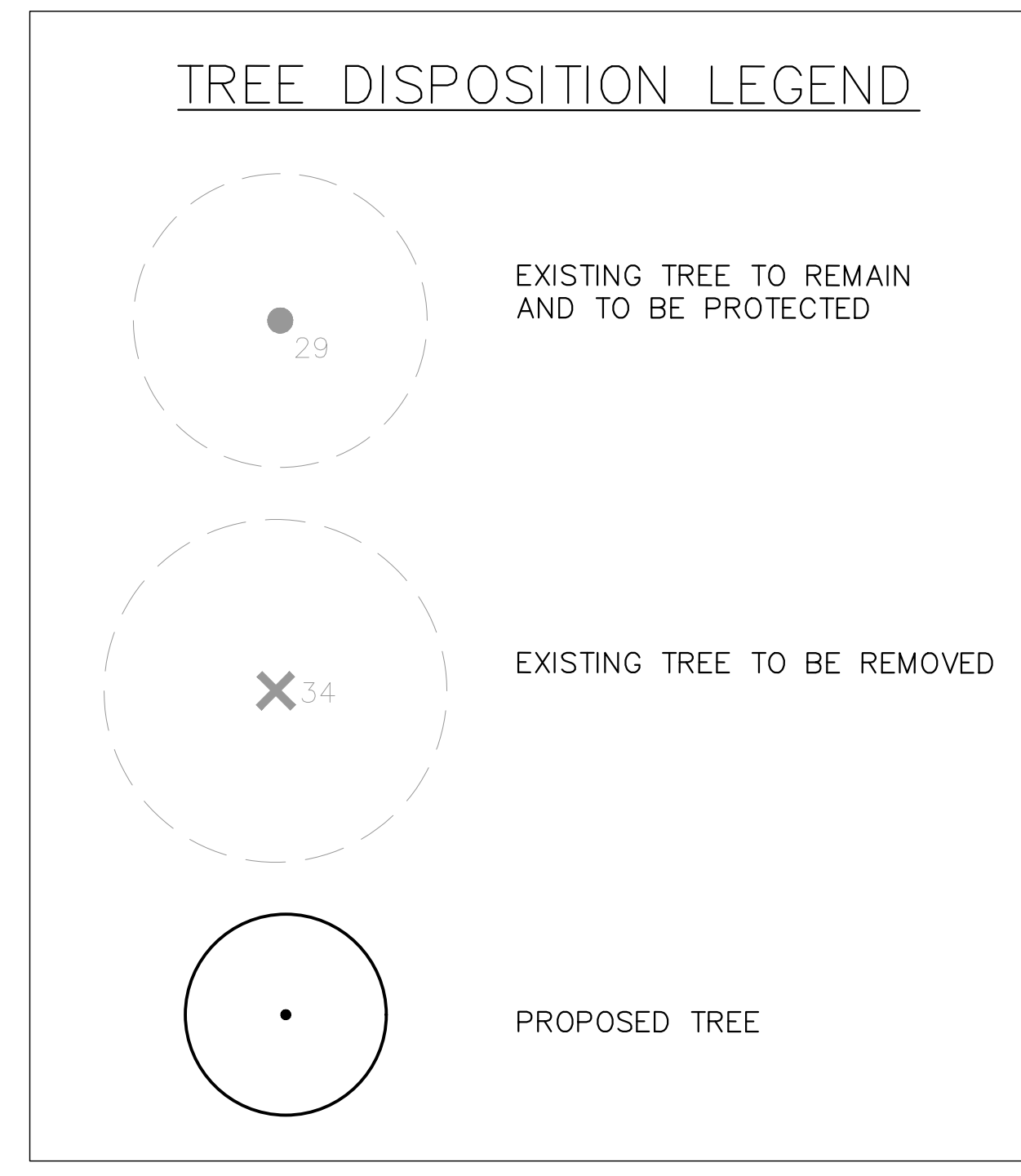
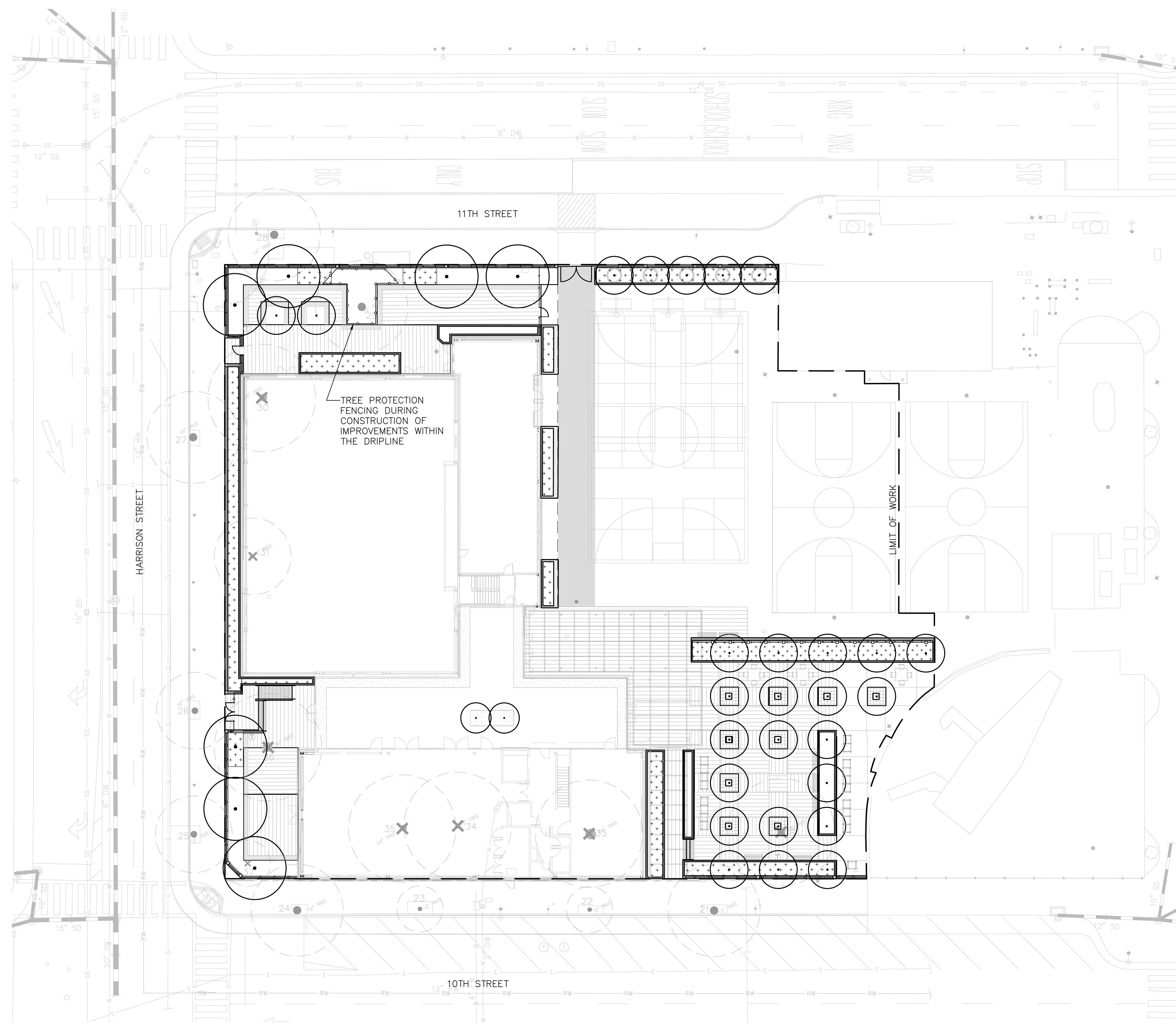
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**TREE PROTECTION DETAIL**  
SECTION  
SCALE: 1/2"=1'-0"  
L2.0 TREE DISPOSITION PLANNING

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OAKLAND, CA 94612  
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PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square Recreation Center**  
250 10th Street, Oakland, CA 94607

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L. MERRILL  
2690  
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Date 9/23/22  
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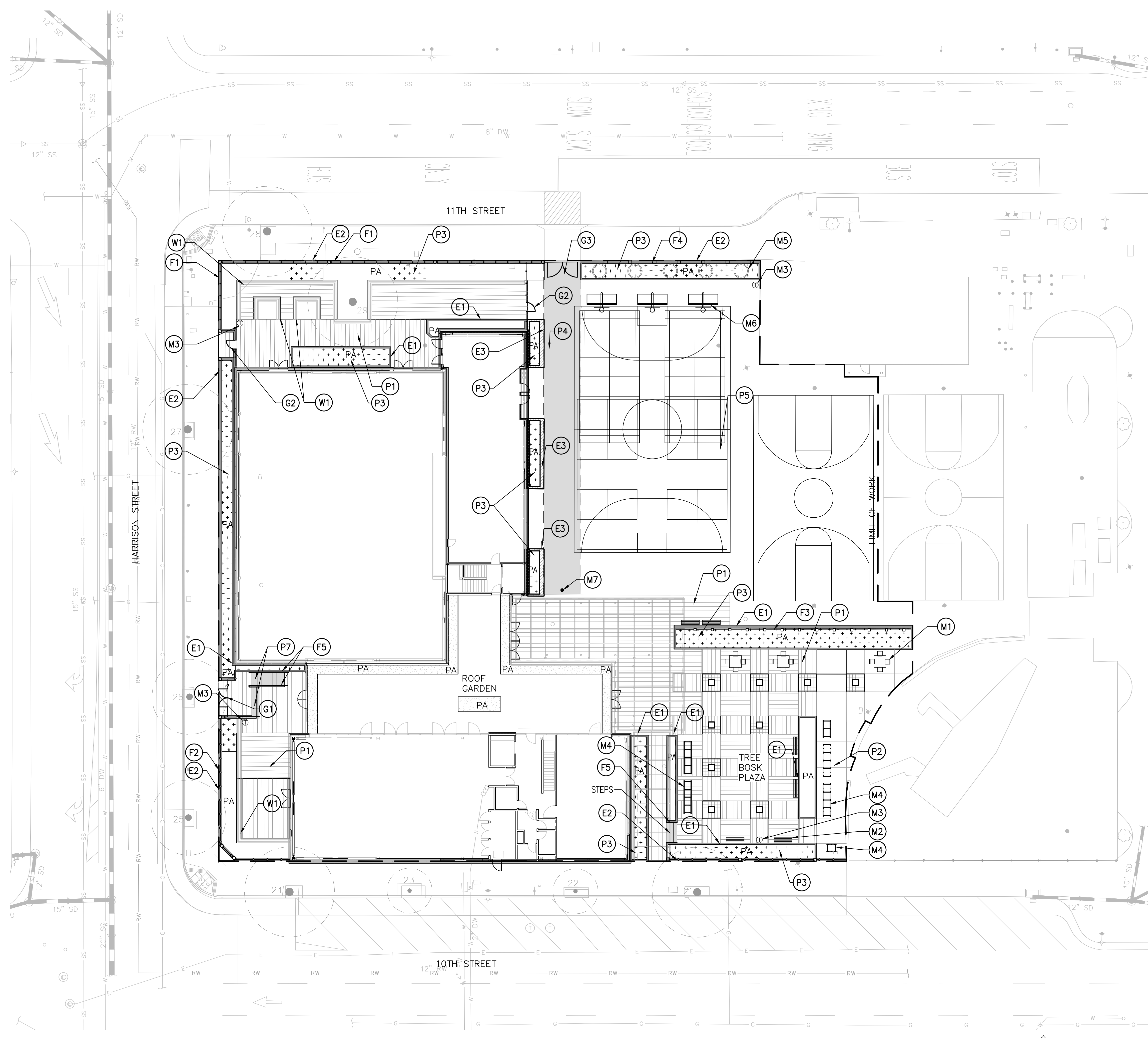
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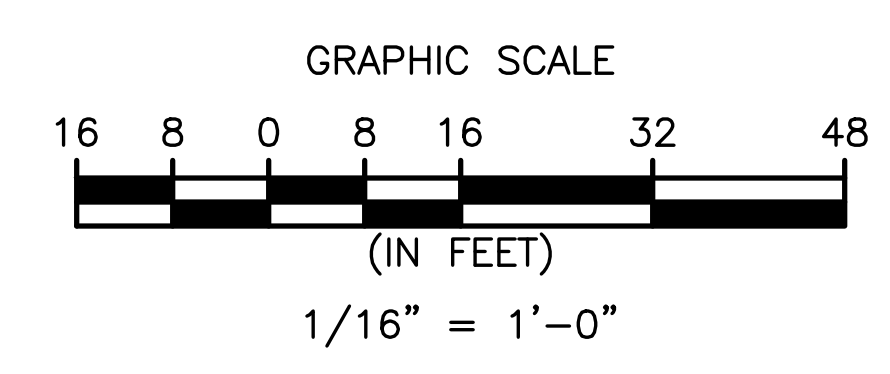






MATERIALS LEGEND AND KEY NOTES:

- (P1) CONCRETE PAVERS ① ②  
L5.0 & L5.0
- (P2) SCORED CONCRETE PAVING – PEDESTRIAN. S.C.D. FOR CONCRETE. STANDARD GRAY. TOPCAST SAND BLAST FINISH. TOOLED JOINT.
- (P3) BIOFILTRATION AREA
- (P4) VEHICULAR ASPHALT PAVING S.C.D.
- (P5) ASPHALT PAVING S.C.D. COURTS TO BE COLOR-COATED AND STRIPED
- (P6) GRANITE SETT TREE WELL ③  
L5.0
- (P7) CONCRETE PAVERS AT RAMP AND STAIRS – MORTAR SET ON CONCRETE.
- (E1) 6" WIDE CONCRETE CURB. CURBS AT BIOFILTRATION AREAS WILL BE FORMED WITH CURB CUTS FOR WATER ENTRY. S.C.D. FOR CONCRETE. STANDARD GRAY. SAND BLAST FINISH.
- (E2) 12" WIDE CONCRETE CURB – PAINTED ONLY AT F1 & F2 S.C.D. FOR CONCRETE. STANDARD GRAY.
- (E3) CONCRETE SEATWALL STORMWATER PLANTER/ ①  
L5.1
- (W1) CUSTOM WOOD BENCH ④  
L5.0
- (G1) DOUBLE PEDESTRIAN GATE TO MATCH F2
- (G2) SINGLE PEDESTRIAN GATE TO MATCH F1
- (G3) VEHICULAR GATE – 9 GAUGE, BLACK VINYL COATED STEEL CHAIN LINK
- (F1) 60-INCH TALL BLACK METAL FENCE WITH COLUMNS AND YELLOW CURBS TO MATCH EXISTING, SEE SHEET L3.1 FOR PHOTO OF EXISTING FENCE
- (F2) 42-INCH TALL BLACK METAL FENCE WITH COLUMNS AND YELLOW CURBS TO MATCH EXISTING, SEE SHEET L3.1 FOR PHOTO OF EXISTING FENCE
- (F3) METAL "BAMBOO" SCREEN ②  
L5.1
- (F4) 10-FOOT TALL 9-GAUGE, BLACK VINYL COATED STEEL CHAIN LINK FENCE
- (F5) STAINLESS STEEL HANDRAIL ③ ④  
L5.1 & L5.1
- (M1) GAME TABLE AND CHAIRS  
 PRODUCT: GAME TABLE  
 MANUFACTURER: STREETPARK  
 MOUNTING OPTION: IN-GROUND  
 WEBSITE: STREETPARK.EU/CS/
- (M2) BENCH WITH BACK  
 PRODUCT: 6' WINCHESTER BENCH W/ BACK  
 BENCH COLOR: RED  
 MOUNTING OPTION: SURFACE MOUNT  
 MANUFACTURER: WABASH VALLEY  
 WEBSITE: WABASHVALLEY.COM
- (M3) TRASH RECEPTACLE  
 PRODUCT: URBAN RENAISSANCE  
 POWDERCOAT: SLATE TEXTURE TO MATCH EXISTING  
 MOUNT: SURFACE MOUNT  
 MANUFACTURER: FORMS AND SURFACES  
 WEBSITE: FORMS-SURFACES.COM
- (M4) BIKE RACKS  
 PRODUCT: DOWNTOWN W/ CONNECTING RAILS  
 COLOR: FLAT BLACK  
 MOUNT OPTION(S): SURFACE MOUNT FOR CONCRETE  
 IN-GROUND MOUNT ON PAVERS  
 MANUFACTURER: DERO BIKE RACK CO.  
 WEBSITE: WWW.DERO.COM  
 CONTACT: PETER LEMIEUX E-MAIL: PETER@DERO.COM
- (M5) TREE GUARD  
 PRODUCT: THAMES TREE GUARD  
 COLOR: BLACK  
 MANUFACTURER: GREEN BLUE URBAN  
 WEBSITE: GREENBLUE.COM
- (M6) MESH MULTI-GOAL  
 PRODUCT: P-SPO-GEBS-MULM  
 MANUFACTURER: PENTAGON WEBSITE: PENTAGONPLAY.CO.UK  
 COLOR: RED
- (M7) BOLLARD  
 PRODUCT: BOLLARD 400  
 COLOR: TEXTURED BLACK  
 MOUNT: S-1SL GROUND SLEEVE OPTION  
 MANUFACTURER: DUMOR  
 WEBSITE: DUMOR.COM



PLANS FOR THE CONSTRUCTION OF

**Lincoln Square Recreation Center**

250 10th Street, Oakland, CA 94607

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Sheet Name  
**MATERIALS PLAN**

Sheet No.  
**L3.0**





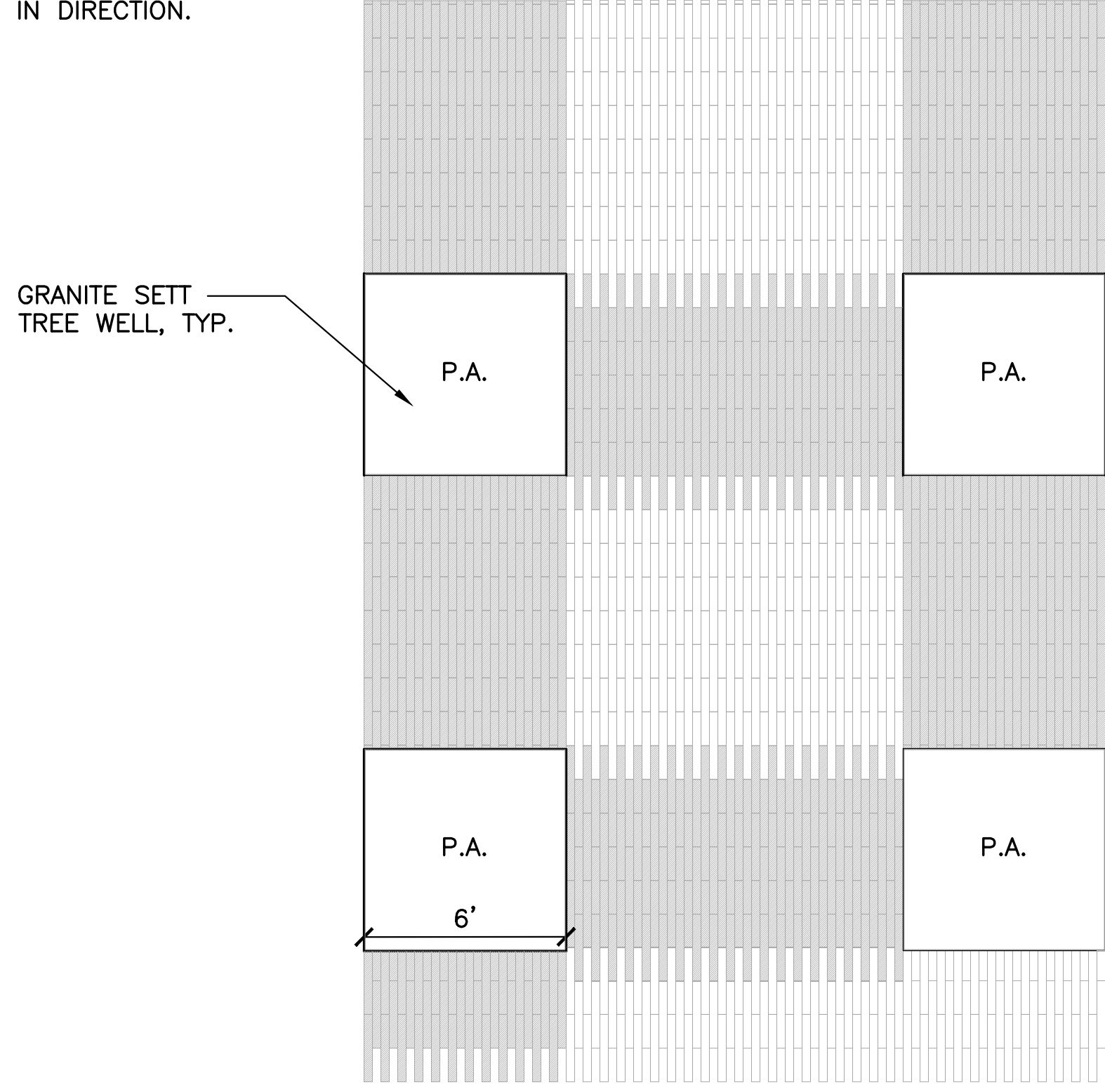
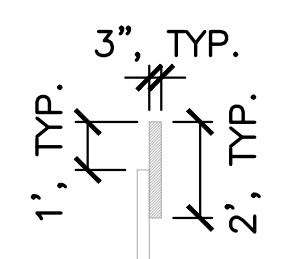


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PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square Recreation Center**  
250 10th Street, Oakland, CA 94607

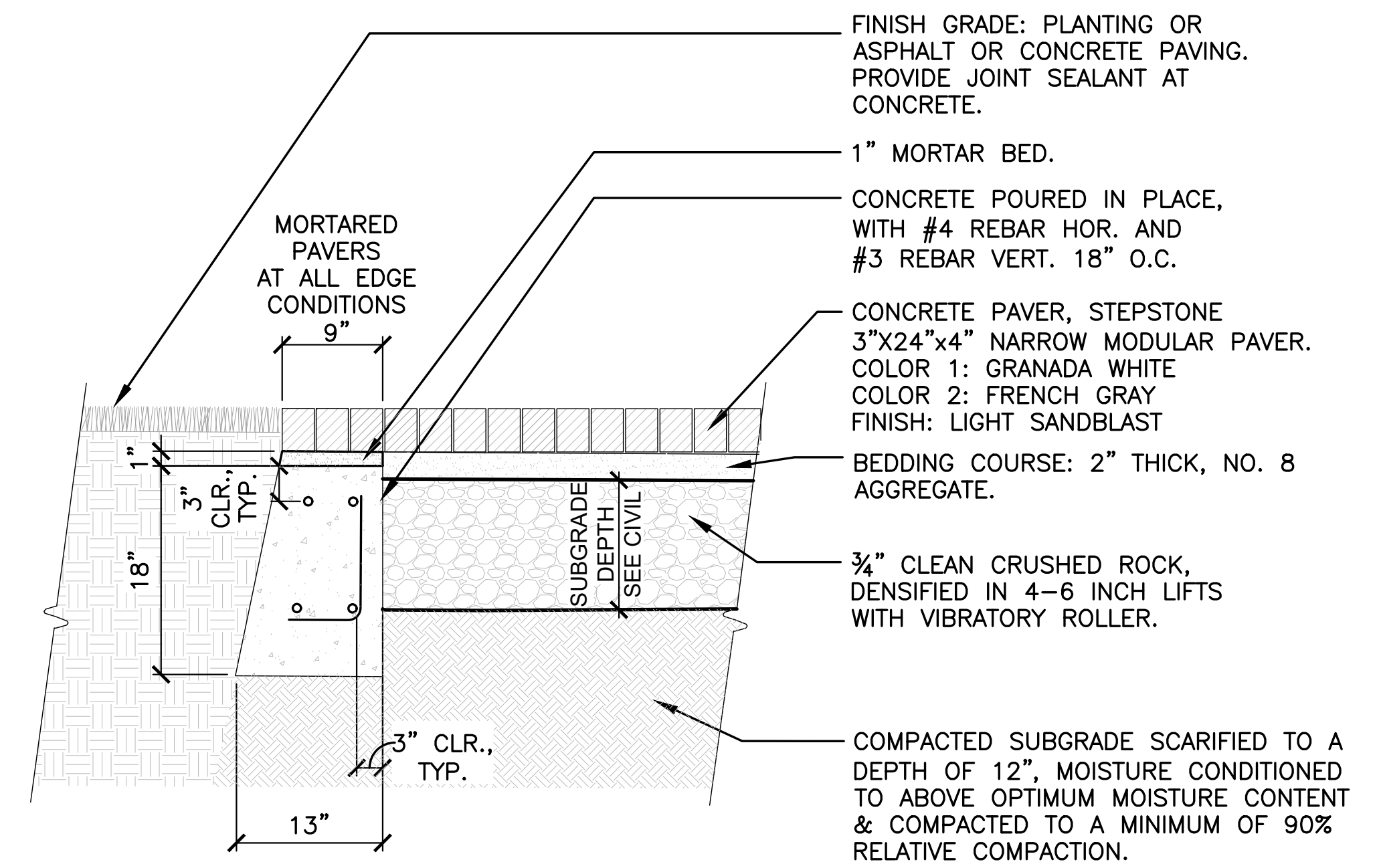
**UNIT PAVER**  
MANUFACTURER: STEPSTONE  
PRODUCT: NARROW MODULAR PAVER  
FINISH: LIGHT SANDBLAST  
COLORS: GRANADA WHITE, FRENCH GRAY  
WEBSITE: <https://www.stepstoneinc.com>

NOTE:  
UNIT PAVERS IN OTHER LOCATIONS ARE FRENCH GRAY IN A RUNNING BOND PATTERN. SEE SHEET L-3.0 FOR CHANGES IN DIRECTION.



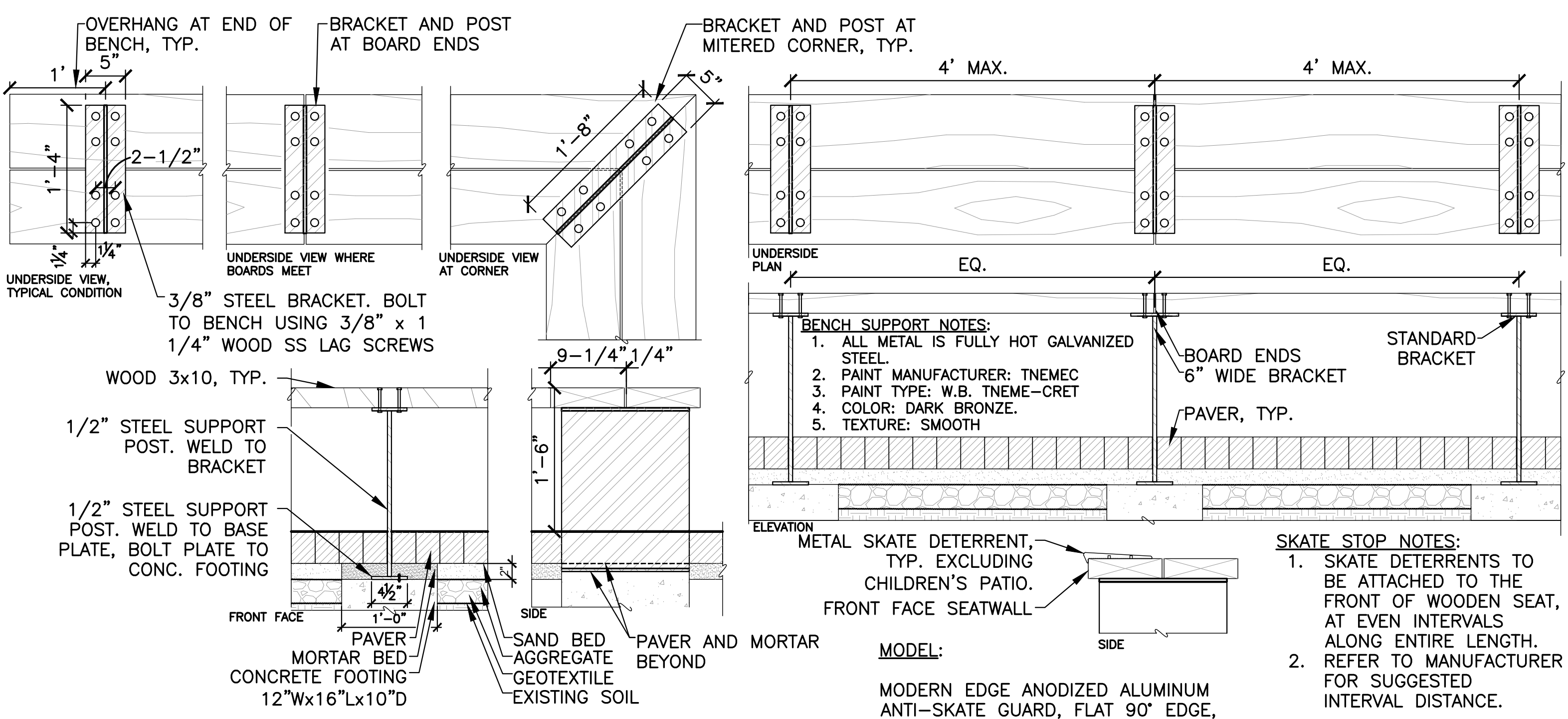
**2 TREE BOSK PLAZA PAVING PATTERN**  
SCALE: 1/4"=1'

NOTE:  
SEE DETAIL 2 ON THIS SHEET FOR TREE BOSK PLAZA PAVING PATTERN. UNIT PAVERS IN OTHER LOCATIONS ARE FRENCH GRAY IN A RUNNING BOND PATTERN. SEE SHEET L-3.0 FOR CHANGES IN DIRECTION.



**1 CONCRETE PAVER**  
SCALE: 1"=1'

NOTE: ALL WOOD TO BE CLEAR HEART WESTERN YELLOW CEDAR.

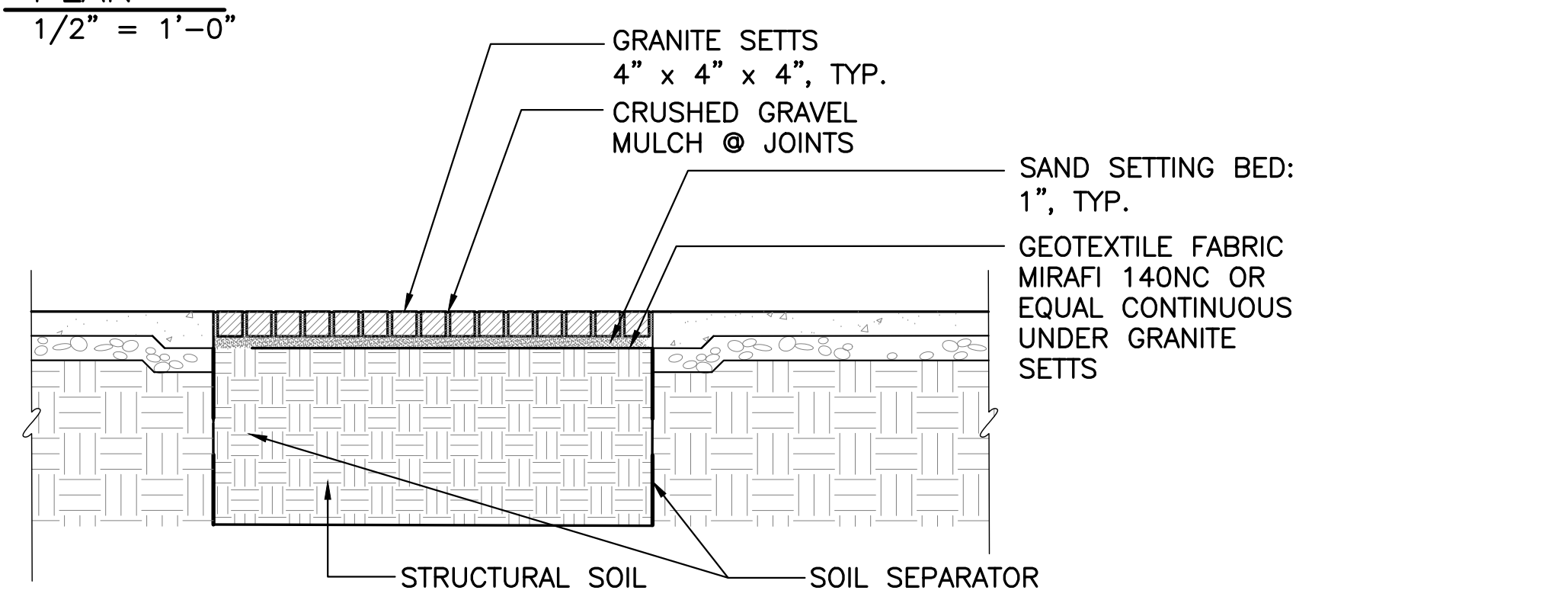
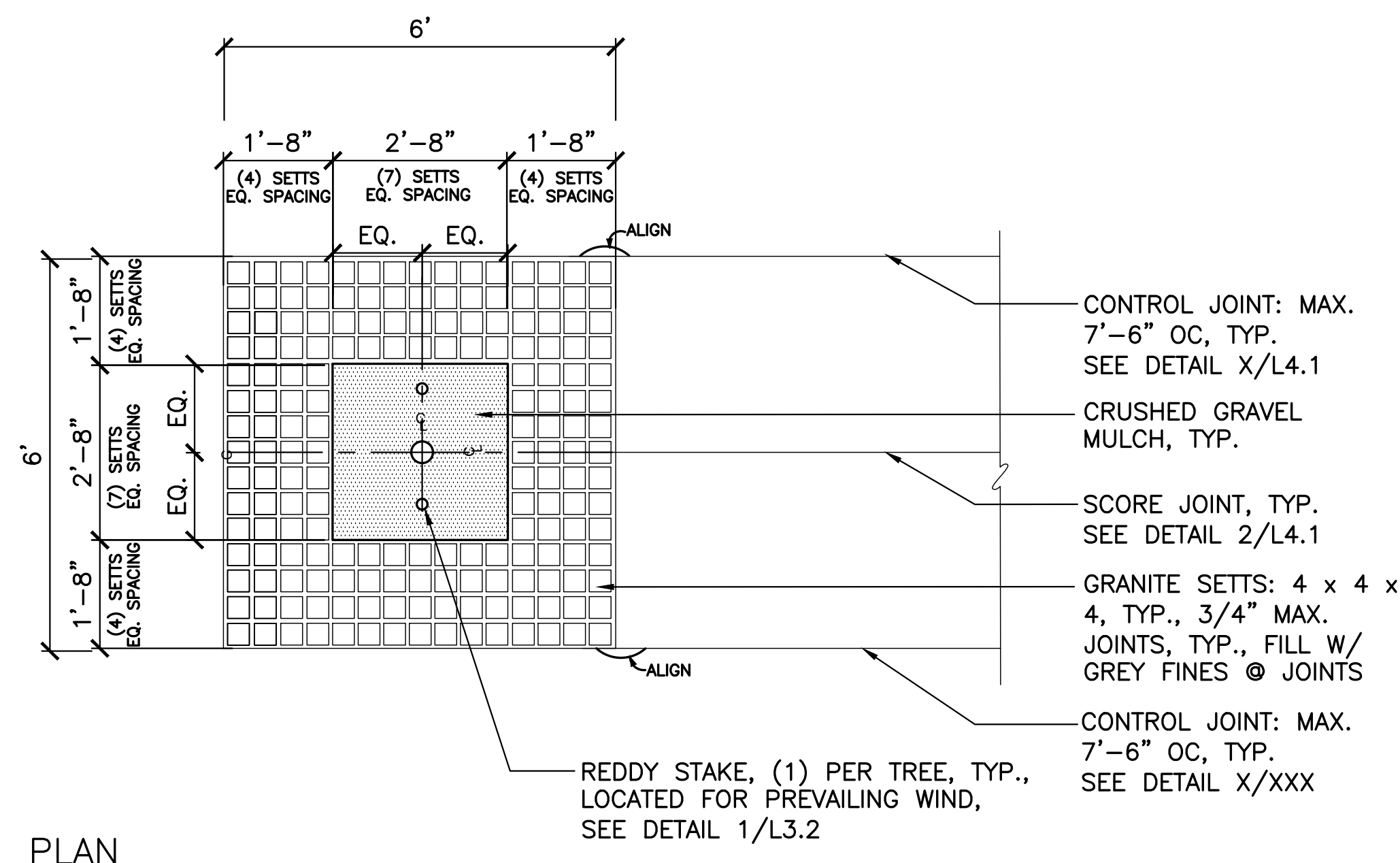


**4 CUSTOM WOOD BENCH**  
SCALE: 1"=1'

**BENCH SUPPORT NOTES:**  
1. ALL METAL IS FULLY HOT GALVANIZED STEEL.  
2. PAINT MANUFACTURER: TNEMEC  
3. PAINT TYPE: W.B. TNEME-CRET  
4. COLOR: DARK BRONZE.  
5. TEXTURE: SMOOTH

**SKATE STOP NOTES:**  
1. SKATE DETERRENTS TO BE ATTACHED TO THE FRONT OF WOODEN SEAT, AT EVEN INTERVALS ALONG ENTIRE LENGTH.  
2. REFER TO MANUFACTURER FOR SUGGESTED INTERVAL DISTANCE.

**MODEL:**  
MODERN EDGE ANODIZED ALUMINUM ANTI-SKATE GUARD, FLAT 90° EDGE, HARD ANODIZED FINISH. FINISH COLOR: MATTE BLACK. SEE <https://www.bcsiteservice.com/>



**3 GRANITE SETT TREE WELL**  
SCALE: 1/2"=1'-0"

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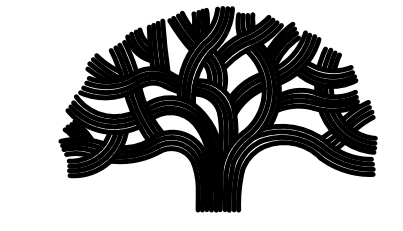
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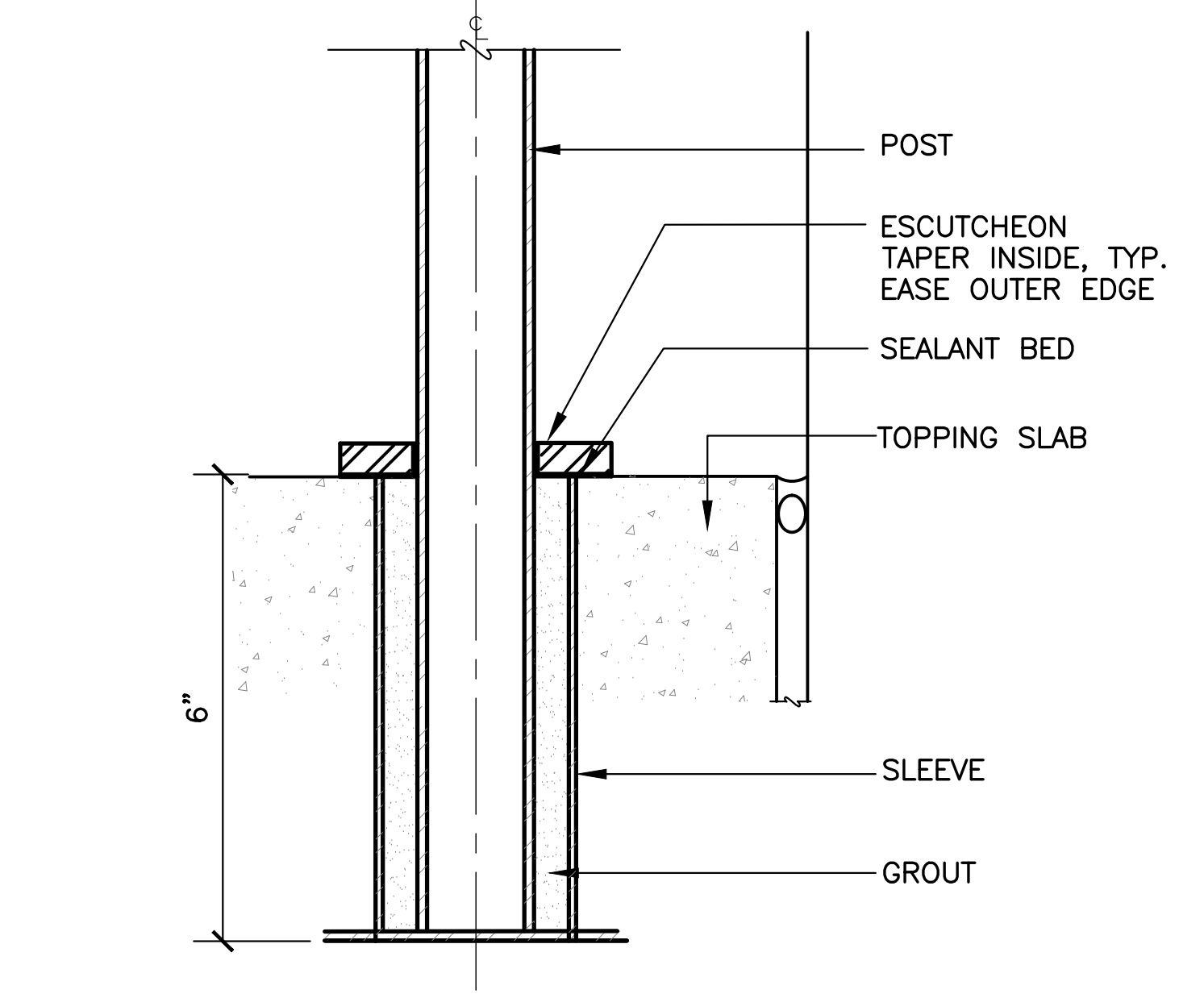
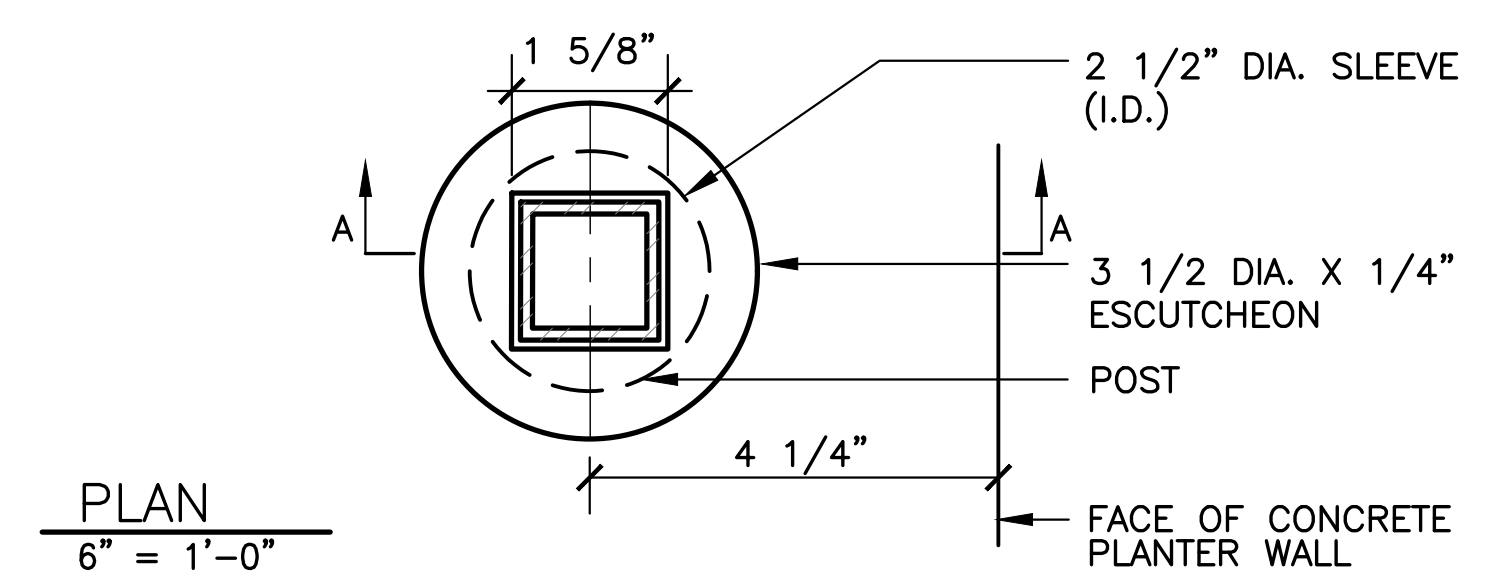
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Sheet Name  
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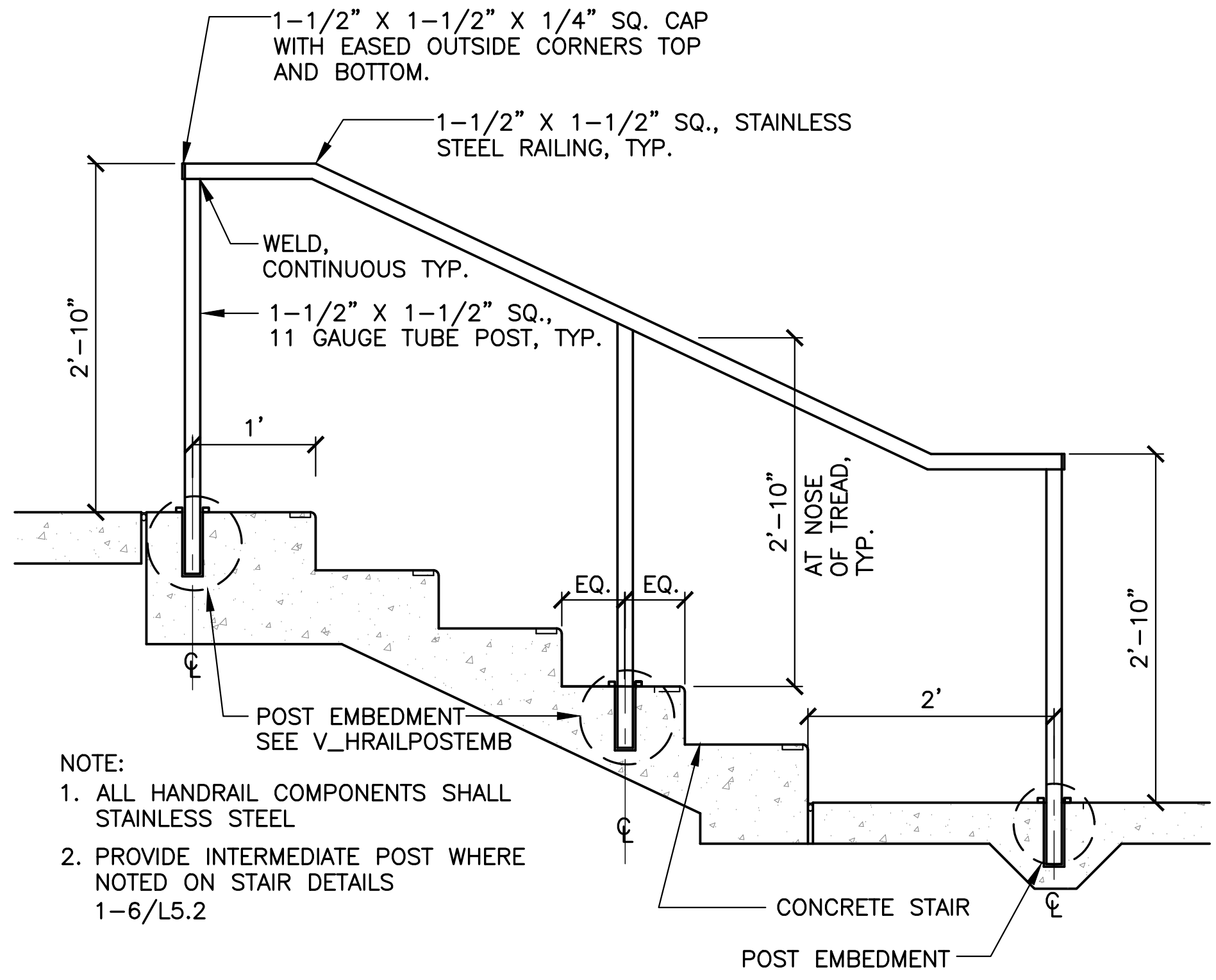
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**L5.0**



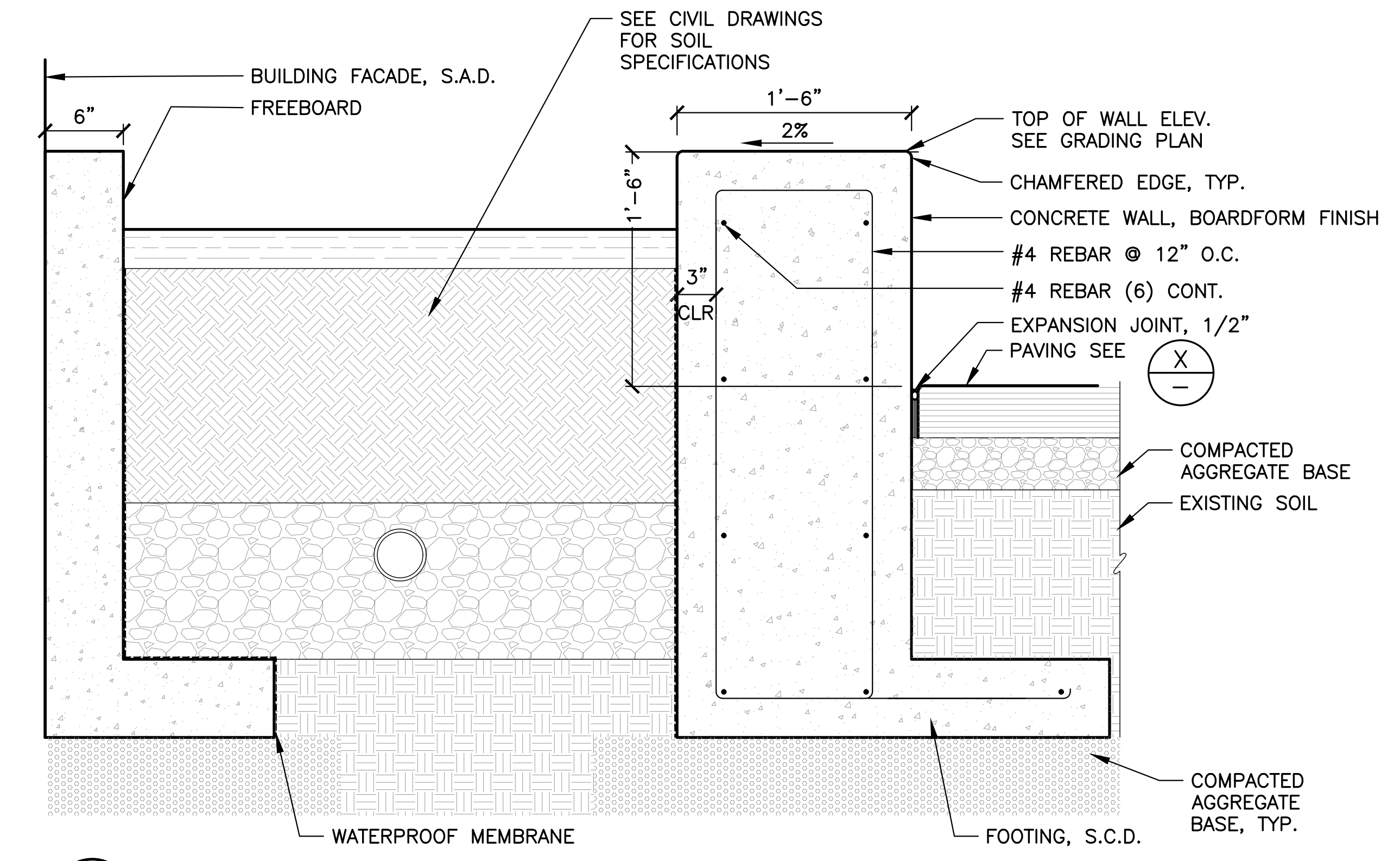
PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square Recreation Center**  
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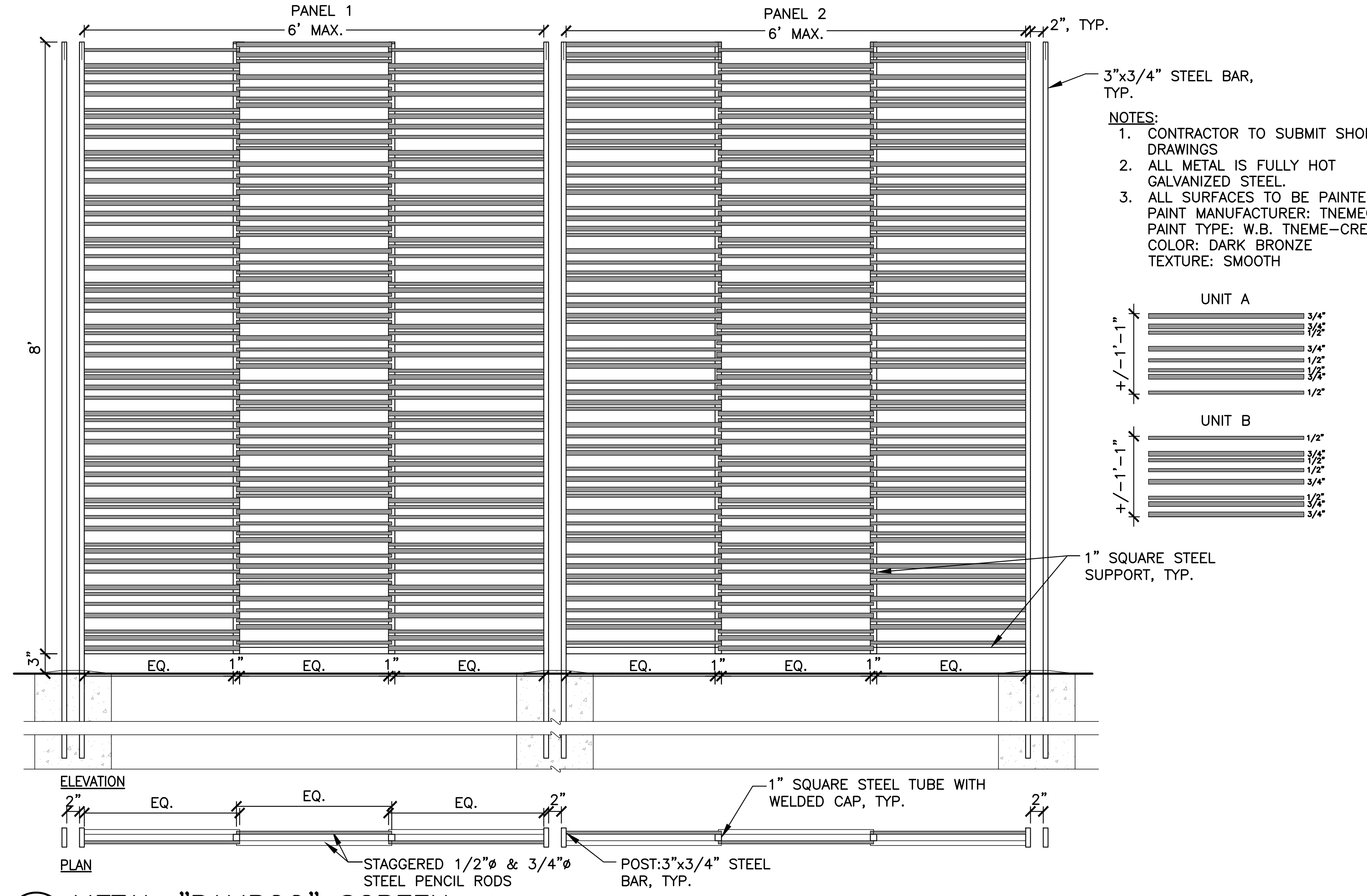
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 6" = 1'-0"  
**4 POST EMBEDMENT**  
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**3 HANDRAIL**  
 SCALE: 1"=1'-0"  
 FOR DESIGN INTENT ONLY



**1 CONCRETE SEATWALL STORMWATER PLANTER**  
 SCALE: 1-1/2"=1'  
 V\_CONCSW01



**2 METAL "BAMBOO" SCREEN**  
 SCALE: 1"=1'

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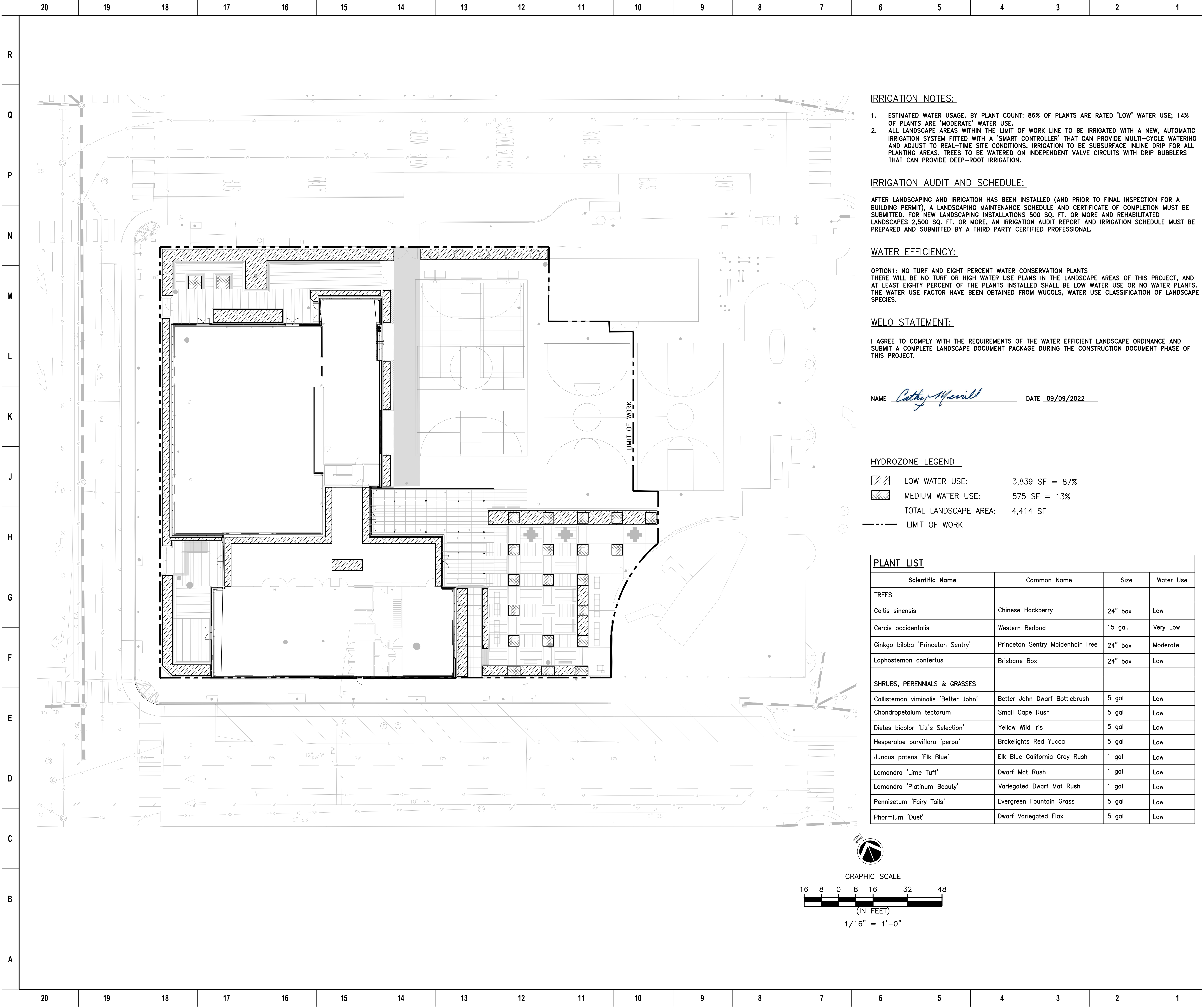
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 Sheet No.  
**L5.1**





**IRRIGATION NOTES:**

1. ESTIMATED WATER USAGE, BY PLANT COUNT: 86% OF PLANTS ARE RATED 'LOW' WATER USE; 14% OF PLANTS ARE 'MODERATE' WATER USE.
2. ALL LANDSCAPE AREAS WITHIN THE LIMIT OF WORK LINE TO BE IRRIGATED WITH A NEW, AUTOMATIC IRRIGATION SYSTEM FITTED WITH A 'SMART CONTROLLER' THAT CAN PROVIDE MULTI-CYCLE WATERING AND ADJUST TO REAL-TIME SITE CONDITIONS. IRRIGATION TO BE SUBSURFACE INLINE DRIP FOR ALL PLANTING AREAS. TREES TO BE WATERED ON INDEPENDENT VALVE CIRCUITS WITH DRIP BUBBLERS THAT CAN PROVIDE DEEP-ROOT IRRIGATION.

**IRRIGATION AUDIT AND SCHEDULE:**

AFTER LANDSCAPING AND IRRIGATION HAS BEEN INSTALLED (AND PRIOR TO FINAL INSPECTION FOR A BUILDING PERMIT), A LANDSCAPING MAINTENANCE SCHEDULE AND CERTIFICATE OF COMPLETION MUST BE SUBMITTED. FOR NEW LANDSCAPING INSTALLATIONS 500 SQ. FT. OR MORE AND REHABILITATED LANDSCAPES 2,500 SQ. FT. OR MORE, AN IRRIGATION AUDIT REPORT AND IRRIGATION SCHEDULE MUST BE PREPARED AND SUBMITTED BY A THIRD PARTY CERTIFIED PROFESSIONAL.

**WATER EFFICIENCY:**

OPTION1: NO TURF AND EIGHT PERCENT WATER CONSERVATION PLANTS. THERE WILL BE NO TURF OR HIGH WATER USE PLANTS IN THE LANDSCAPE AREAS OF THIS PROJECT, AND AT LEAST EIGHTY PERCENT OF THE PLANTS INSTALLED SHALL BE LOW WATER USE OR NO WATER PLANTS. THE WATER USE FACTOR HAVE BEEN OBTAINED FROM WUCOLS, WATER USE CLASSIFICATION OF LANDSCAPE SPECIES.

**WELO STATEMENT:**

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENT PACKAGE DURING THE CONSTRUCTION DOCUMENT PHASE OF THIS PROJECT.

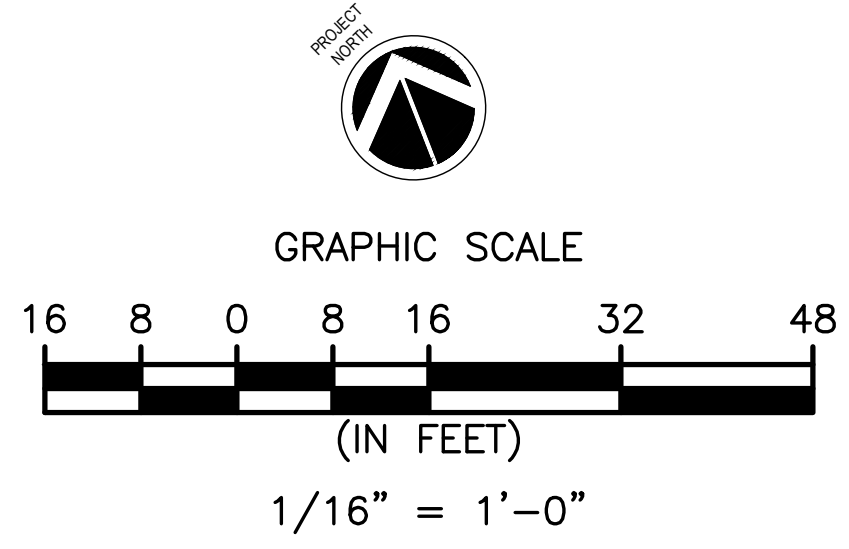
NAME Cathy Merrill DATE 09/09/2022

**HYDROZONE LEGEND**

- LOW WATER USE: 3,839 SF = 87%
- MEDIUM WATER USE: 575 SF = 13%
- TOTAL LANDSCAPE AREA: 4,414 SF
- LIMIT OF WORK

**PLANT LIST**

Scientific Name	Common Name	Size	Water Use
<b>TREES</b>			
Celtis sinensis	Chinese Hackberry	24" box	Low
Cercis occidentalis	Western Redbud	15 gal.	Very Low
Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	24" box	Moderate
Lophostemon confertus	Brisbane Box	24" box	Low
<b>SHRUBS, PERENNIALS &amp; GRASSES</b>			
Callistemon viminalis 'Better John'	Better John Dwarf Bottlebrush	5 gal	Low
Chondropetalum tectorum	Small Cape Rush	5 gal	Low
Diets bicolor 'Liz's Selection'	Yellow Wild Iris	5 gal	Low
Hesperaloe parviflora 'perpa'	Brakelights Red Yucca	5 gal	Low
Juncus patens 'Elk Blue'	Elk Blue California Gray Rush	1 gal	Low
Lomandra 'Lime Tuff'	Dwarf Mat Rush	1 gal	Low
Lomandra 'Platinum Beauty'	Variegated Dwarf Mat Rush	1 gal	Low
Pennisetum 'Fairy Tails'	Evergreen Fountain Grass	5 gal	Low
Phormium 'Duet'	Dwarf Variegated Flax	5 gal	Low



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PLANS FOR THE CONSTRUCTION OF

**Lincoln Square Recreation Center**

250 10th Street, Oakland, CA 94607

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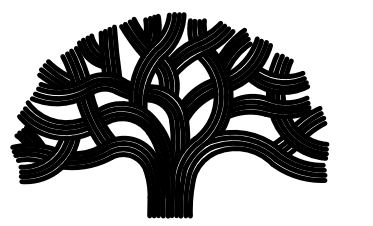
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Sheet No.  
**L6.0**

SKA Project Number: [00000.000]

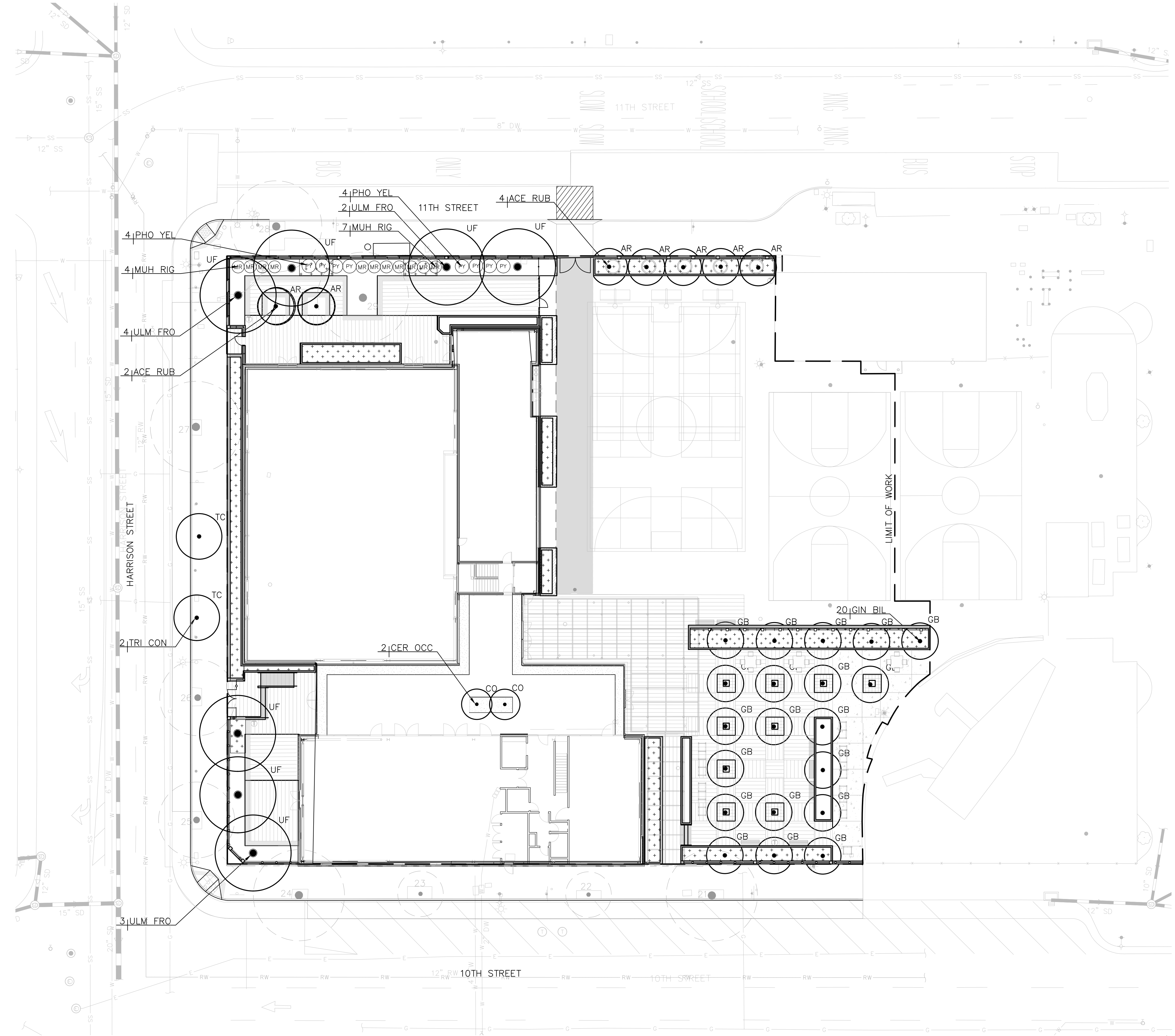
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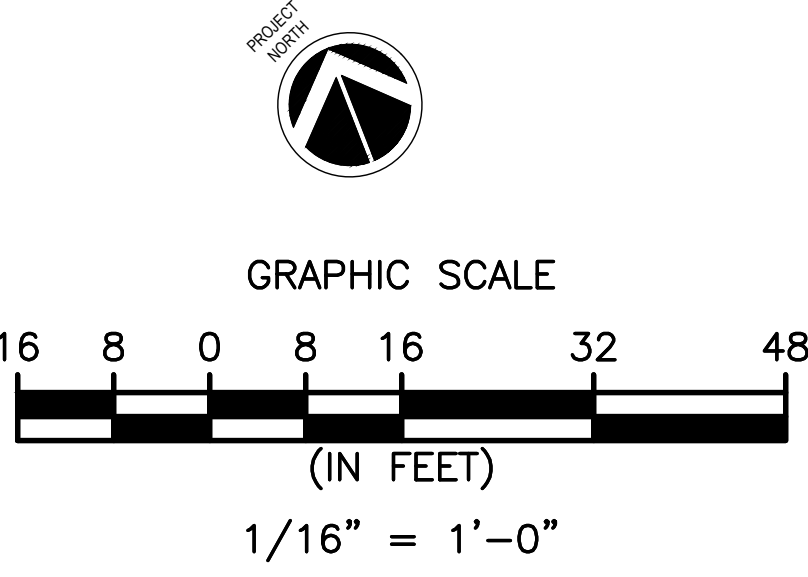
PLANS FOR THE CONSTRUCTION OF

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KEY LATIN NAME	COMMON NAME	QTY	SIZE	CONTAINER SIZE	WATER USE
<b>TREES</b>					
AR	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG GOLD RED MAPLE	X	35'x12' 24" BOX	LOW
CO	CERCIS OCCIDENTALIS	WESTERN REDBUD	X	35'x12' 15 GAL	VERY LOW
GB	GINKGO BILOBA 'PRINCETON SENTRY'	MAIDENHAIR	X	40'x20' 24" BOX	MED
TC	TRISTANIA CONFERTA	BRISBANE BOX	X	35'x25' 24" BOX	LOW
UF	ULMUS 'FRONTIER'	FRONTIER ELM	X	40'x30' 24" BOX	LOW
<b>SHRUBS AND GROUNDCOVER</b>					
ARC ML	ARCHILEX MILLEFOLIUM	'YARROW'	142	1'0.C.	1 GAL LOW
ARC UVA	ARCTOSTAPHYLOS UVA UVA 'EMERALD CARPET'	EMERALD CARPET MANZANITA	17	1'x4'	1 GAL LOW
CEA YAN	CEANOTHUS 'YANKEE POINT'	CALIFORNIA LILAC	60	3'x6'	5 GAL LOW
CHO TEC	CHONDROPETALUM TECTORUM	CAPE REED	60	2'x3'	1 GAL LOW BIOFILTRATION
CIS LAD	CISTUS LADANIFER	CRIMSON-SPOT ROCKROSE	60	4'x4'	5 GAL LOW
DIE BIC	DIETIS BICOLOR 'LIZ'S SELECTION'	YELLOW WILD IRIS	7	2'x3'	5 GAL LOW
ERI GLA	ERIGERON GLAUCUS 'CAPE SEBASTIAN'	SEASIDE DAISY	223	1'x2'	1 GAL LOW BIOFILTRATION
FRA CAL	FRANGULA CALIFORNICA 'SEA VIEW'	COFFEEBERRY	485	3'x6'	5 GAL LOW
LAN NEW	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	485	1'x4'	5 GAL LOW
LOR CHI	LOROPETALUM CHINENSIS 'EVER RED'	EVER RED FRINGE FLOWER	485	6'x6'	5 GAL LOW
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	23	4'x4'	1 GAL LOW
PHO TEN	PHORMIUM TENAX 'DUET'	YELLOW WAVE NEW ZEALAND FLAX	26	3'x4'	1 GAL LOW
RIB SAN	RIBES SANGUINEUM 'CLAREMONT'	PINK FLOWERING CURRENT	6	4'x4'	5 GAL LOW BIOFILTRATION
WES FRU	WESTRINGIA FRUTICOSA	FALSE ROSEMARY	21	3'x3'	5 GAL LOW
<b>GRASSES</b>					
CAR DV	CAREX DIALSA	BERKELEY SEDGE	347	1.5'x1.5'	1 GAL LOW BIOFILTRATION
JUN PAT	JUNCUS PATENS 'ELK BLUE'	ELK BLUE CALIFORNIA GRAY RUSH	180	2'x2'	1 GAL LOW BIOFILTRATION
LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	180	3'x3'	5 GAL LOW BIOFILTRATION

DRAIN ROCK - SEE STORMWATER DRAWINGS FOR INSTALLATION



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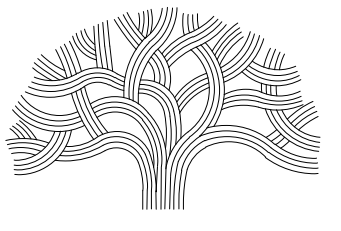
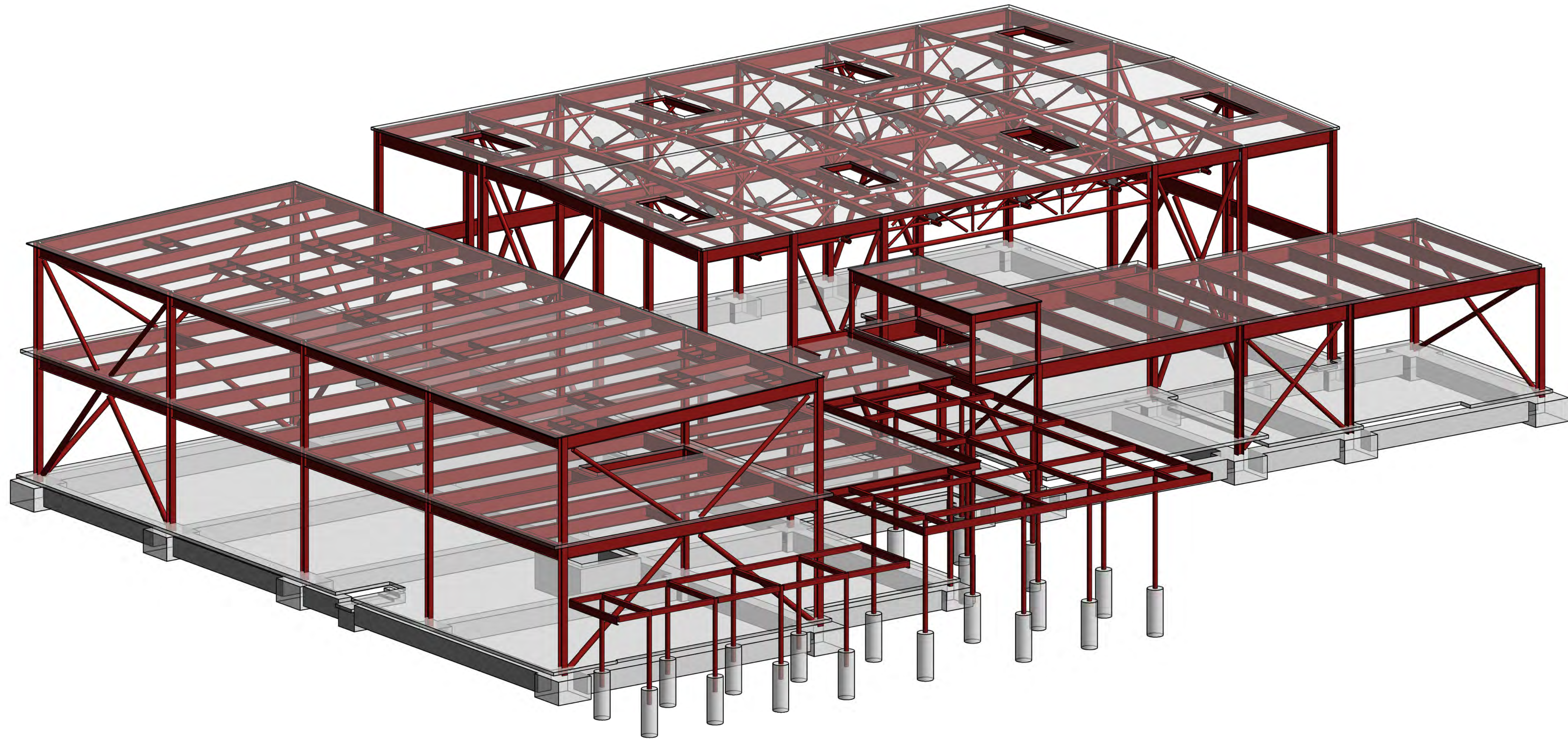
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**PLANTING PLAN**  
 Sheet No.  
**L9.0**

SKA Project Number: [00000.000]



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PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square  
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100002022		50% DESIGN DEVELOPMENT

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**3D ISOMETRIC VIEW**  
 Sheet No.  
**S-110**

SKA Project Number: 21703

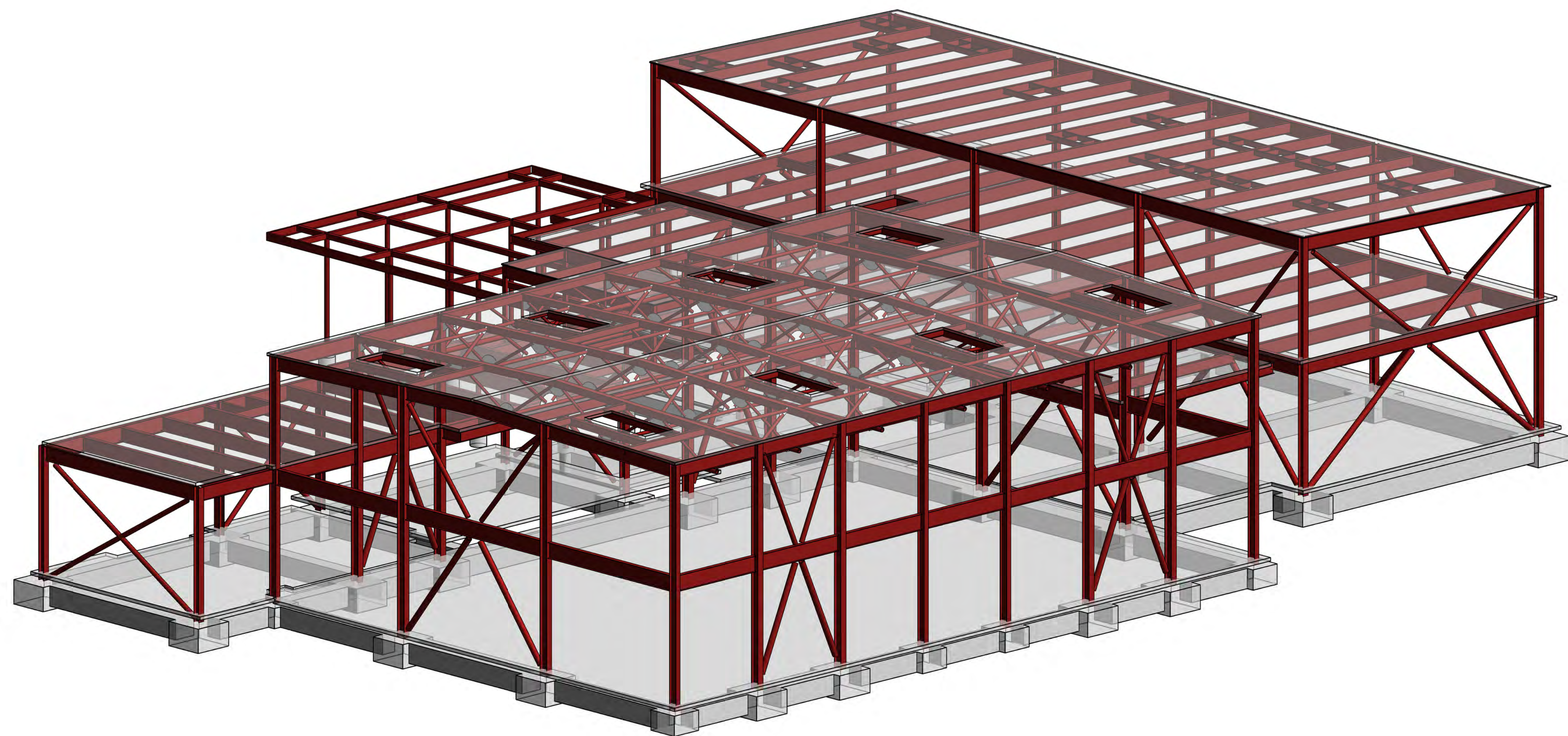
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PLANS FOR THE CONSTRUCTION OF

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Sheet Name

**3D ISOMETRIC VIEW**

Sheet No.

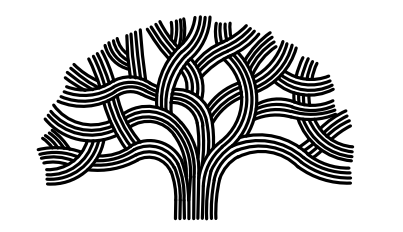
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SKA Project Number: 21703

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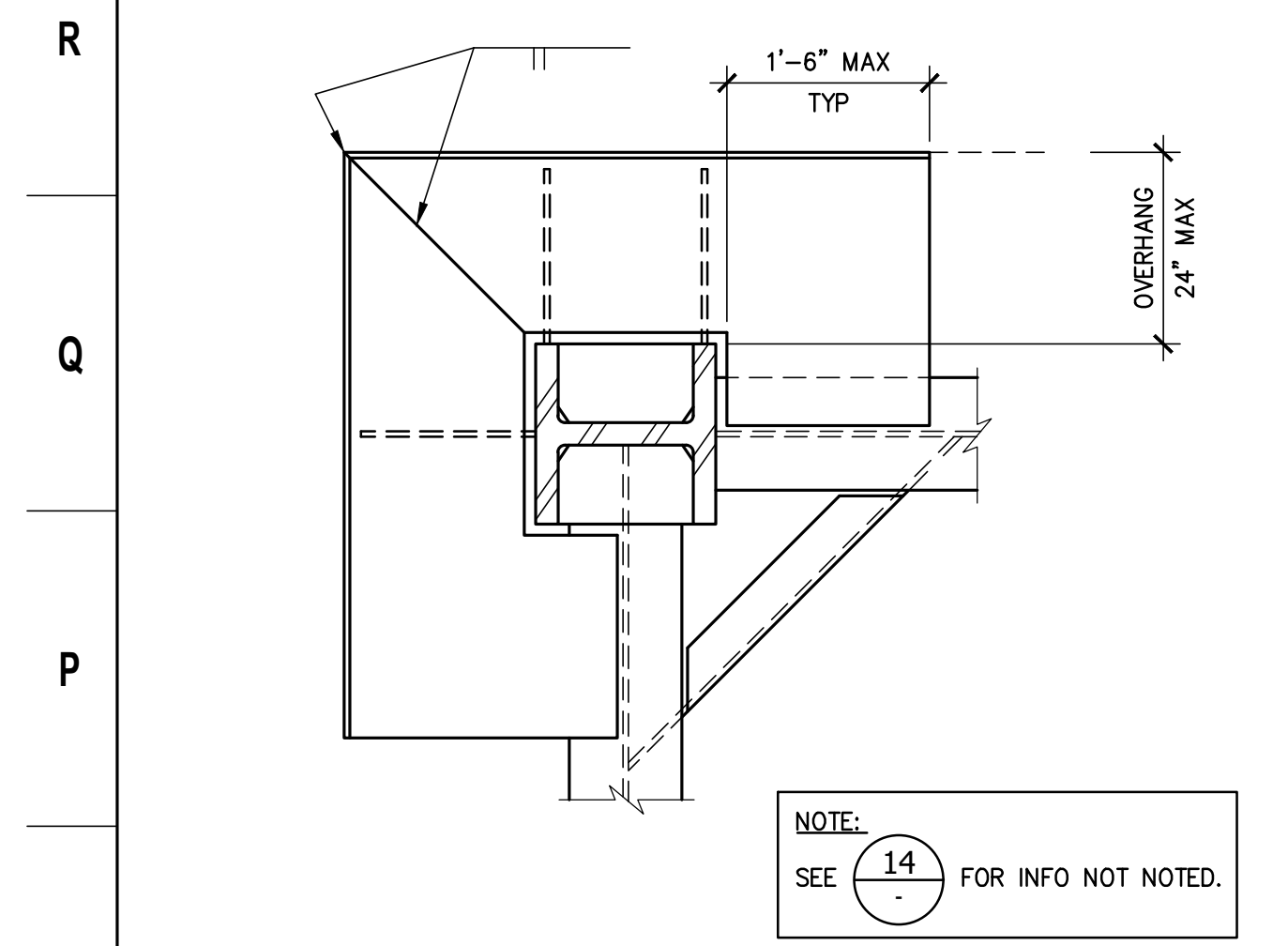




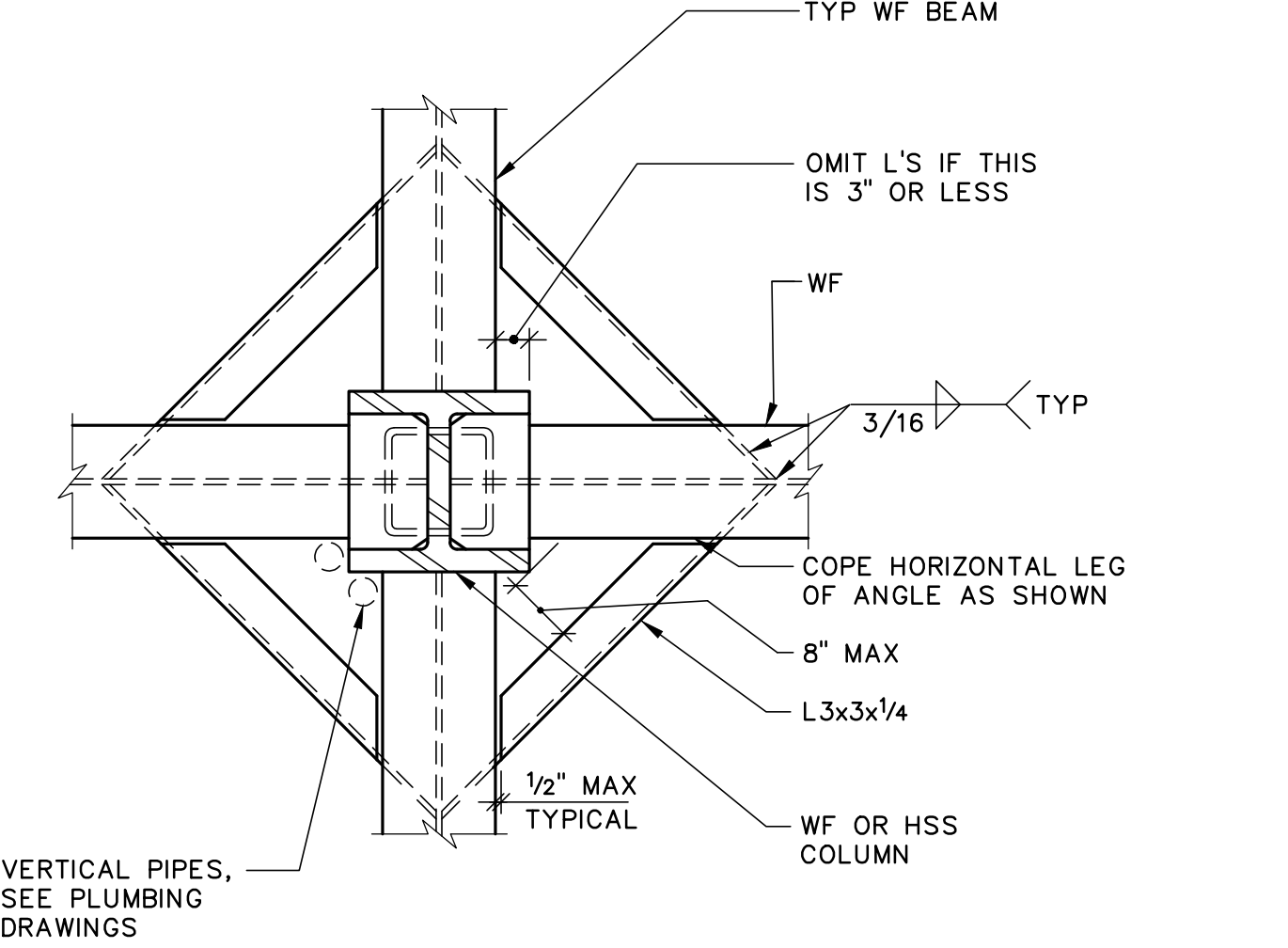
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PLANS FOR THE CONSTRUCTION OF

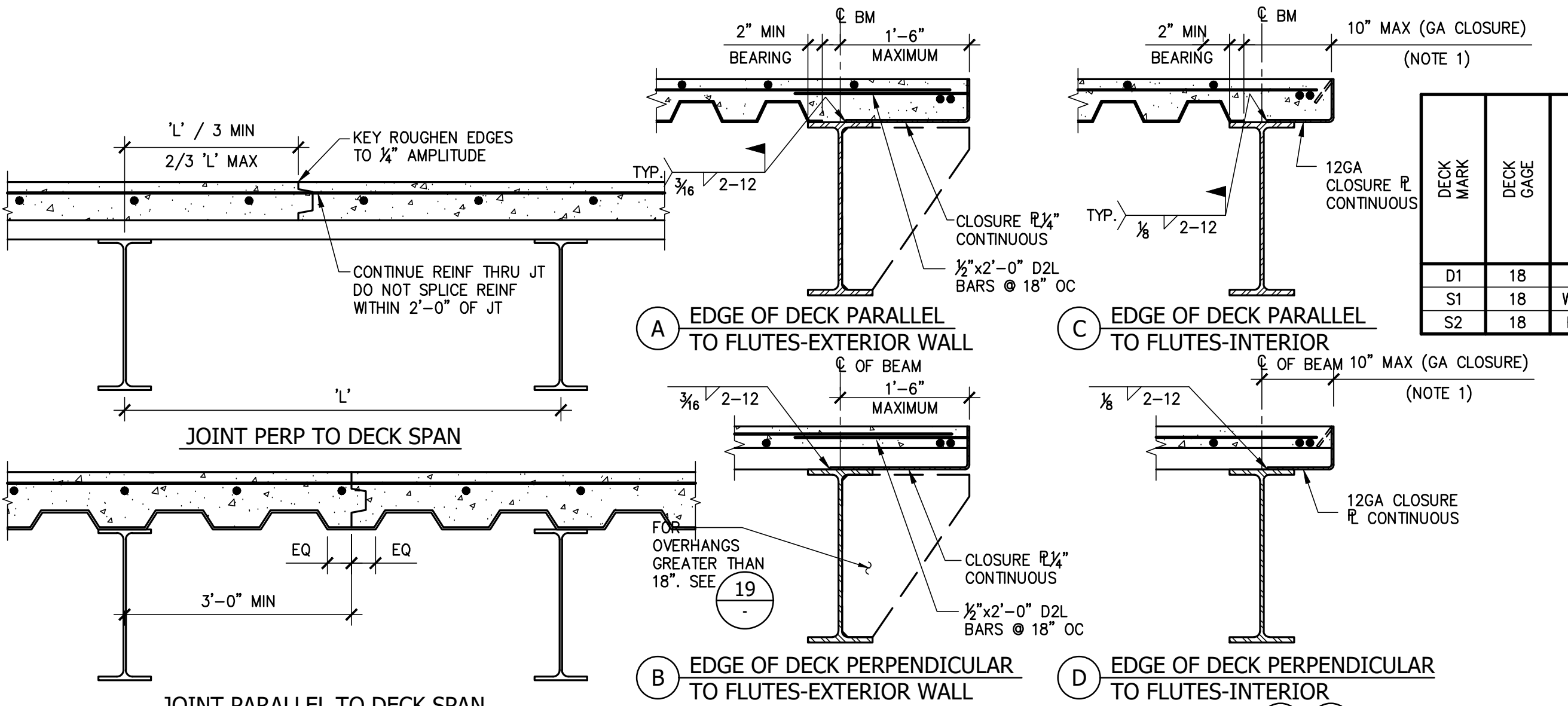
**Lincoln Square Recreation Center**  
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17 STEEL DECK SUPPORT AT CORNER Scale: NTS



13 STEEL DECK SUPPORT AT COLUMN Scale: NTS

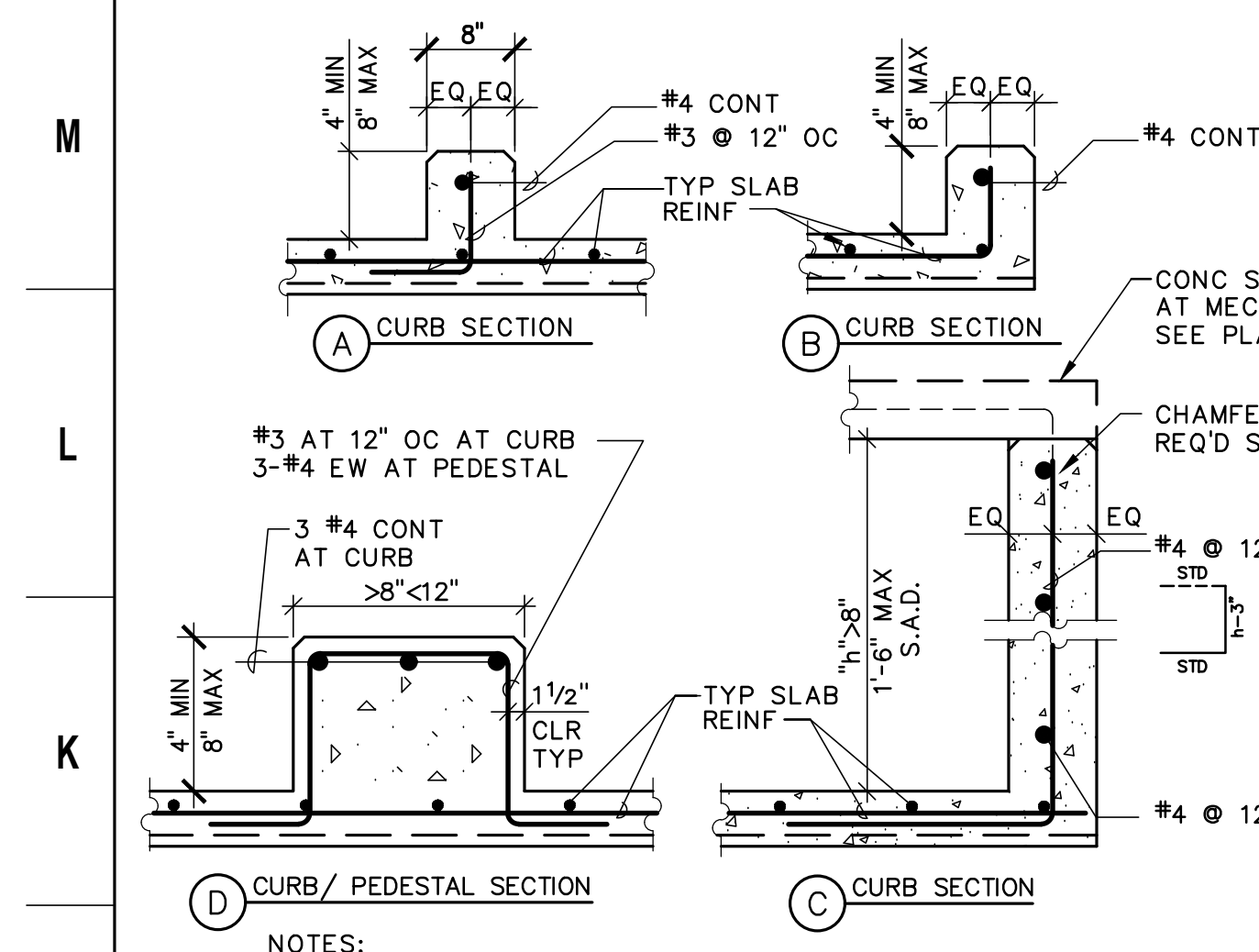


9 SLAB ON METAL DECK CONSTRUCTION JOINT LOCATIONS Scale: NTS

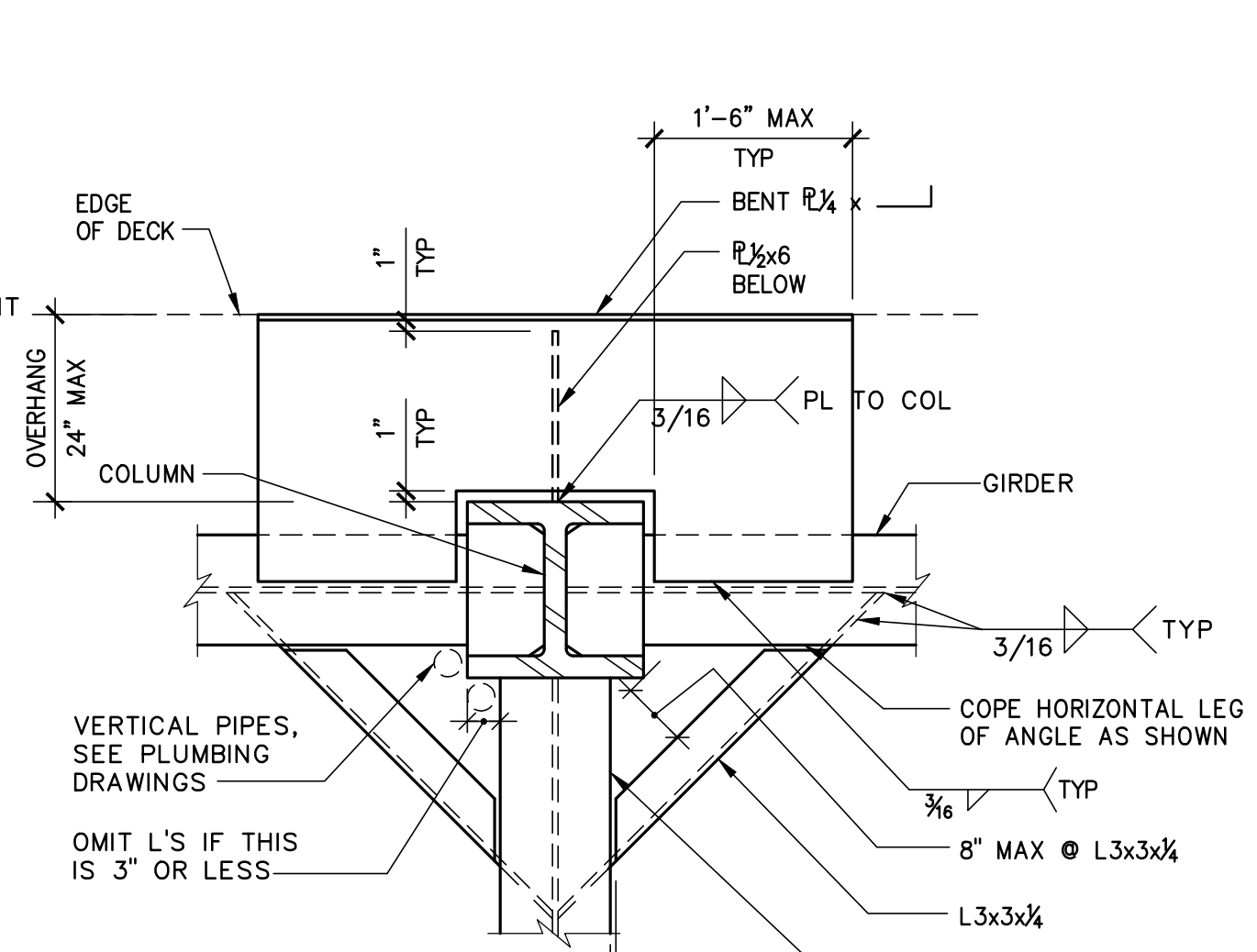
DECK MARK	DECK GAGE	GALVANIZED METAL DECK (G60) OR VERO OR EQUIVALENT	DECK DEPTH	CONCRETE FILL (3) (4)		WELDS TO SUPPORTS (5)		SIDE FLAPS				
				MINIMUM SPANS	STUD LENGTH (INCHES)	THICKNESS (INCHES)	TOTAL THICKNESS (INCHES)	PARALLEL TO FLUTES	PERPENDICULAR TO FLUTES	BUTTON SPACING	TOP SEAM WELD SPACING	
D1	18	HSB-36	1 1/2"	2	-	-	12	7	-	24	18	
S1	18	W2 FORMLOCK	2"	2	4	3/4"	5/8"	12	4	-	24	2
S2	18	B FORMLOCK	1 1/2"	2	-	2 1/2"	4	12	7	-	24	2

1 METAL DECK SCHEDULE (ICC ESR-1735P) Scale: NTS

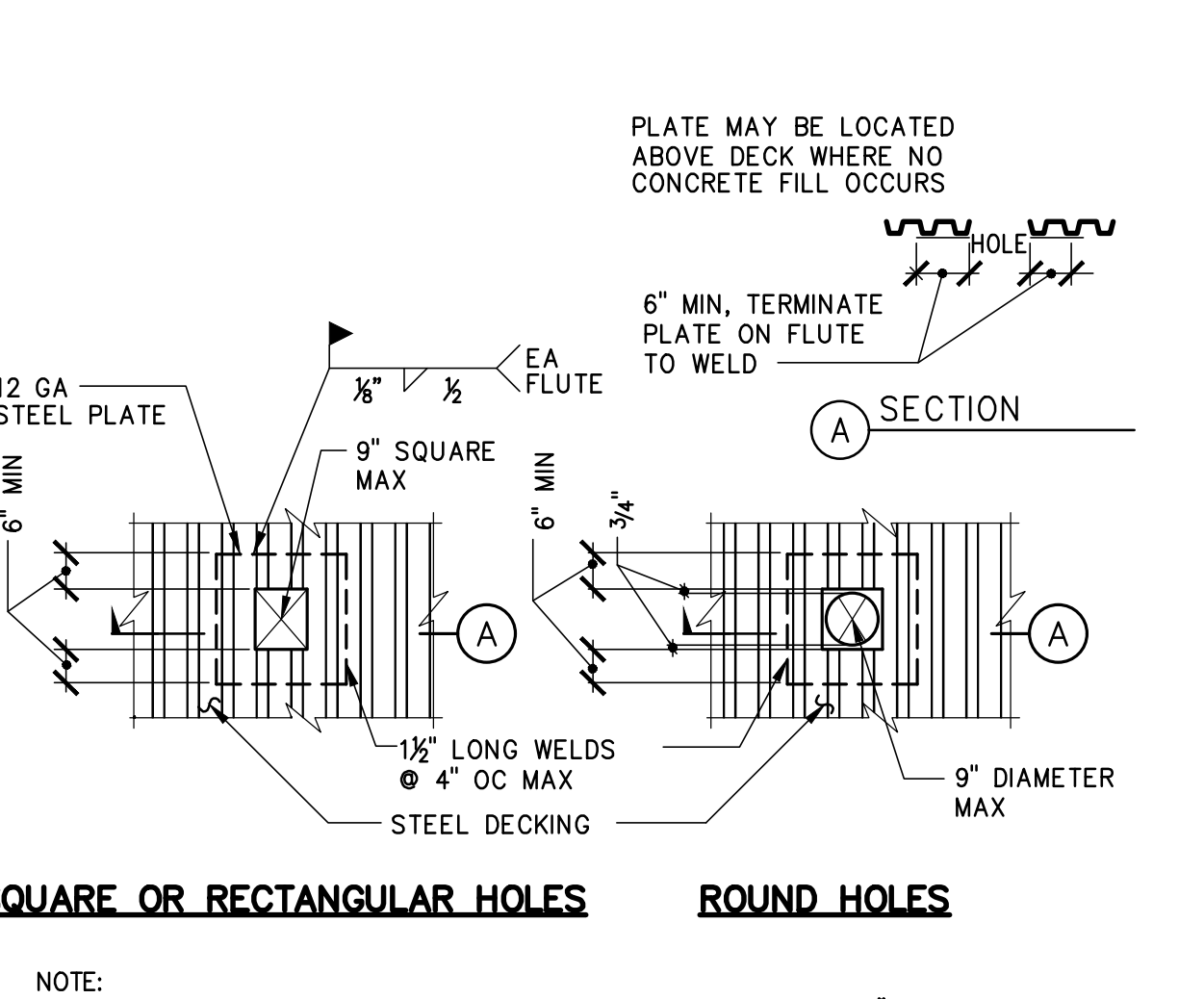
**NOTES:**  
 ① DECK ORIENTATION AS SHOWN ON PLANS OVER MINIMUM NUMBER OF SPANS SHOWN. INCREASE METAL DECK GAGE AS REQUIRED TO ALLEVIATE SHORING IF MINIMUM NUMBER OF SPANS CAN NOT BE OBTAINED.  
 ② PROVIDE 3/4" NELSON STUD ANCHORS EQUALLY SPACED OVER LENGTH OF BEAM. SEE PLAN [ ] FOR QUANTITIES. PUDDLE WELDS MAY BE OMITTED WHERE STUD SPACING COINCIDES WITH WELD SPACING.  
 ③ SEE GENERAL NOTES FOR CONCRETE TYPE AND STRENGTH. SEE PLAN FOR SLAB REINFORCING. SEE 3/- FOR REINF. LOCATION.  
 ④ WHERE CONCRETE FILL OR INSULATING CONCRETE FILL IS PLACED OVER METAL DECK, PROVIDE VENT TABS PER MANUFACTURER'S RECOMMENDATIONS.  
 ⑤ PROVIDE 3/4" PUDDLE WELDS AS INDICATED.



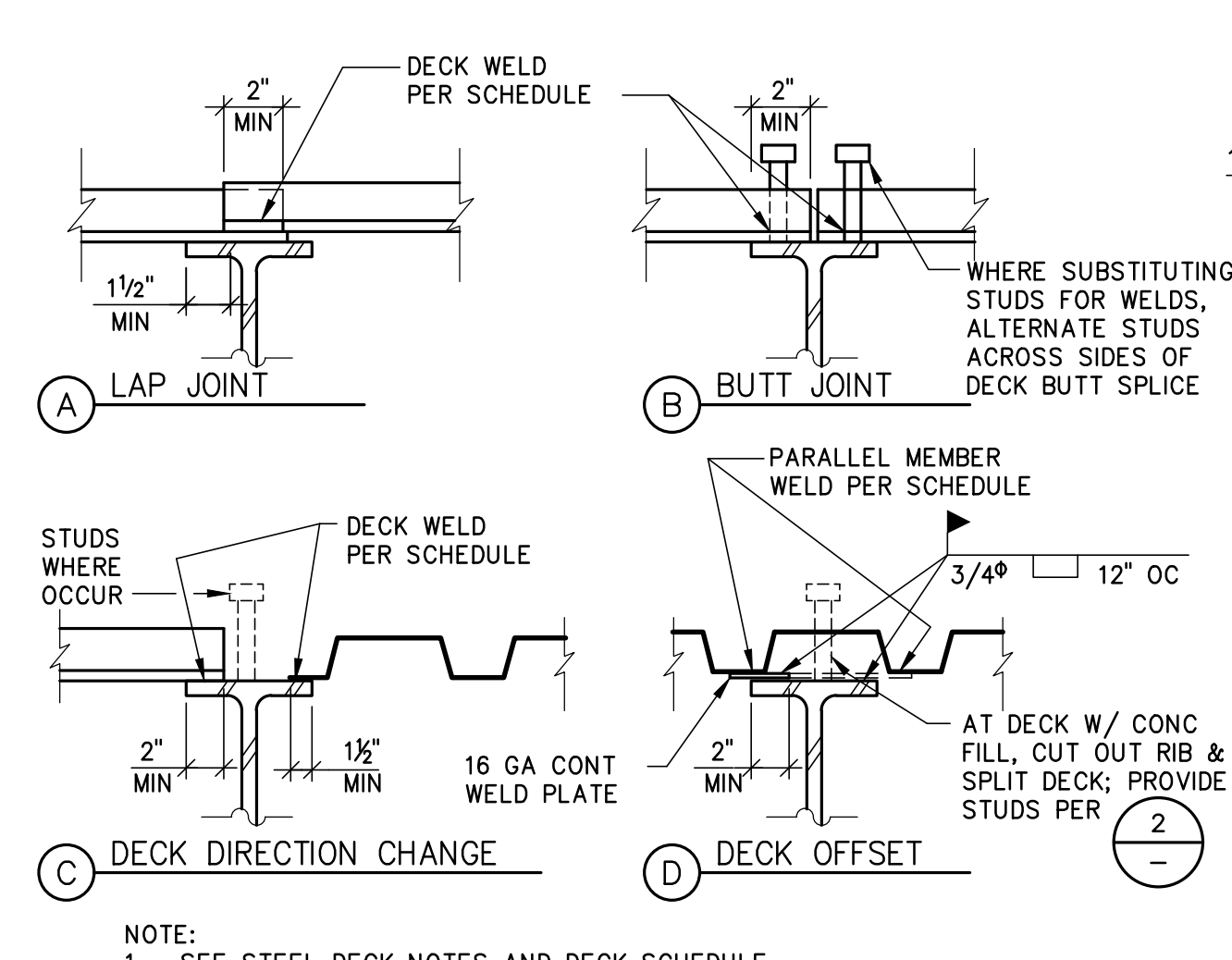
18 CONCRETE CURBS AT STEEL DECK Scale: NTS



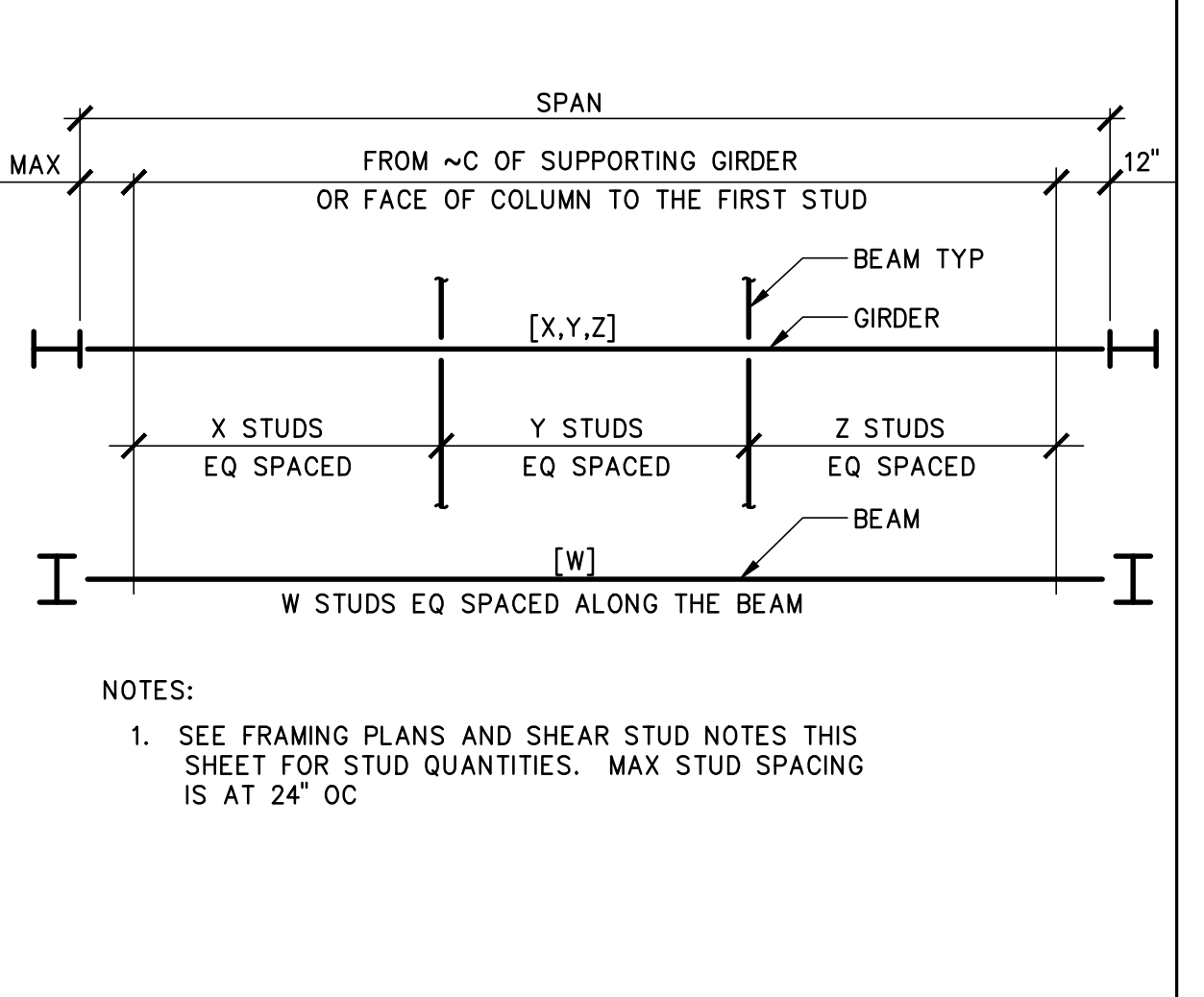
14 STEEL DECK SUPPORT AT EXTERIOR WALL COLUMN Scale: NTS



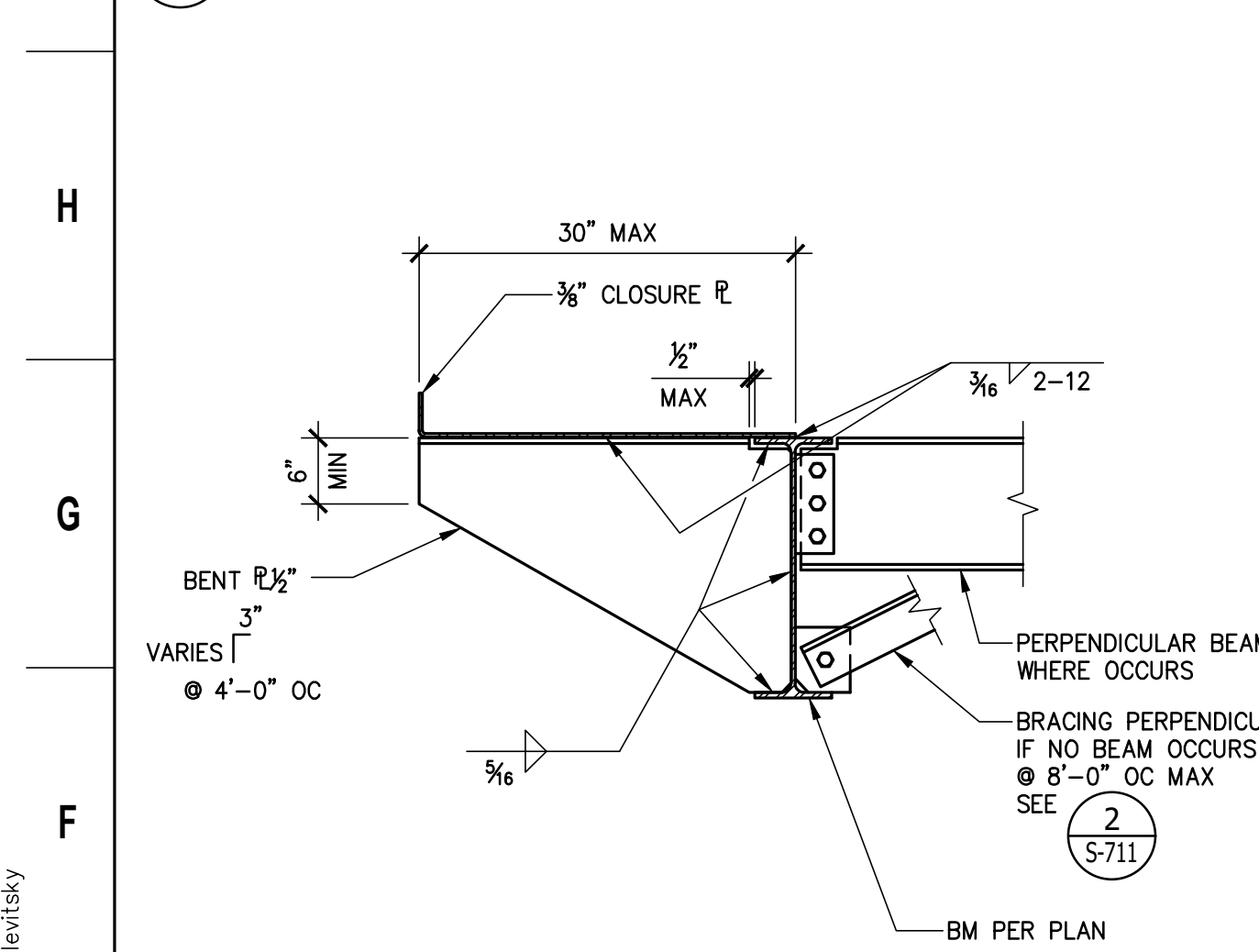
10 SMALL OPENING IN STEEL DECK Scale: NTS



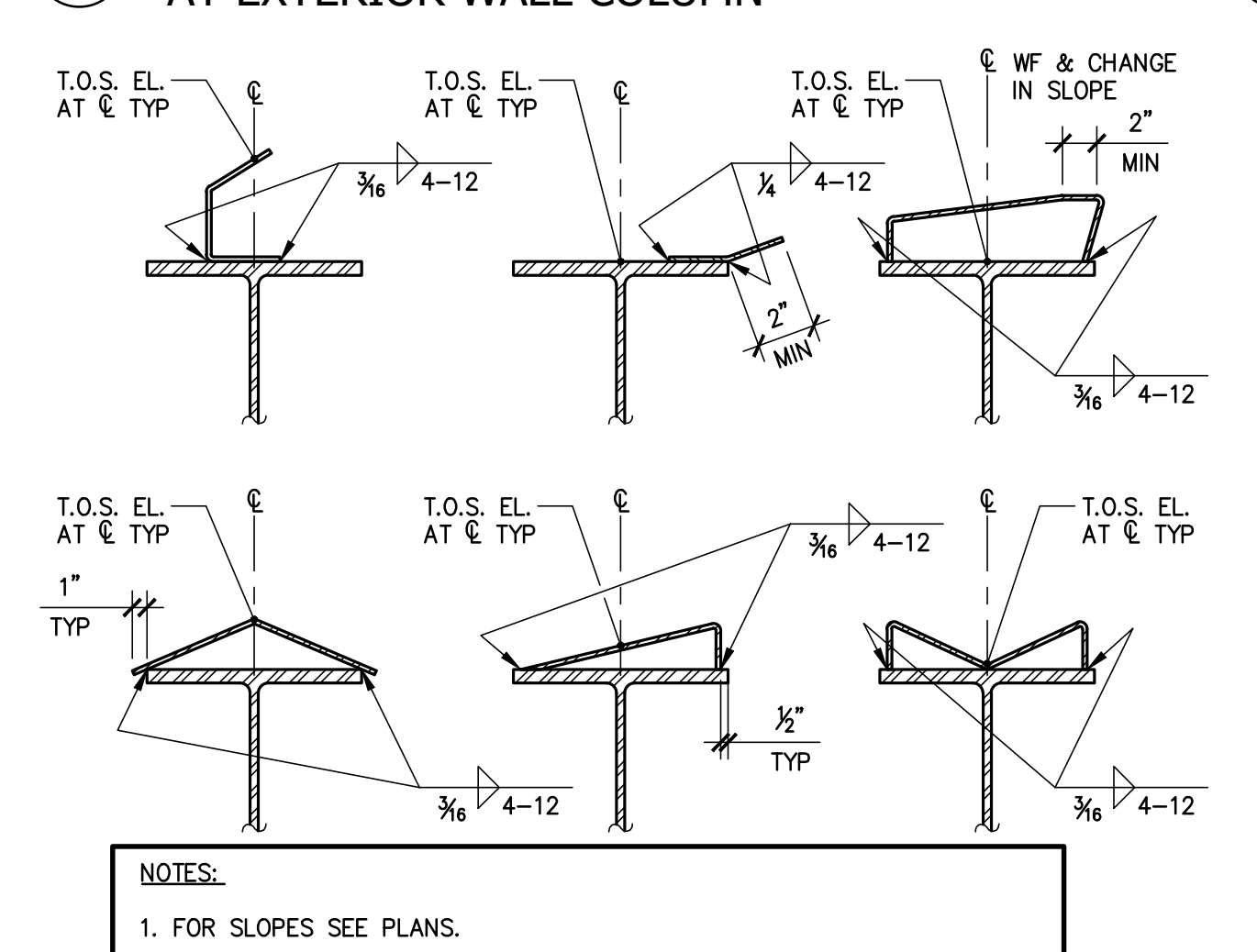
6 TYPICAL DECK WELDING DETAILS Scale: NTS



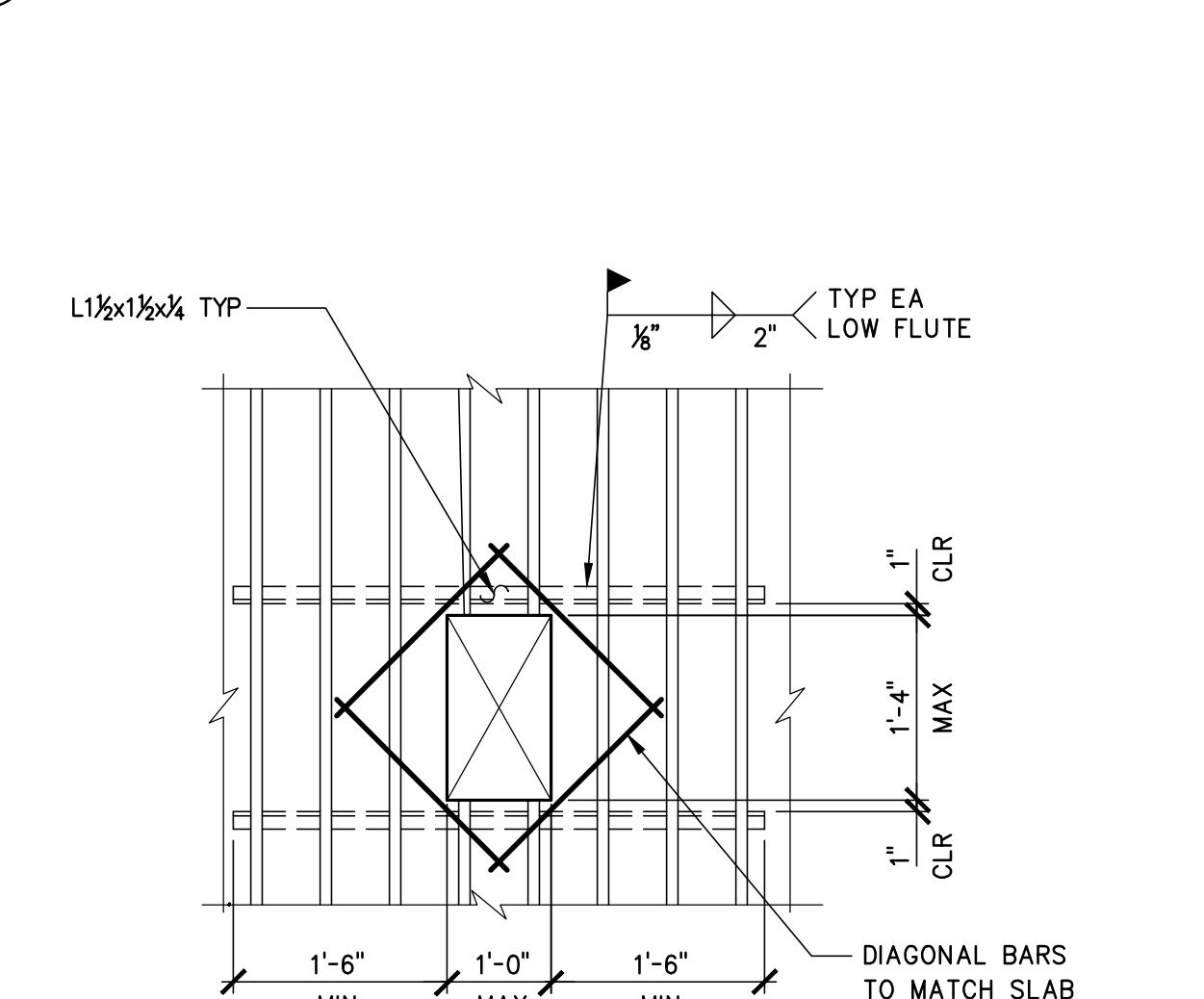
2 SHEAR STUD SPACING DIAGRAM Scale: NTS



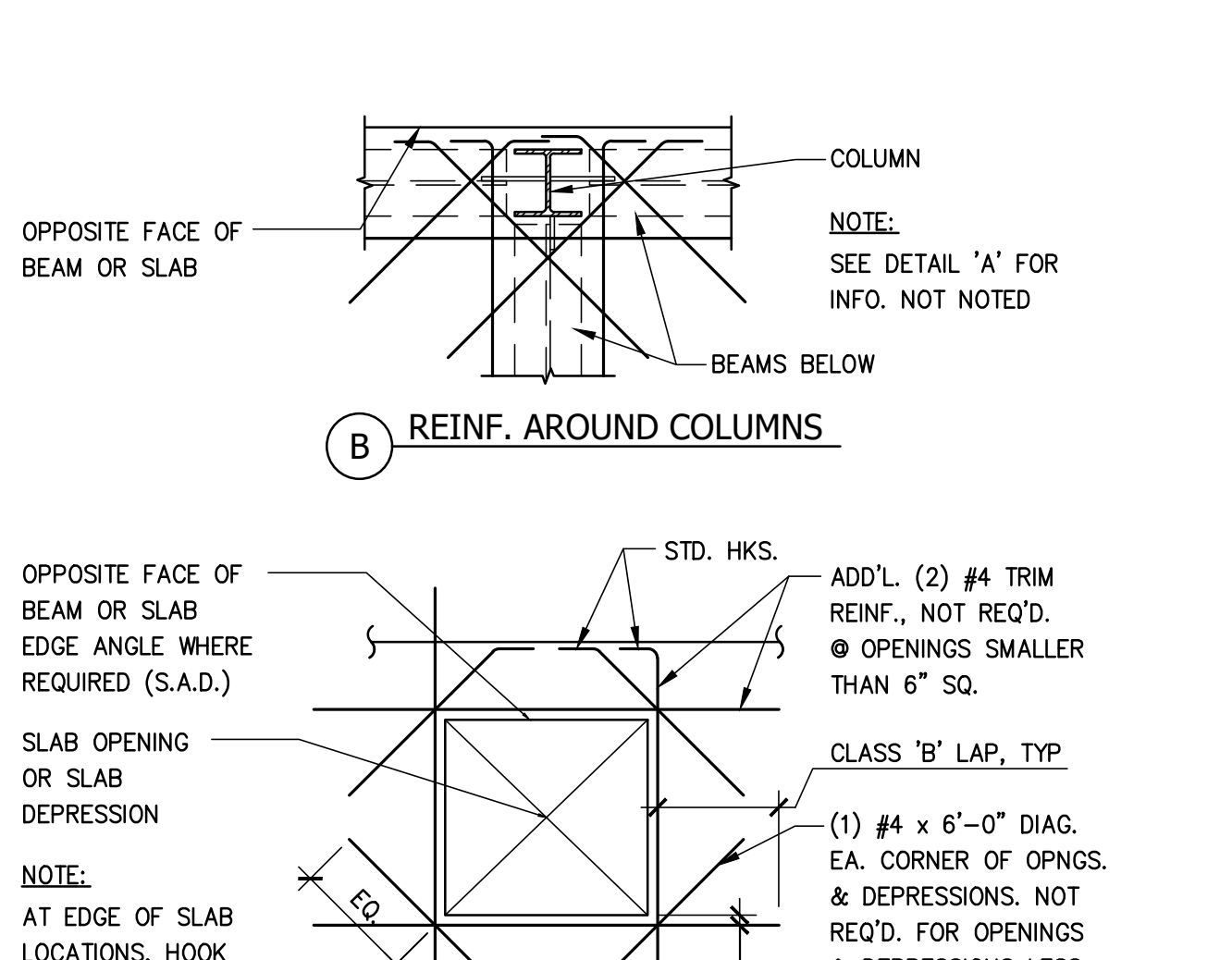
19 DECK SUPPORT FOR 18" < OVERHANG <= 30" Scale: 3/4"=1'-0"



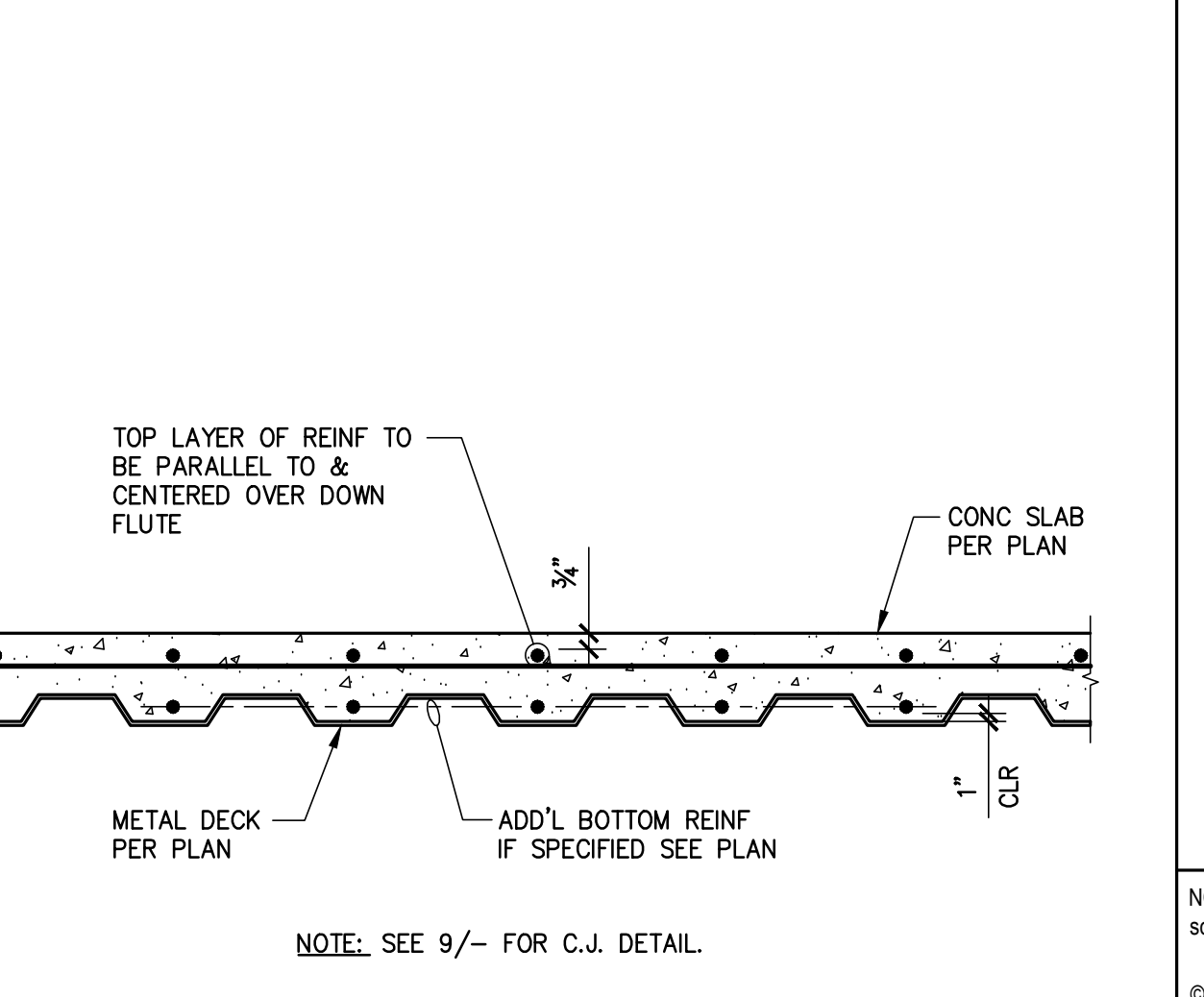
15 TYPICAL TOP FLANGE BENT PLATES TO RECEIVE SLOPING DECKING Scale: NTS



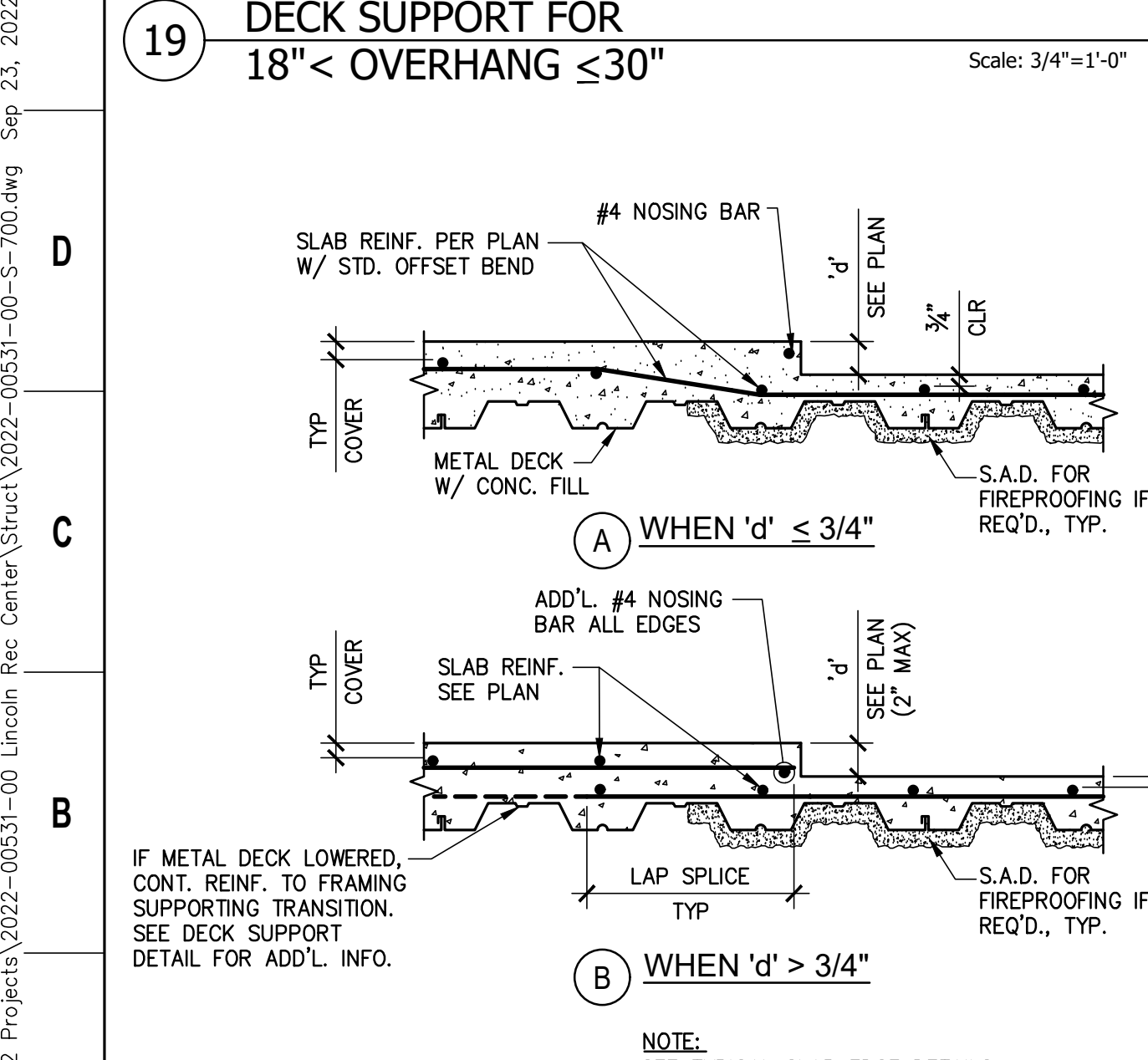
11 MEDIUM OPENING IN STEEL DECK Scale: NTS



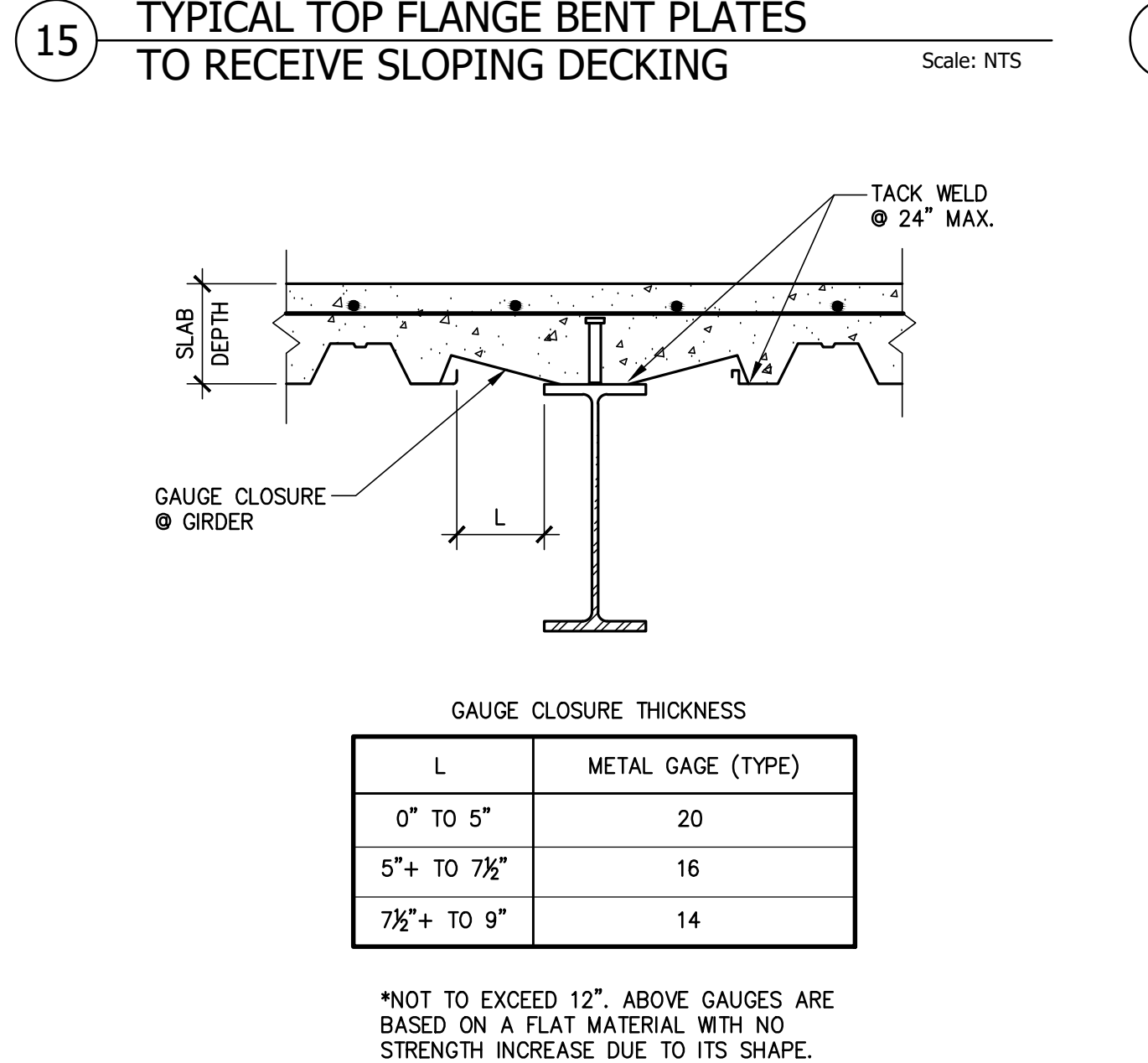
7 REINF. AT MTL. DECK SLAB OPENINGS AND DEPRESSIONS Scale: NTS



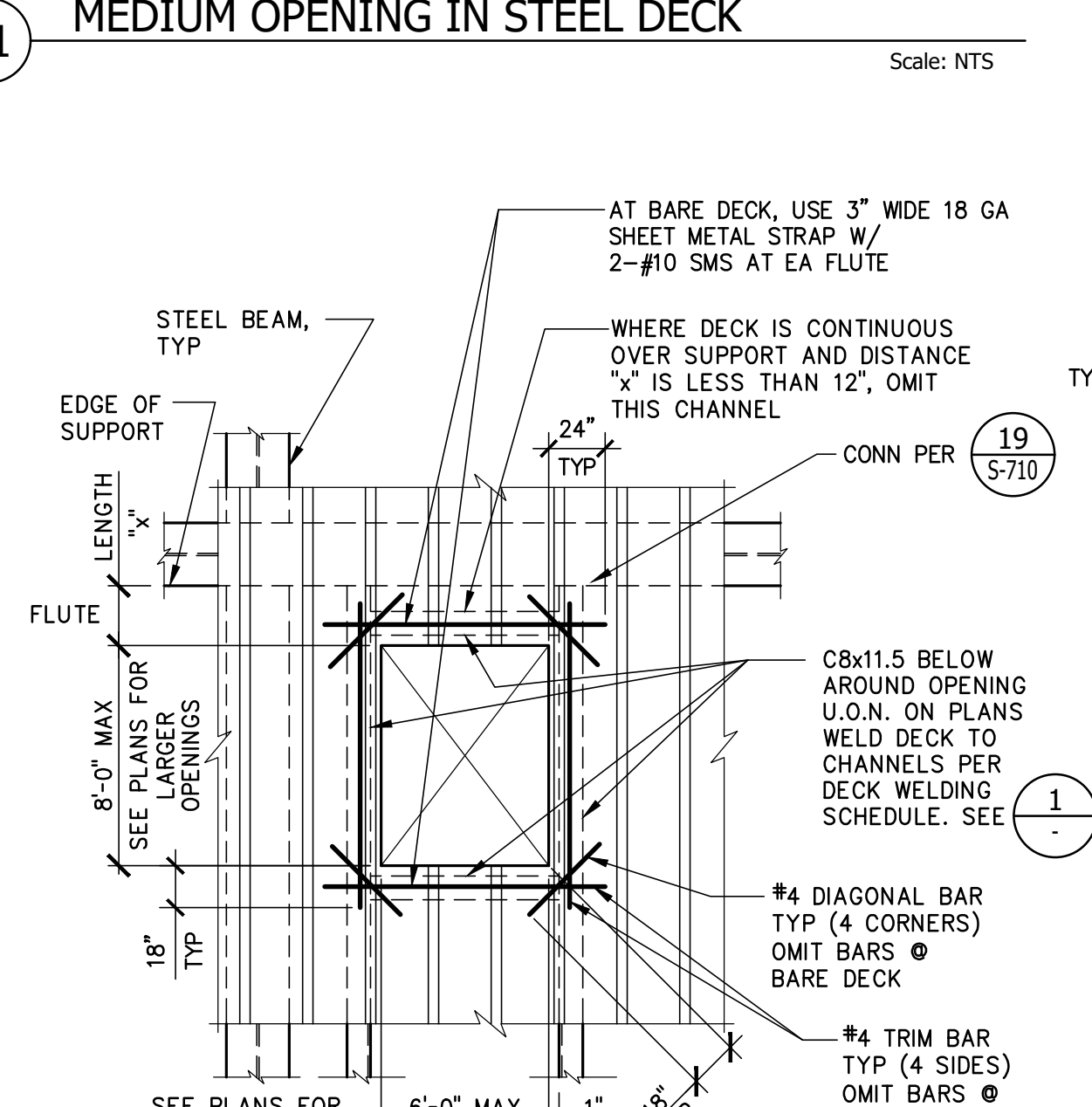
3 CONCRETE FILL ON METAL DECK REINFORCING Scale: NTS



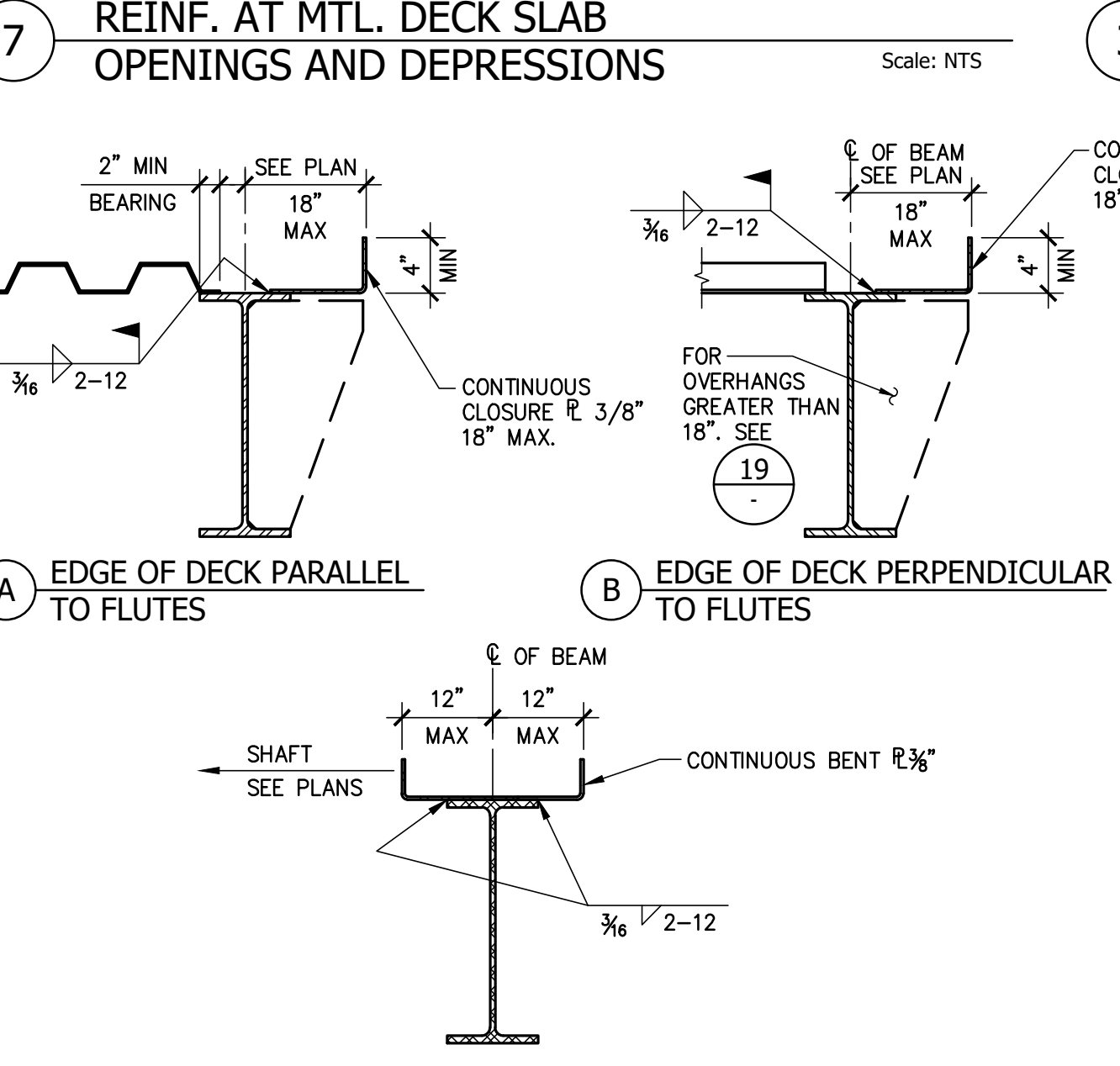
20 METAL DECK DEPRESSIONS Scale: NTS



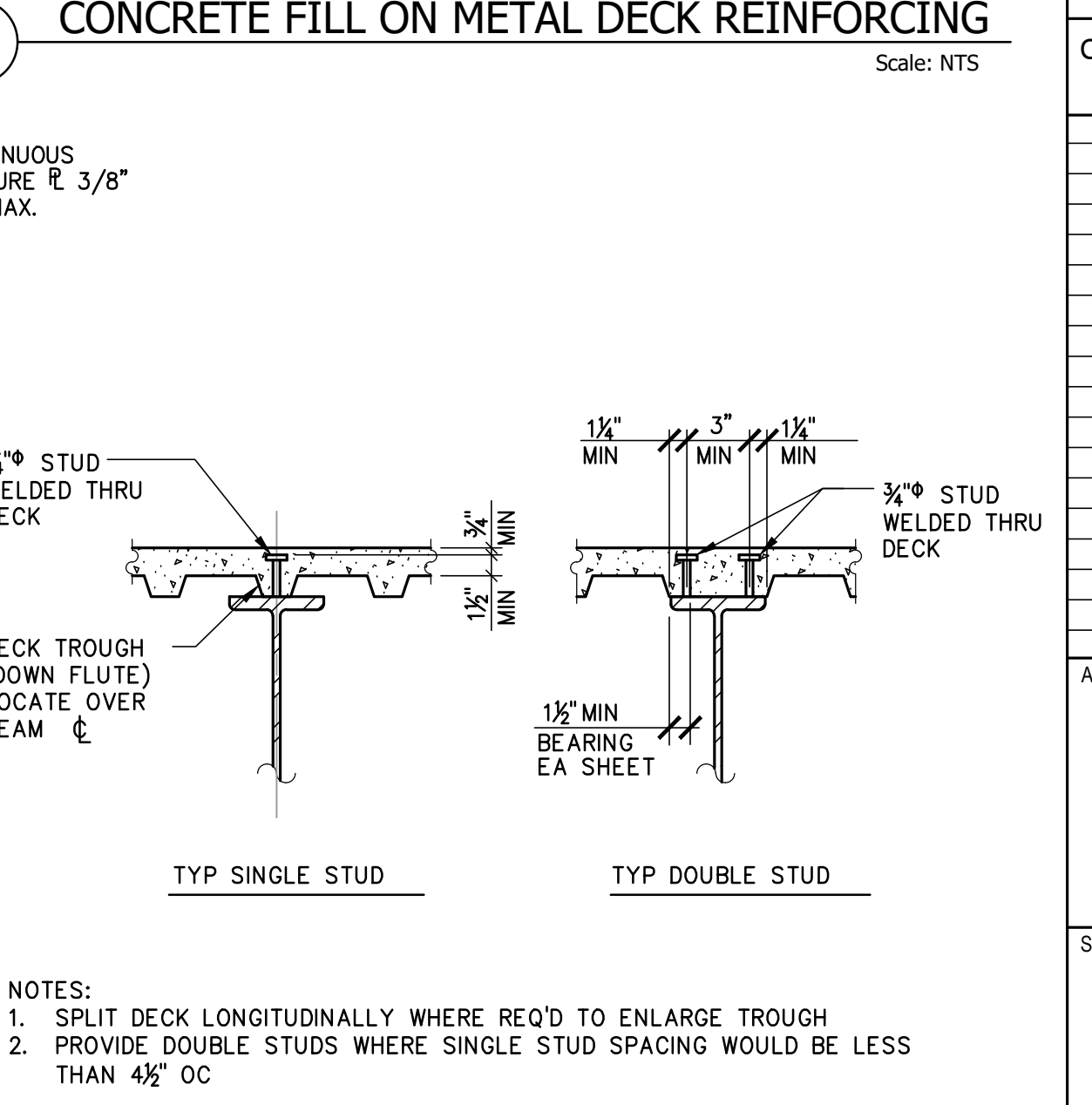
16 GAUGE CLOSURE AT GIRDER Scale: NTS



12 LARGE OPENING IN STEEL DECK Scale: NTS



8 TYPICAL BARE STEEL DECK EDGE Scale: NTS



4 SHEAR STUD DETAIL Scale: NTS

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Sheet Name

**TYPICAL DECK DETAILS**

Sheet No.

**S-700**

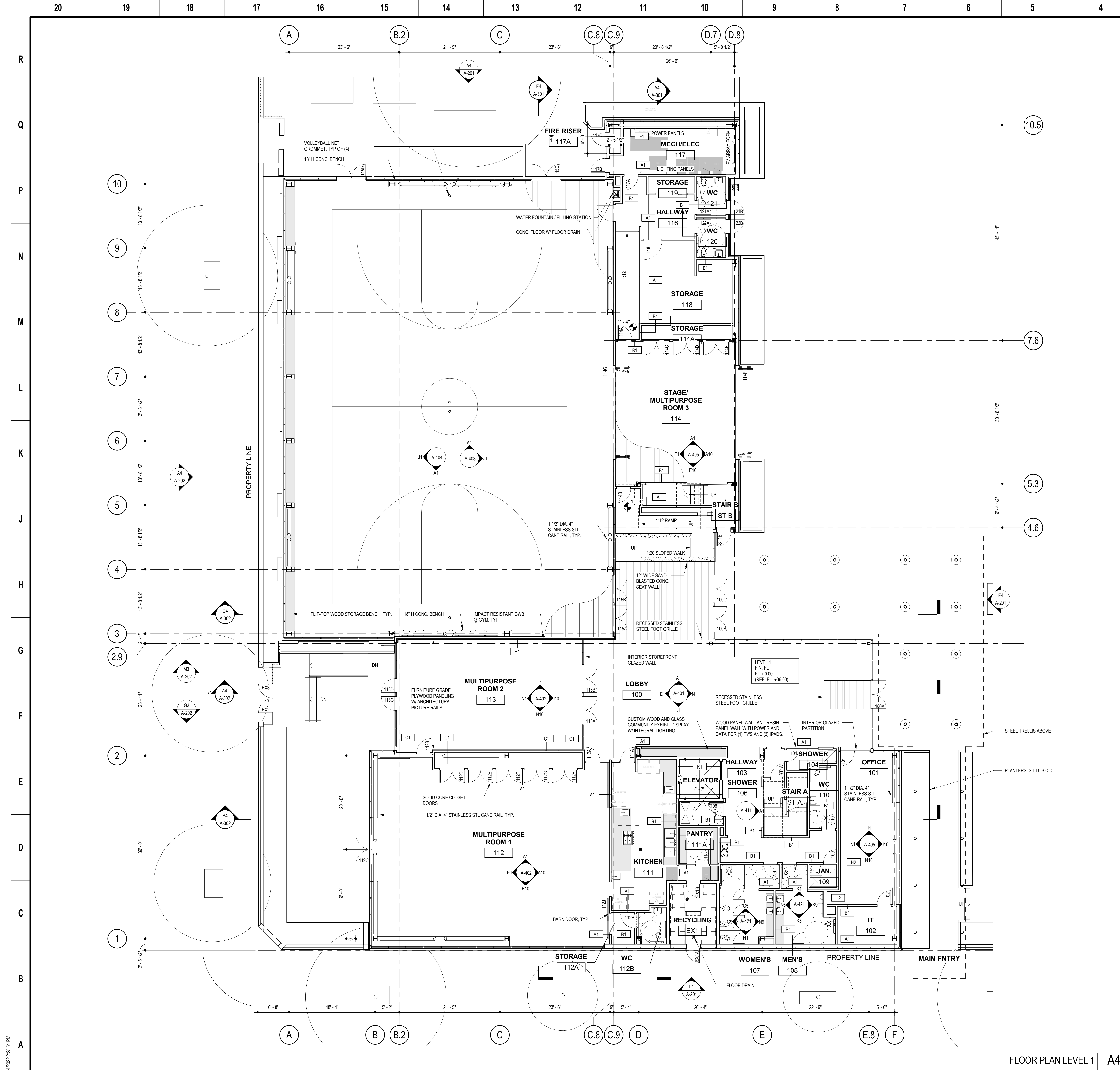
SKA Project Number: [00000 000]

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**GENERAL NOTES**

- SEE LANDSCAPE AND CIVIL DRAWINGS FOR SITE WORK
- KITCHEN EQUIPMENT IS SHOWN FOR REFERENCE ONLY. SEE FOOD SERVICE DRAWINGS FOR DIMENSIONS, EQUIPMENT AND OTHER DETAILS
- REFER TO SHEET A-400 FOR PARTITION TYPE SCHEDULE
- REFER TO SHEET A-501 FOR SCHEDULE OF INTERIOR FINISHES
- REFER TO SHEET A-602 FOR DOOR SCHEDULE
- ALL STRUCTURE SHOWN EXPOSED TO BE PRIMED AND PAINTED
- LEVEL 2 FLOOR TO HAVE TOPPING SLAB OVER ACUSTIC UNDERLAY
- SEE A-123 ROOF PLAN FOR ALL ROOF MOUNTED EQUIPMENT AND FIXTURES FOR EXTENT AND LOCATION OF PHOTOVOLTAIC PANELS. SEE ELECTRICAL ROOF PLAN

**KEY LEGEND**

- POLISHED CONCRETE, U.O.N.
- WOOD FLOOR
- METAL WALK-OFF MAT
- TERRAZZO
- MILLWORK
- PEDESTOOL PAVERS
- PLANTING AREA

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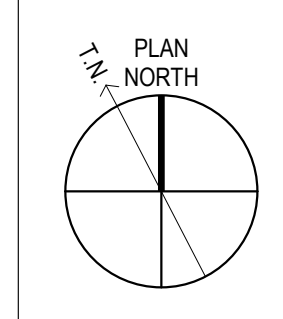
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Sheet Name  
**FLOOR PLAN LEVEL 1**

Sheet No.  
**A-121**

SKA Project Number: 21703

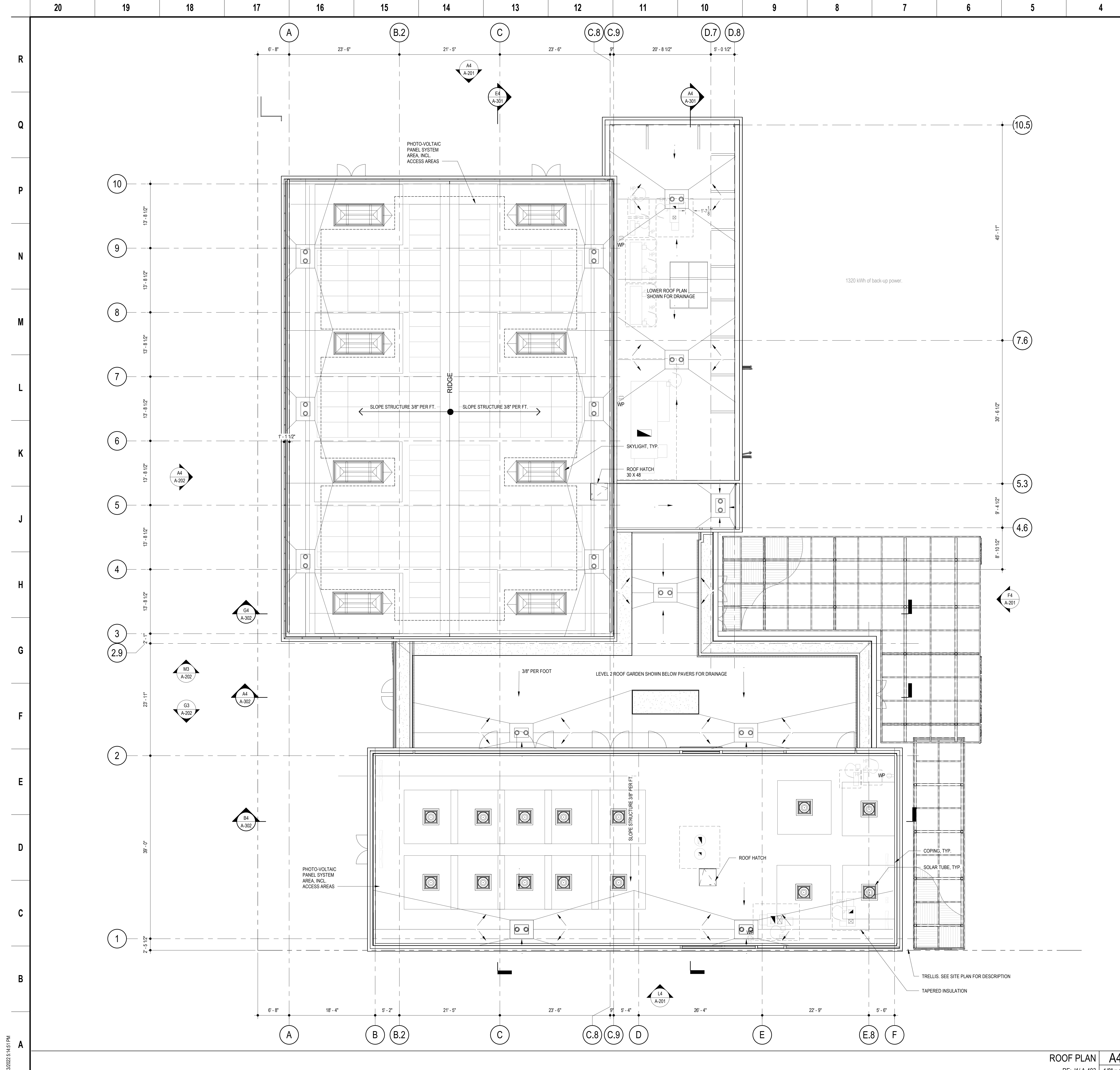
FLOOR PLAN LEVEL 1  
 RE: A4/ A-201 1/8" = 1'-0"



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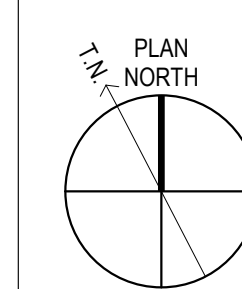


**GENERAL NOTES**

1. SEE MECHANICAL ROOF PLAN FOR TYPES OF EQUIPMENT
2. SOLAR PANEL AREAS ARE SHOWN FOR DESIGN INTENT ONLY
3. FOR ROOF DRAIN COUNTS AND LOCATIONS REFER TO PLUMBING DRAWINGS

**KEY LEGEND**

- (RD) ROOF DRAIN AND (ORD) OVERFLOW ROOF DRAIN
- PHOTOVOLTAIC PANEL SYSTEM AREA, INCL. ACCESS AREAS



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 Sheet Name  
**ROOF PLAN**

Sheet No.  
**A-123**

SKA Project Number: 21703

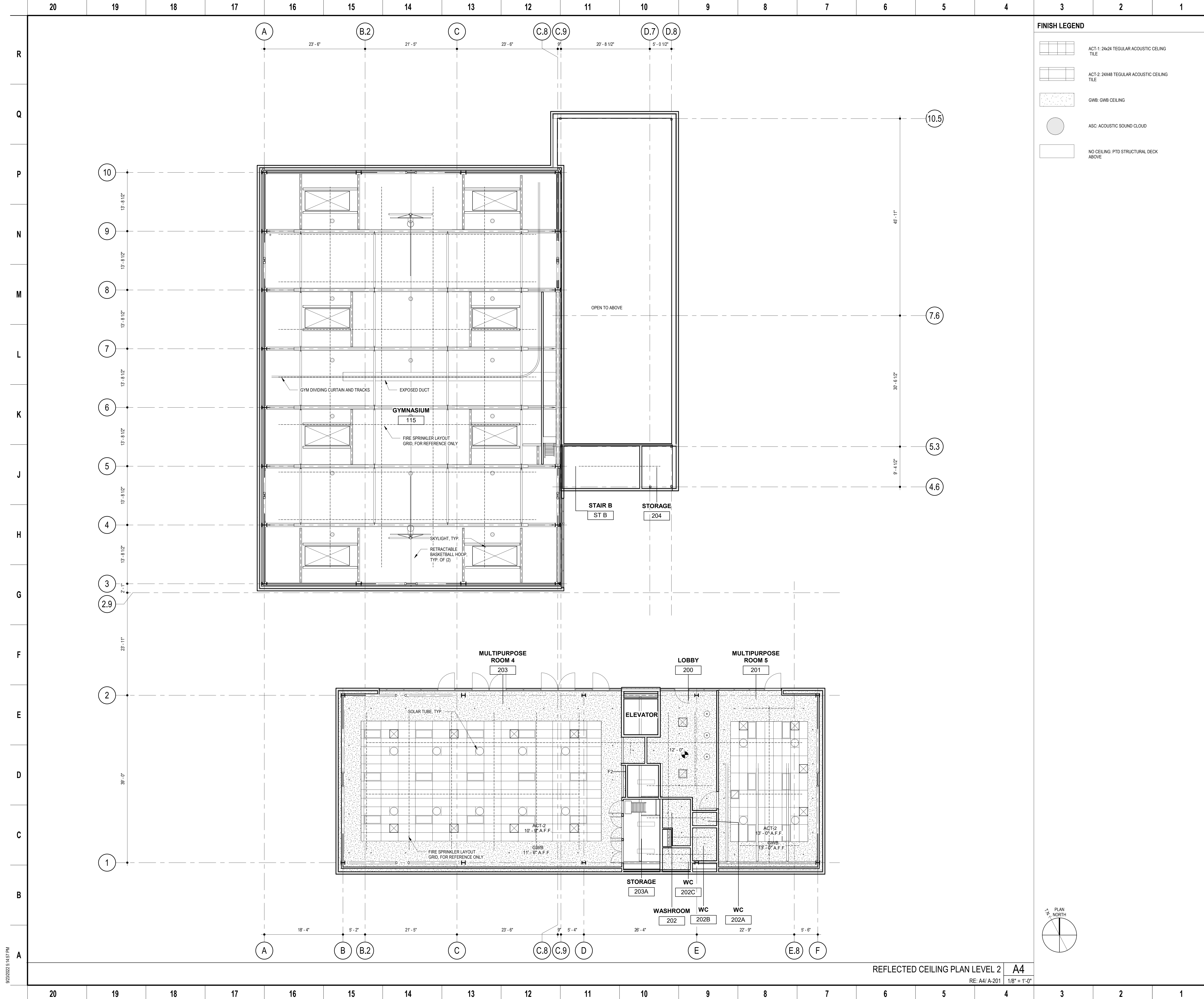
ROOF PLAN | A4  
 RE: J1/ A-403 | 1/8" = 1'-0"

9/23/2022 5:14:51 PM









**FINISH LEGEND**

	ACT-1: 24x24 TEGULAR ACOUSTIC CEILING TILE
	ACT-2: 24x48 TEGULAR ACOUSTIC CEILING TILE
	GWB: GWB CEILING
	ASC: ACOUSTIC SOUND CLOUD
	NO CEILING: PTD STRUCTURAL DECK ABOVE



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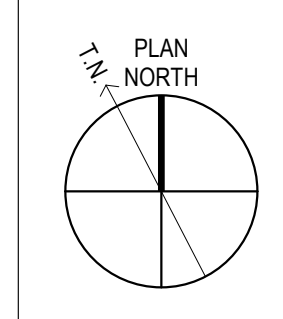
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 Sheet Name  
**REFLECTED CEILING PLAN LEVEL 2**  
 Sheet No.

SKA Project Number: 21703  
**A-132**



REFLECTED CEILING PLAN LEVEL 2  
 RE: A4/ A-201  
 1/8" = 1'-0"

**A4**

9/20/2022 5:14:57 PM



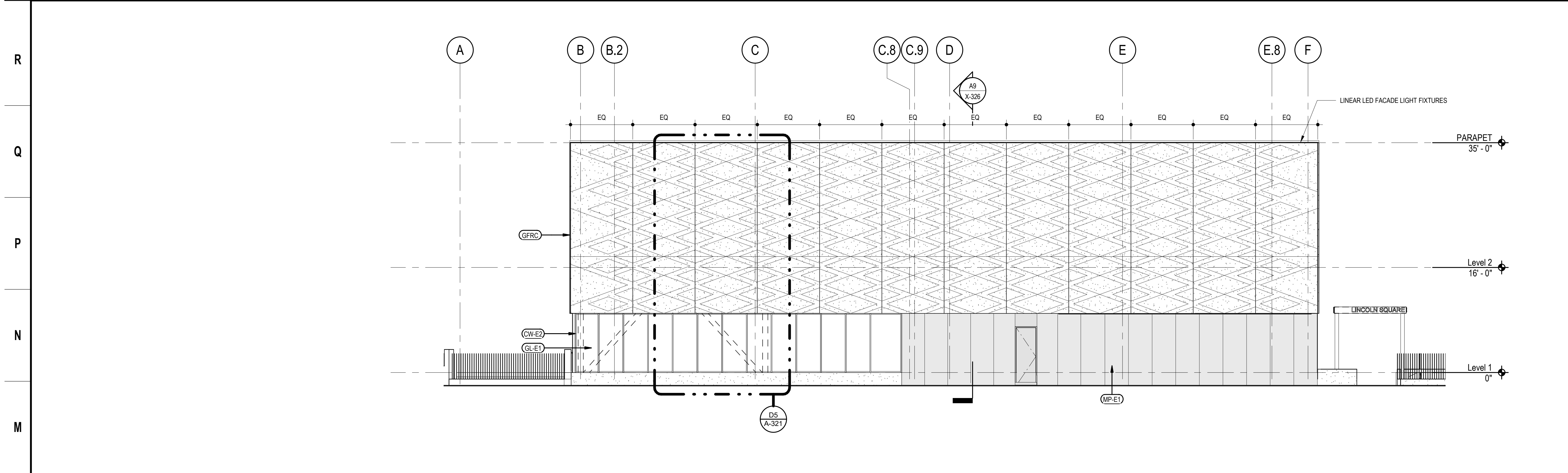








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**GENERAL NOTES**

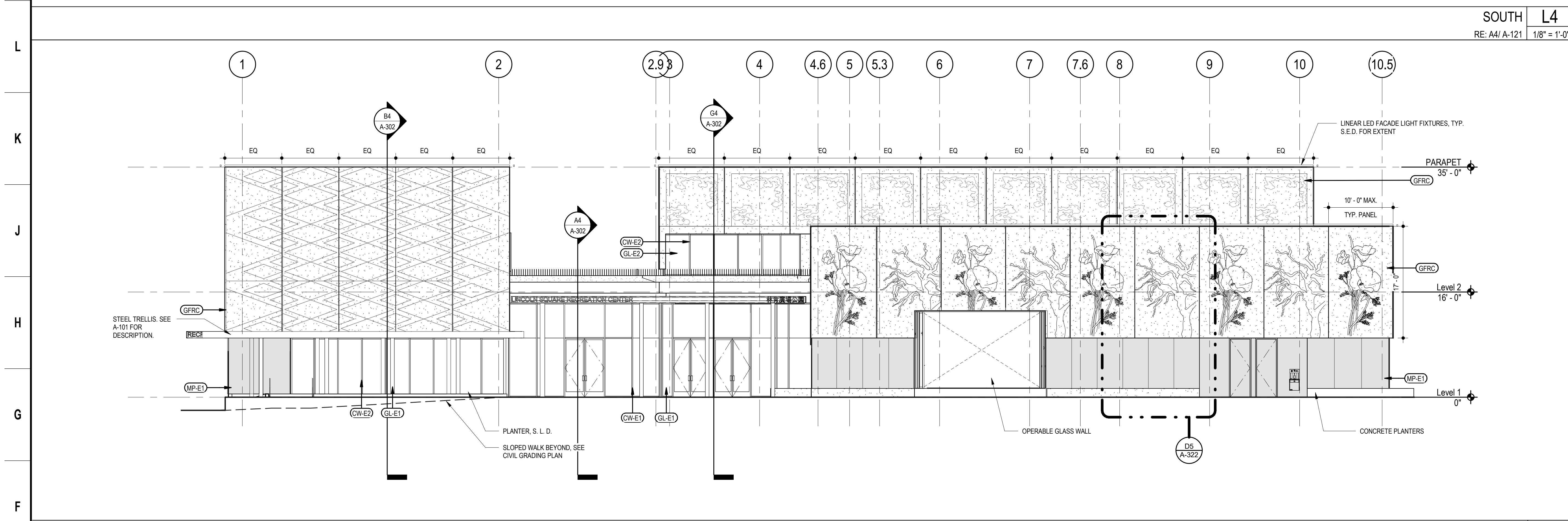
- ELEVATION DRAWINGS SHOW GENERAL DESIGN INTENT ONLY. CONTACT B.O.D. PRODUCT REPRESENTATIVES LISTED IN ARCHITECTURAL NARRATIVE FOR DETAILED PRICING INFORMATION.
- ALL INSULATED GLAZING UNITS TO BE TEMPERED, U.O.N., PER THE REQUIREMENTS OF 2022 CBC, CH. 24, SECTION 2406 SAFETY GLAZING.
- INSULATED GLAZING UNITS SPECIFIED TO BE LAMINATED SHALL HAVE LAMINATED PANE ON THE INTERIOR SIDE.



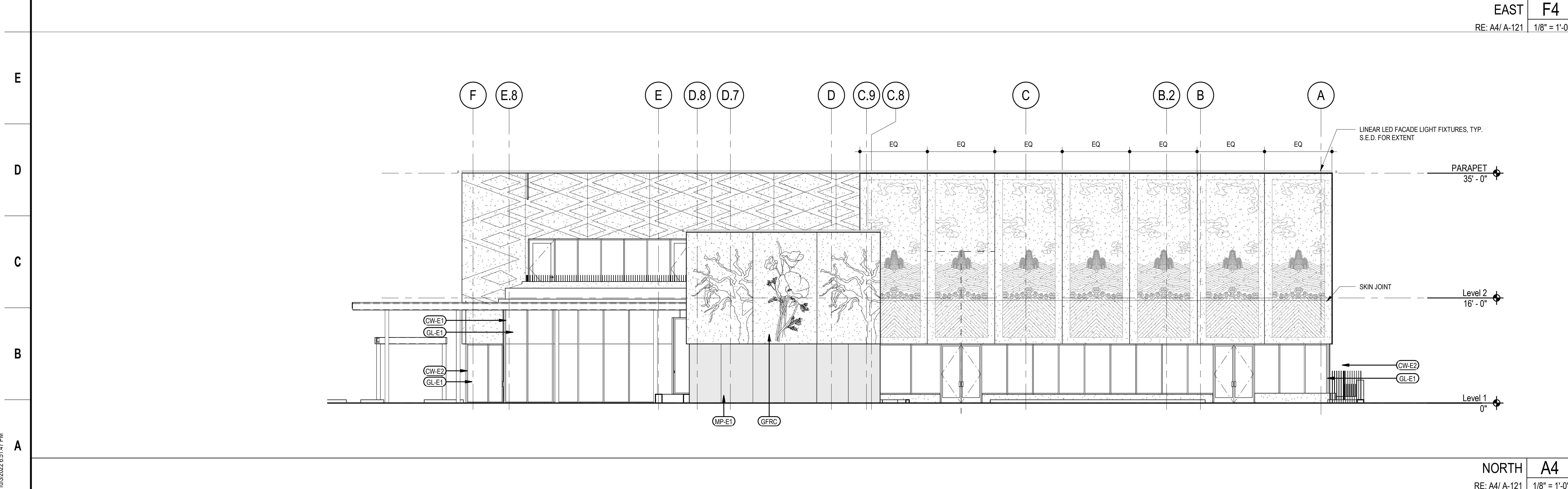
PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square Recreation Center**  
250 10th Street, Oakland, CA 94607

- KEY LEGEND**
- GFRC SOLID INFINITE FACADE PANEL WITH (3) TYPES OF LINERS 2/ R-20 SPRAY INSULATION, TWO LINES OF SEALANT
  - MP-E1 PRE FINISHED ALUMINUM PLATE
  - MP-E2 FLUTED METAL SIDING
  - GL-E1 INSULATED GLASS UNIT, LOW-E ON #2 LITE, LAMINATED
  - GL-E2 INSULATED GLASS UNIT, LOW-E ON #2 LITE
  - CW-E1 ALUMINUM FRAME & GLASS CURTAINWALL SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 1600-UT
  - CW-E2 ALUMINUM FRAME & GLASS STOREFRONT SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 451T
  - ANTI-GRAFFITI COATING, CLEAR

**SOUTH L4**  
RE: A4/ A-121 1/8" = 1'-0"



**EAST F4**  
RE: A4/ A-121 1/8" = 1'-0"



**NORTH A4**  
RE: A4/ A-121 1/8" = 1'-0"

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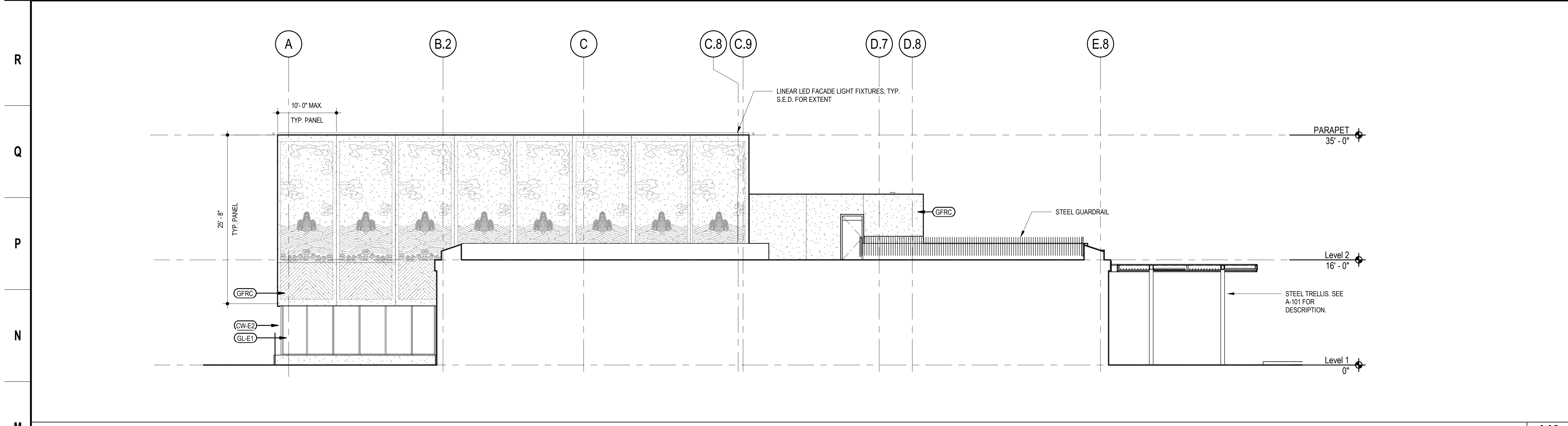
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**EXTERIOR ELEVATIONS**

Sheet No.  
**A-201**  
SKA Project Number: 21703

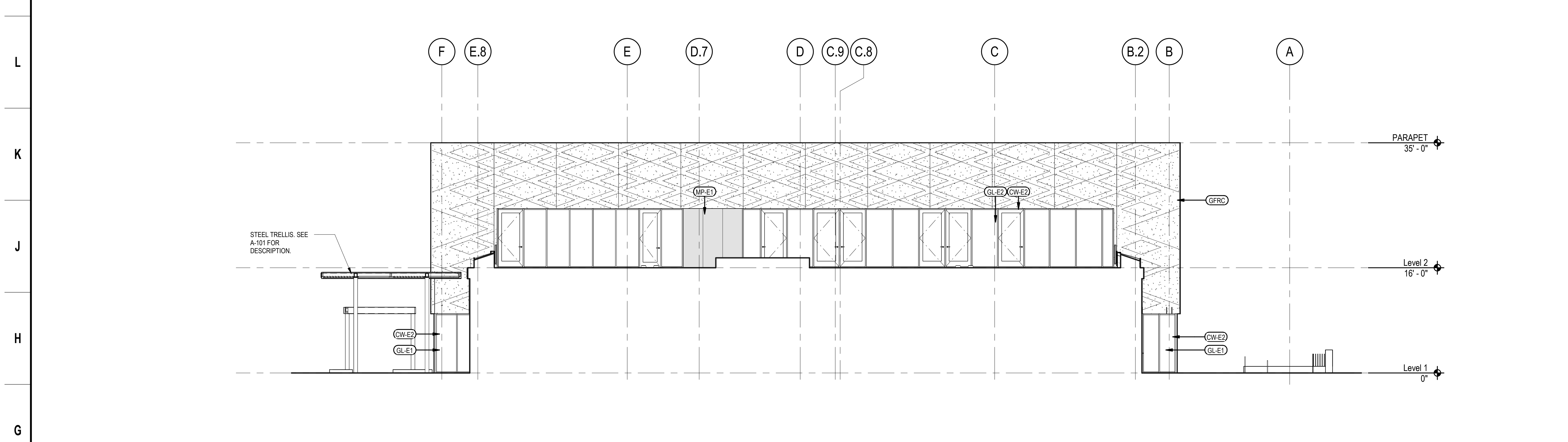
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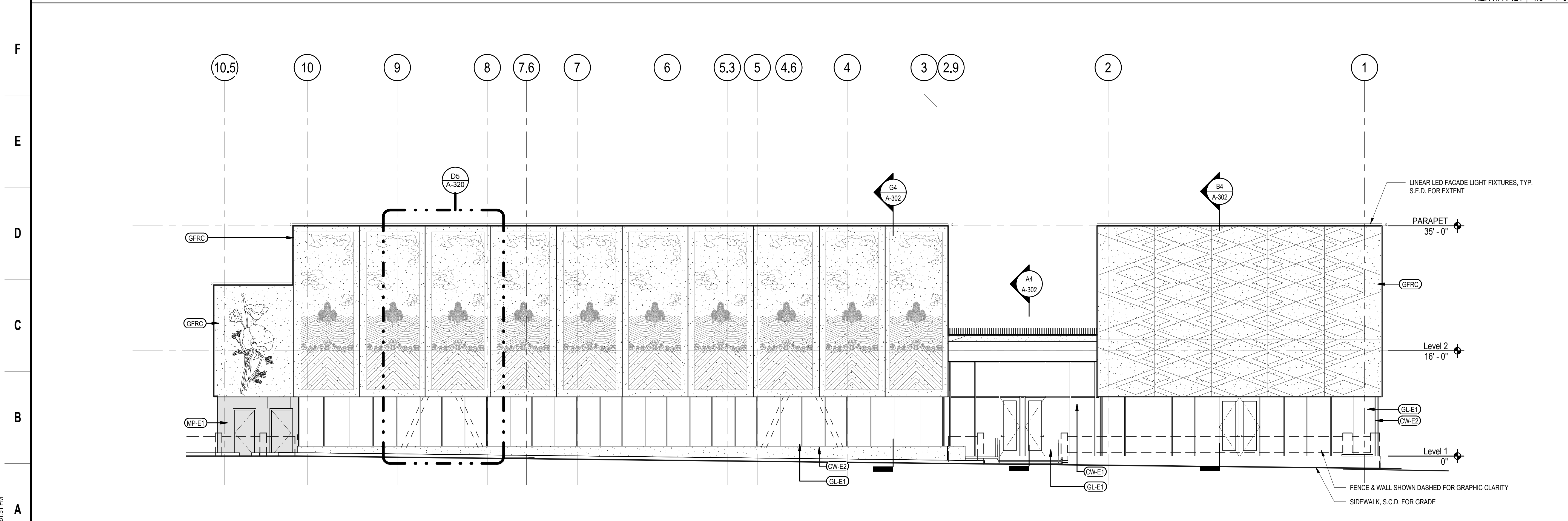




**SOUTH-GYM VOLUME M3**  
RE: A4/ A-121 1/8" = 1'-0"



**NORTH-MPR VOLUME G3**  
RE: A4/ A-121 1/8" = 1'-0"



**WEST ELEVATION - HARRISON ST. A4**  
RE: A4/ A-121 1/8" = 1'-0"

**GENERAL NOTES**

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- INSULATED GLAZING UNITS SPECIFIED TO BE LAMINATED SHALL HAVE LAMINATED PANE ON THE INTERIOR SIDE.

**KEY LEGEND**

- GFRC: SOLID INFINITE FACADE PANEL WITH (3) TYPES OF LINERS 2/ R-20 SPRAY INSULATION, TWO LINES OF SEALANT
- MP-E1: PRE FINISHED ALUMINUM PLATE
- MP-E2: FLUTED METAL SIDING
- GL-E1: INSULATED GLASS UNIT, LOW-E ON #2 LITE, LAMINATED
- GL-E2: INSULATED GLASS UNIT, LOW-E ON #2 LITE
- CW-E1: ALUMINUM FRAME & GLASS CURTAINWALL SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 1600-UT
- CW-E2: ALUMINUM FRAME & GLASS STOREFRONT SYSTEM, THERMALLY BROKEN, B.O.D. KAWNEER 451T
- ANTI-GRAFFITI COATING, CLEAR



PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square Recreation Center**  
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Sheet Name  
**EXTERIOR ELEVATIONS**  
Sheet No.  
**A-202**

SKA Project Number: 21703

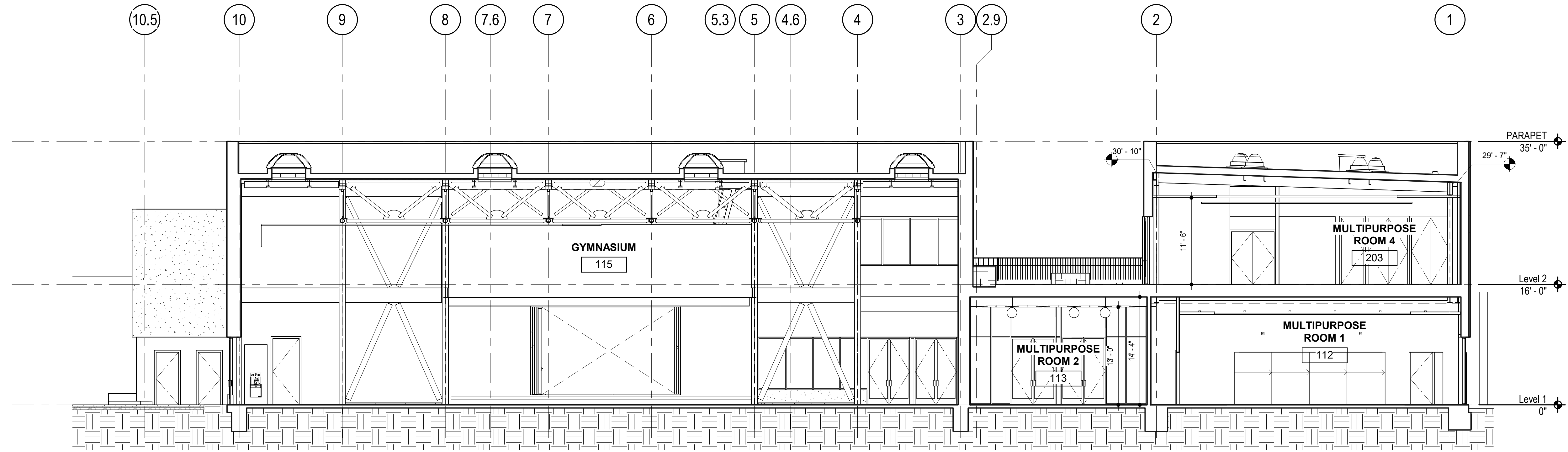


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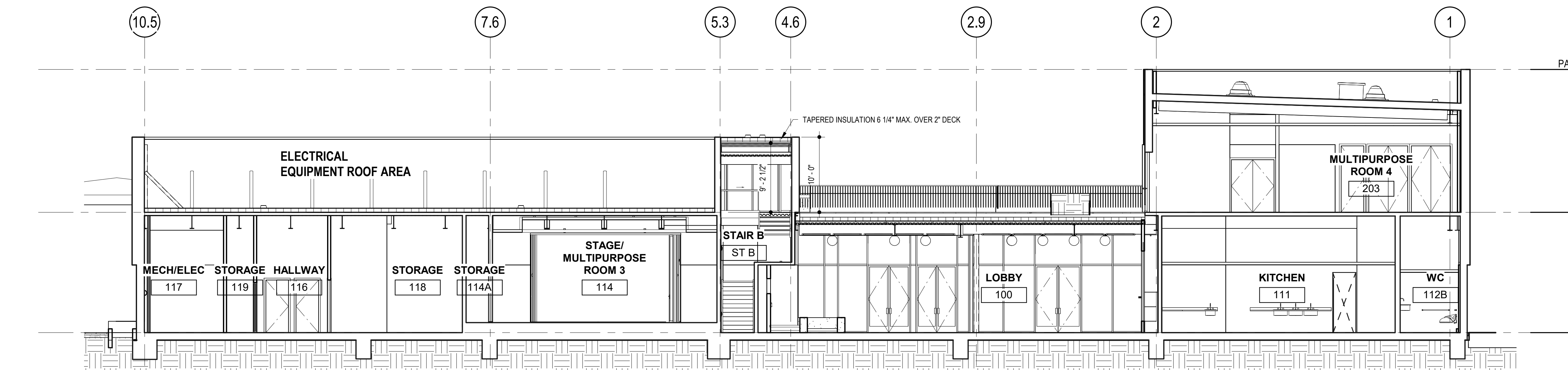
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PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square  
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250 10th Street, Oakland, CA 94607



NS BLDG SECTION THRU GYM & MPR - VIEW EAST  
RE: A4/ A-121 1/8" = 1'-0"



NS BLDG SECTION THRU STAGE AREA - VIEW EAST  
RE: A4/ A-121 1/8" = 1'-0"

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Sheet Name  
**BUILDING SECTIONS**

Sheet No.  
**A-301**

SKA Project Number: 21703

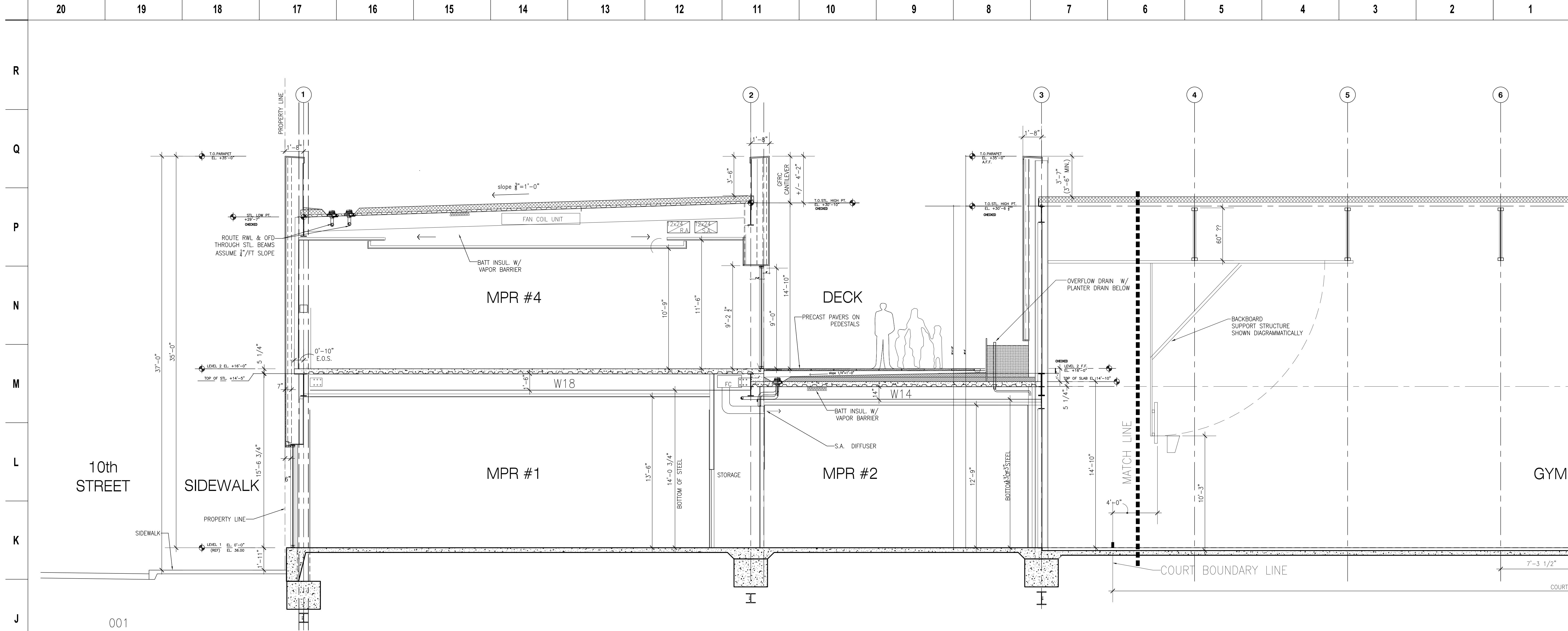
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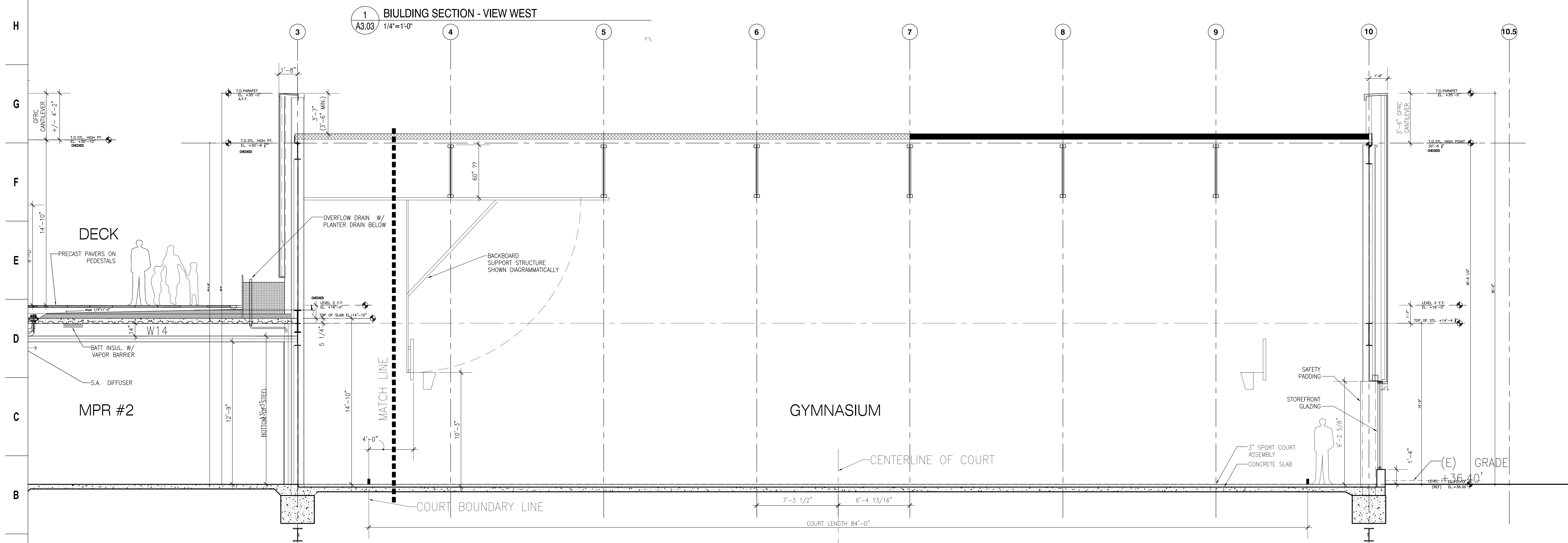








1 BUILDING SECTION - VIEW WEST  
A3.03 1/4"=1'-0"



2 BUILDING SECTION - VIEW WEST  
A3.03 1/4"=1'-0"

PLANS FOR THE CONSTRUCTION OF  
**Project Name**  
**Project Address**

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Sheet Name  
**BLDG SECTIONS**

Sheet No.  
**A-303**

SKA Project Number: [00000.000]  
**NOT FOR CONSTRUCTION**

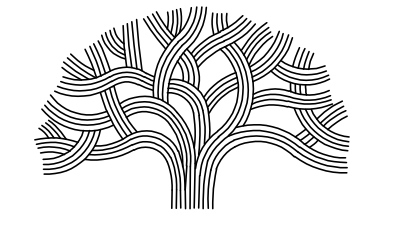






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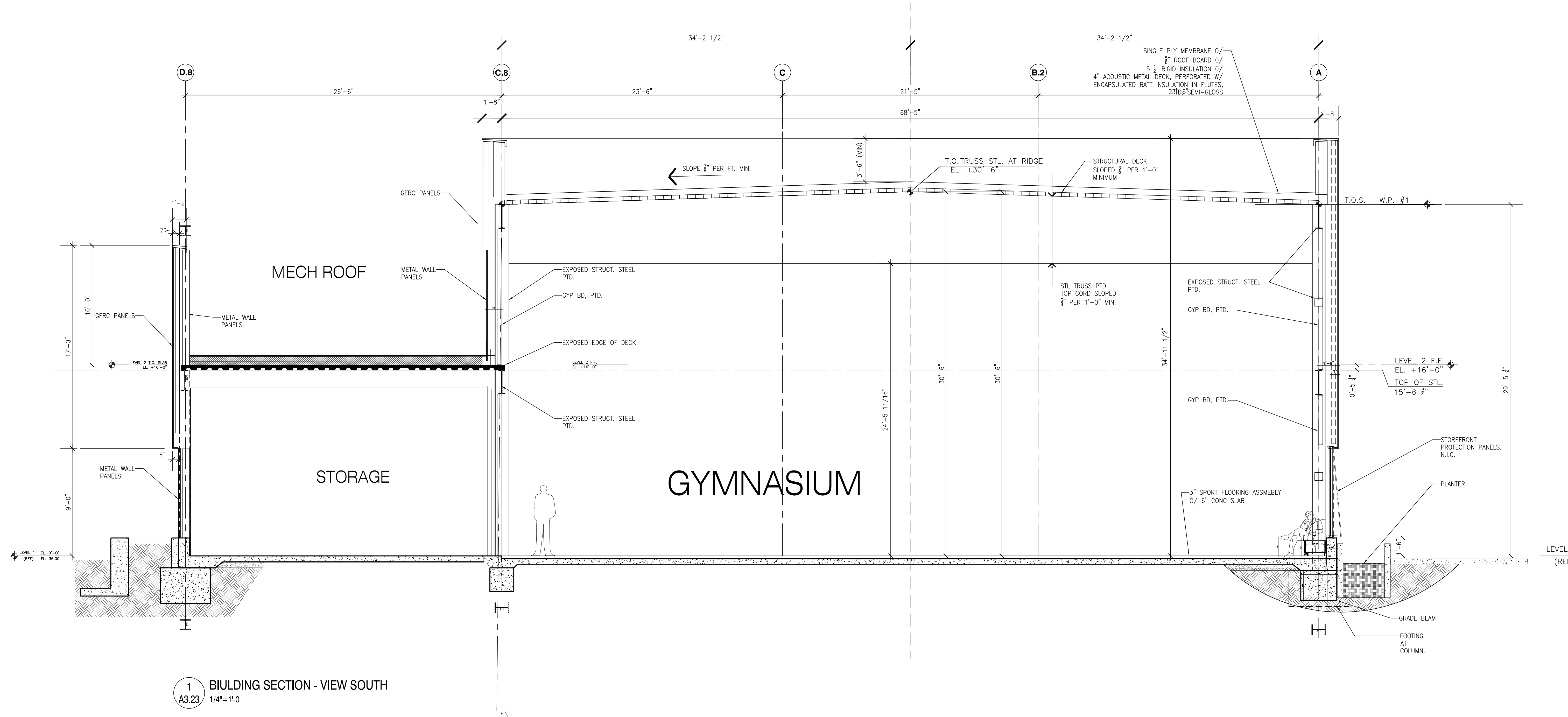
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PLANS FOR THE CONSTRUCTION OF  
**Project Name**  
**Project Address**

35'-0" - 3'-7" = 31'-5"  
31'-5" - 10 3/4" (deck, insul, roof bd. + membr+1/2")  
= 30'-6 3/4" WRK PT. #2



1 BUILDING SECTION - VIEW SOUTH  
A3.23 1/4"=1'-0"

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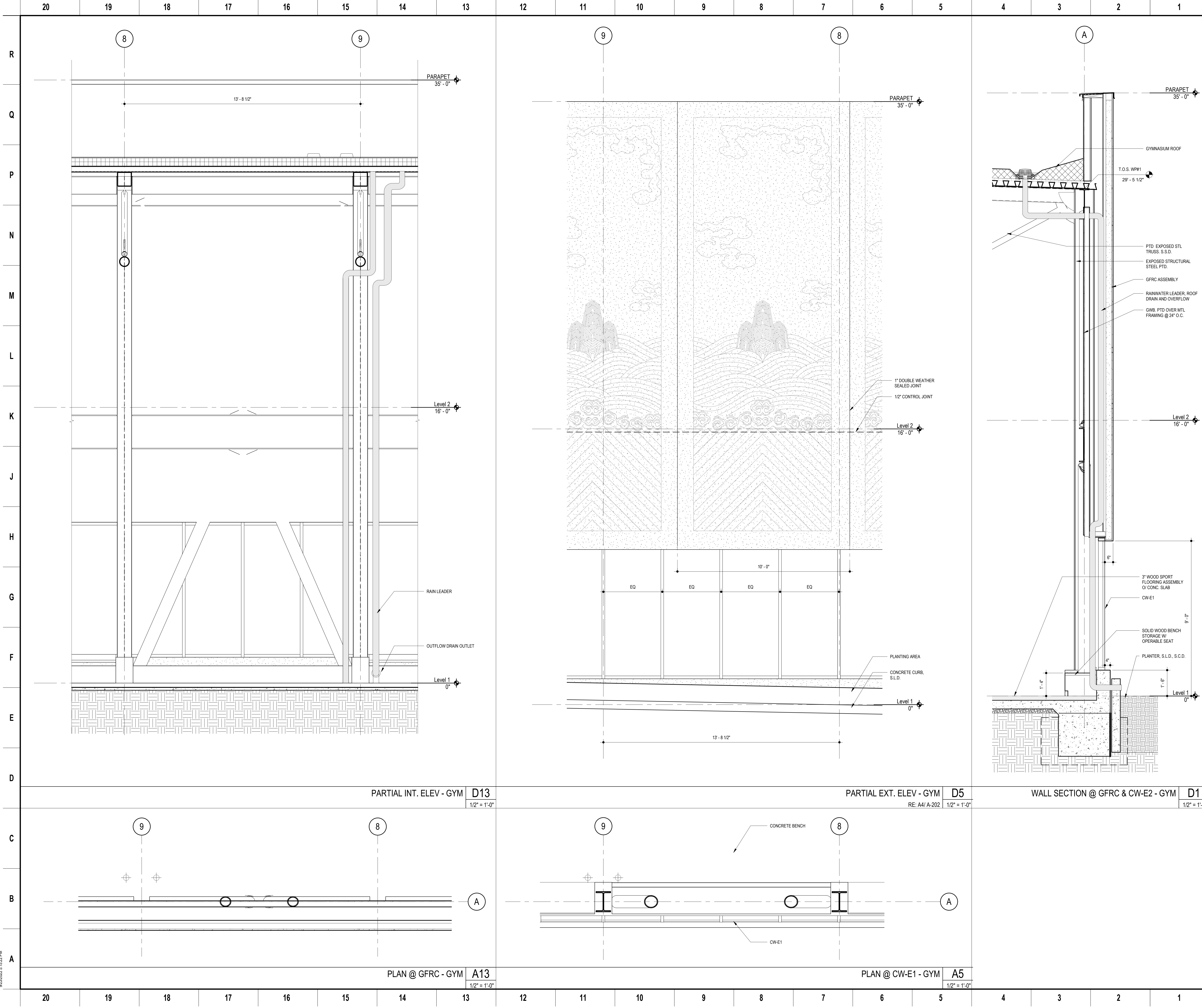
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**SHEET NAME**  
Sheet No.  
**A-305**

SKA Project Number: [00000.000]  
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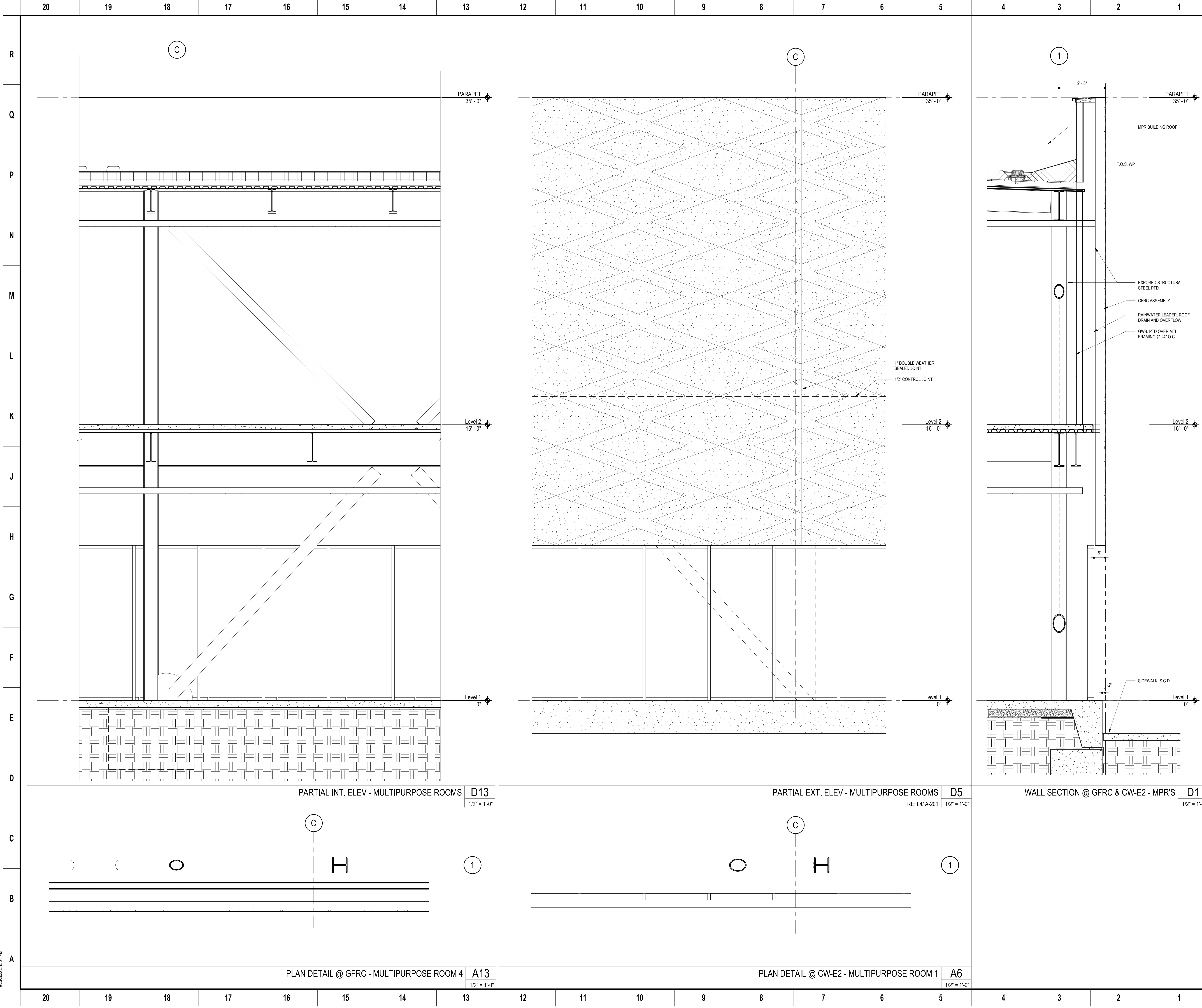
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Architect	Consultants
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Stamp	Sheet Name
	<b>ENVELOPE SYSTEM GFRP &amp; CW-E2 - GYMNASIUM</b>
	Sheet No.
	<b>A-320</b>

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Stamp  
 SHEET NAME  
**ENVELOPE SYSTEM  
 GFRc & CW-E2 - MPR'S**  
 SHEET NO.

SKA Project Number: 21703  
**A-321**

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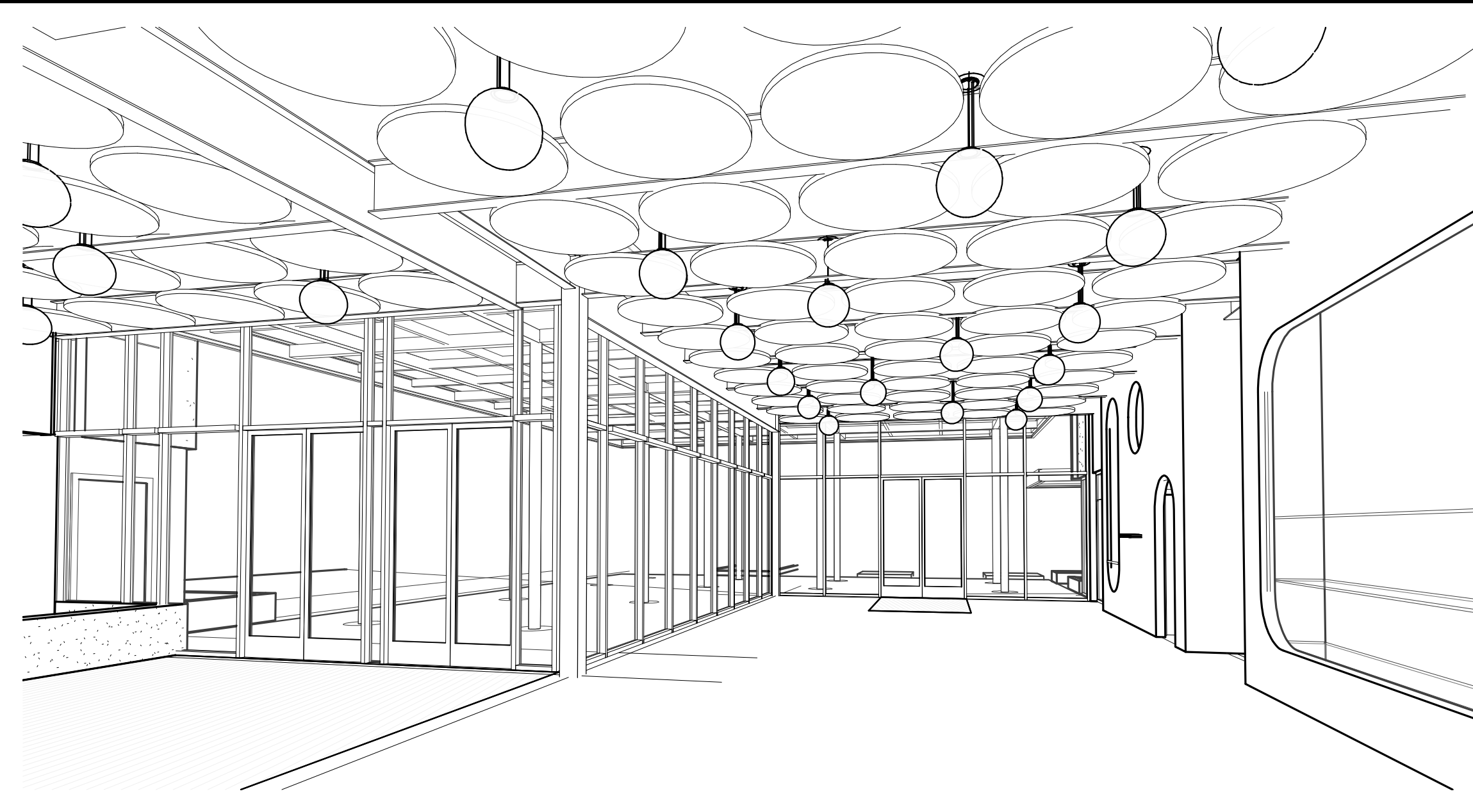




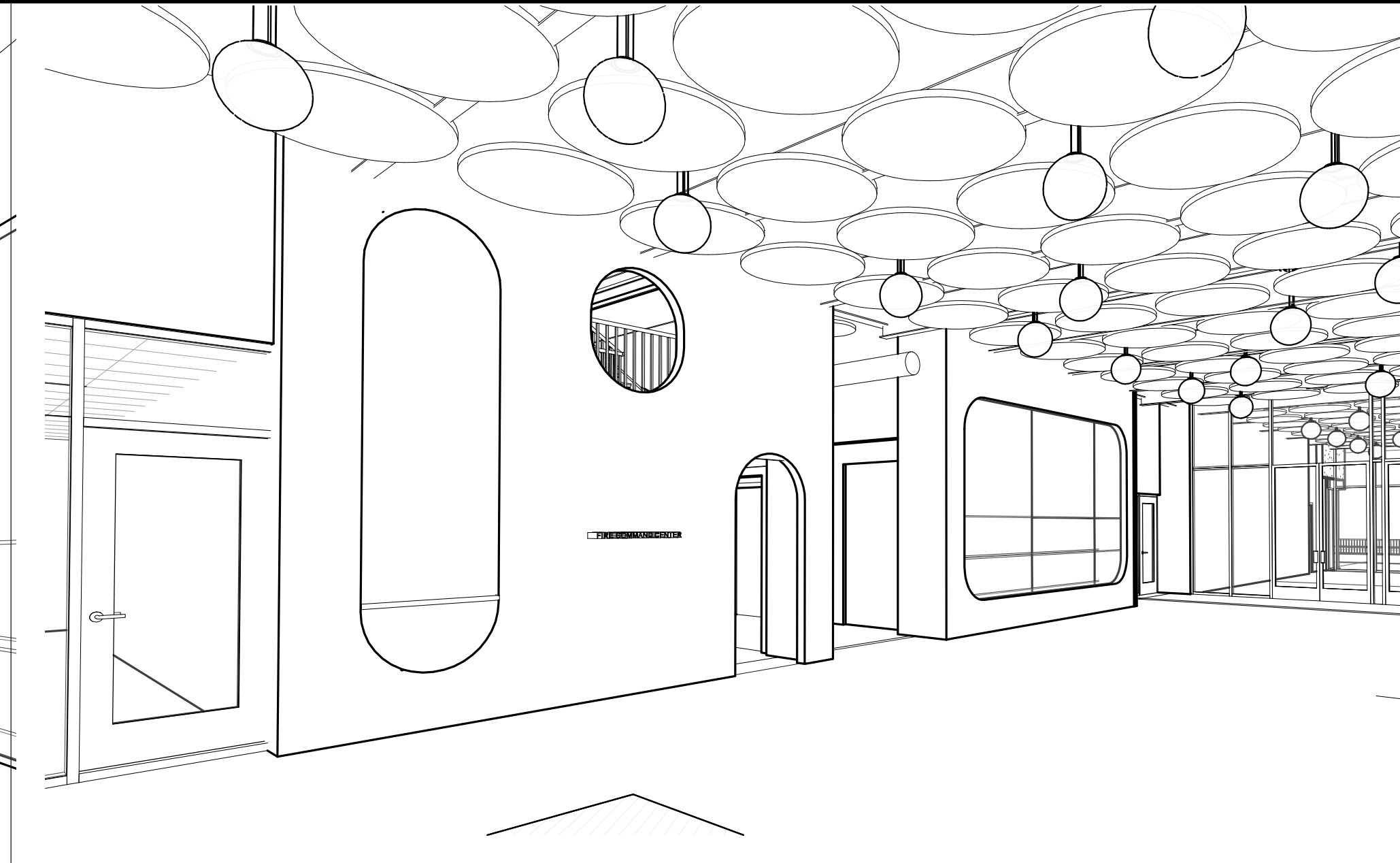


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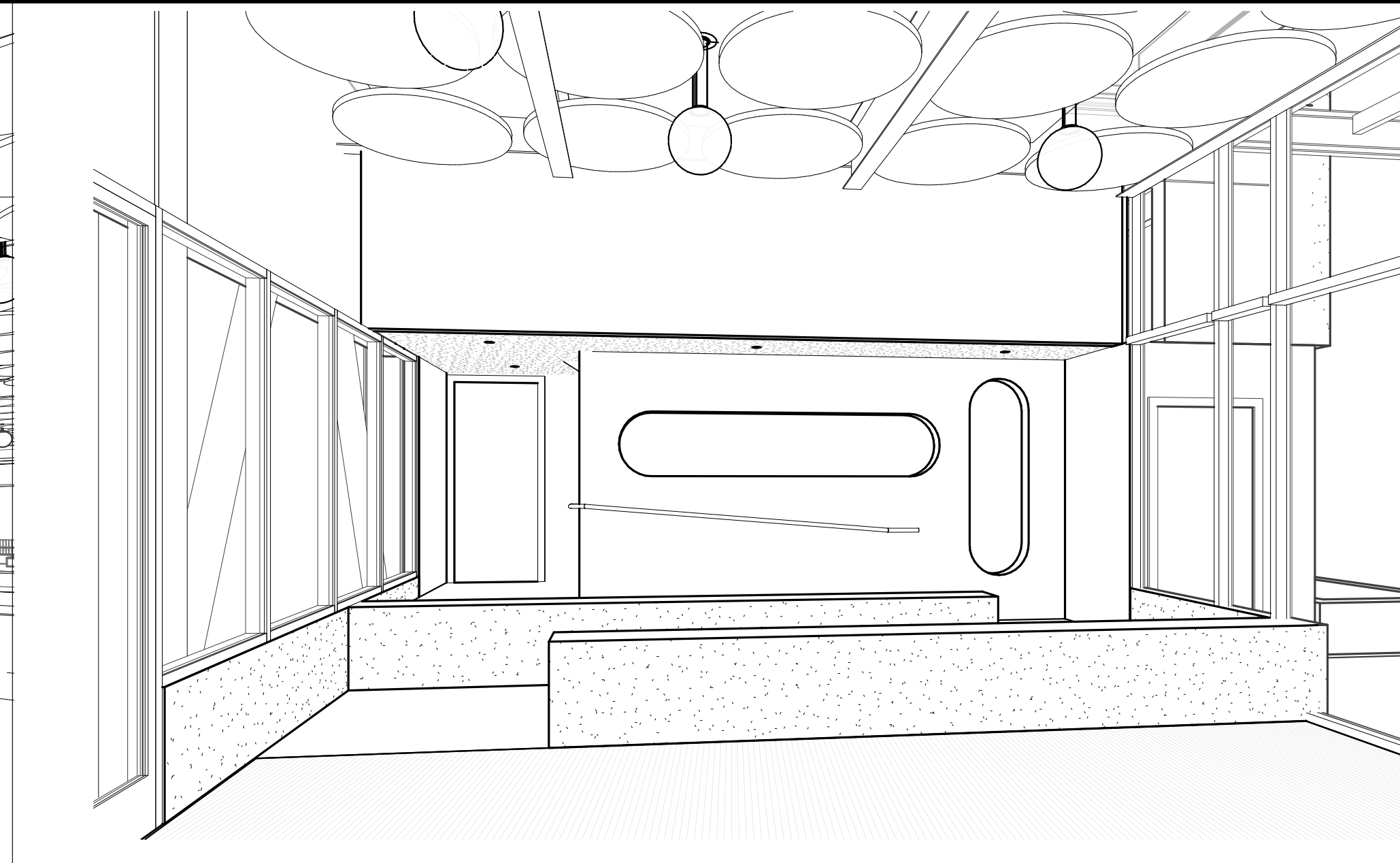
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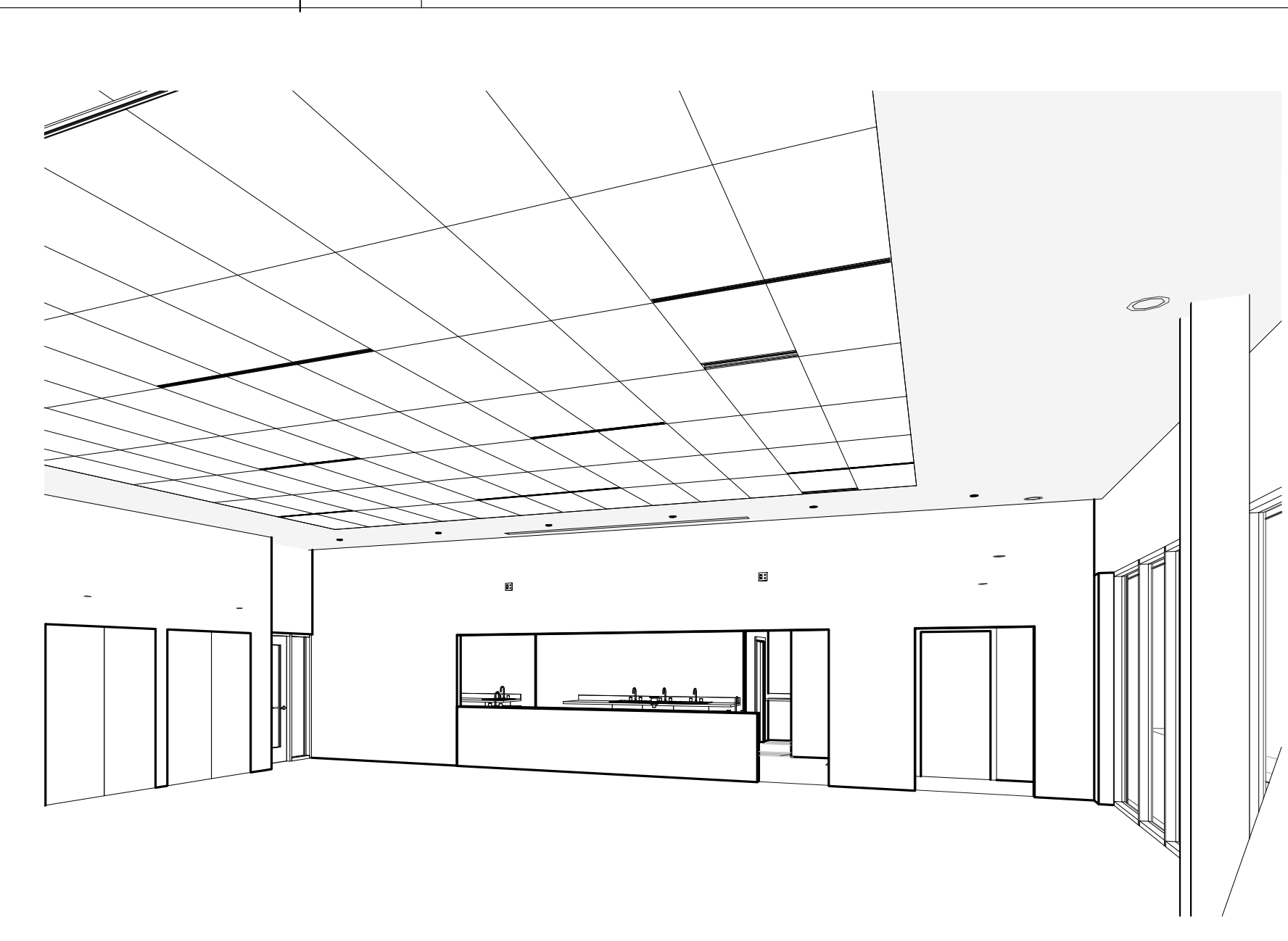
LOBBY ENTRY N14



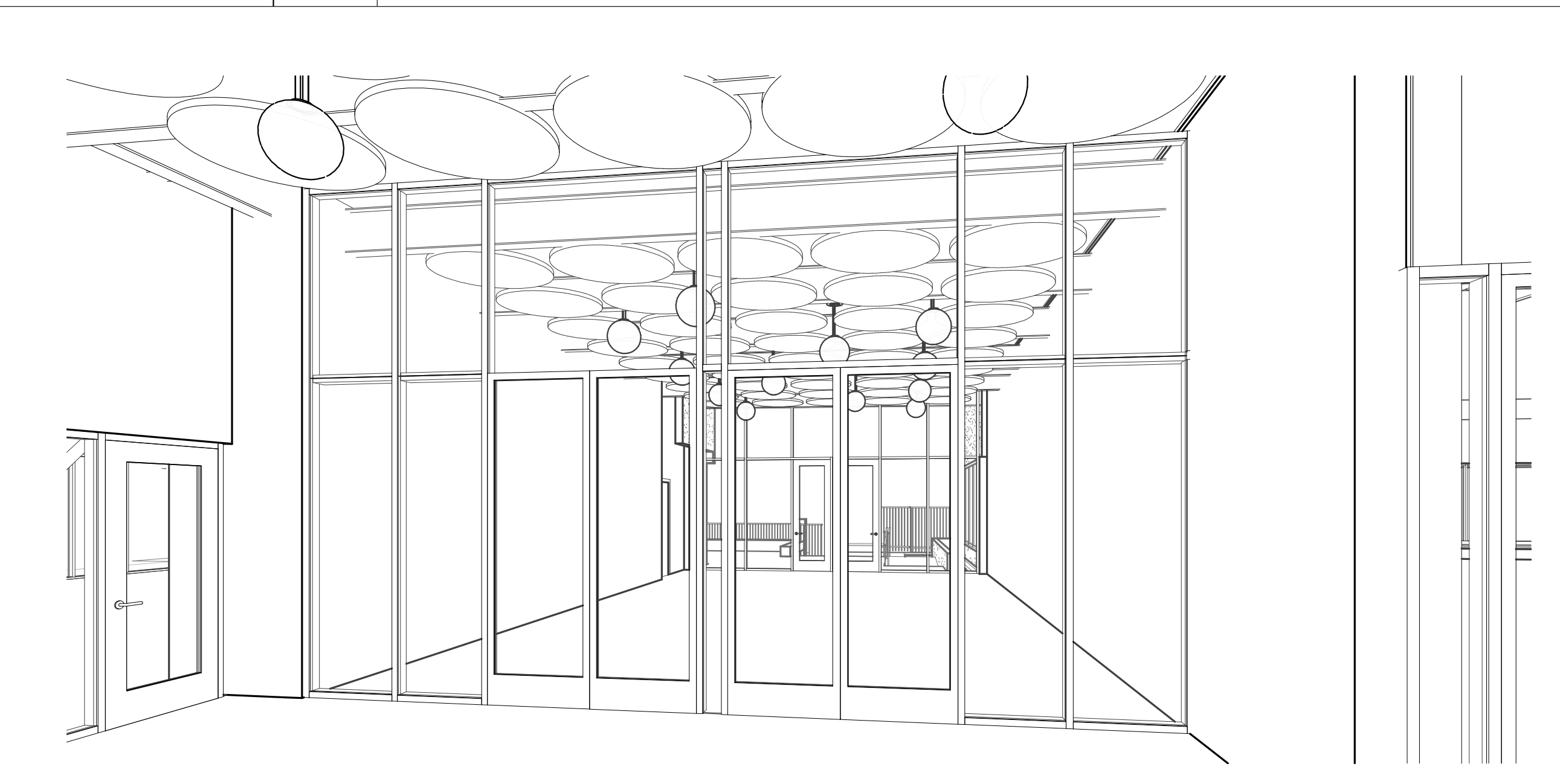
LOBBY VIEW N7



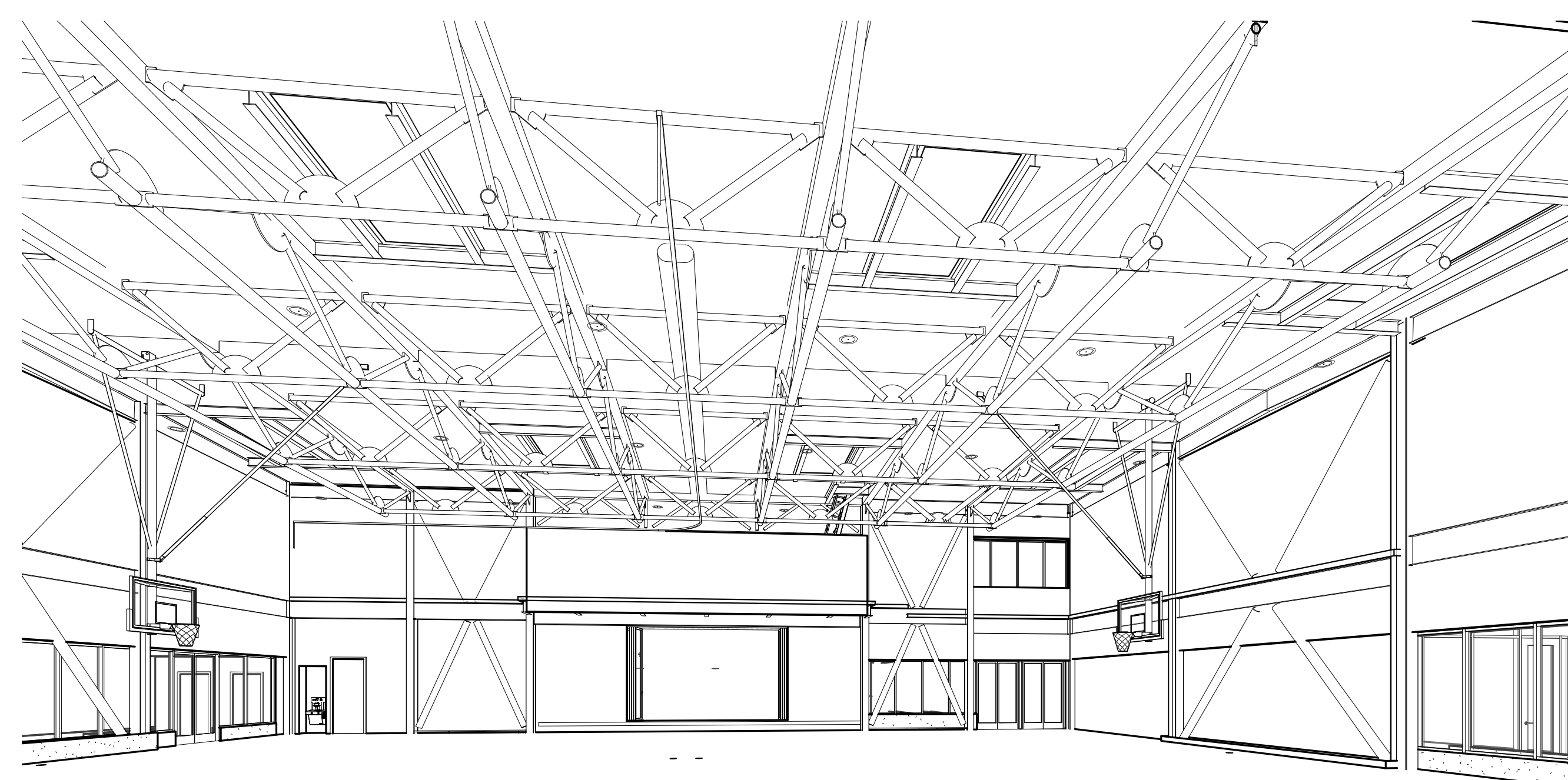
MPR 3 ENTRY N1



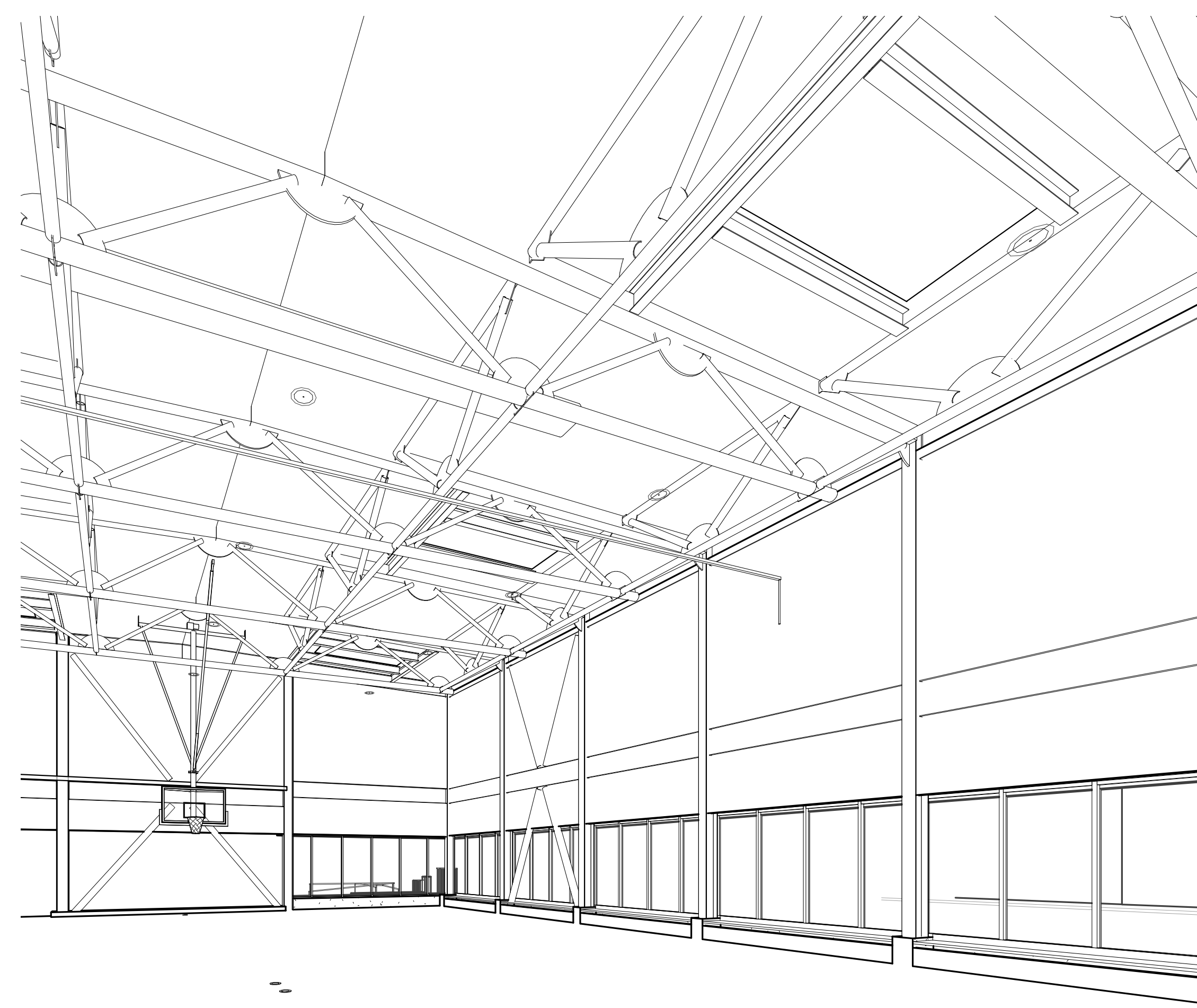
PERSPECTIVE - MPR 1 J10



3D View 12 J1



PERSPECTIVE - GYM A9



PERSPECTIVE - GYM 2 A1



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Sheet Name  
**3D VIEWS - INTERIOR**

Sheet No.

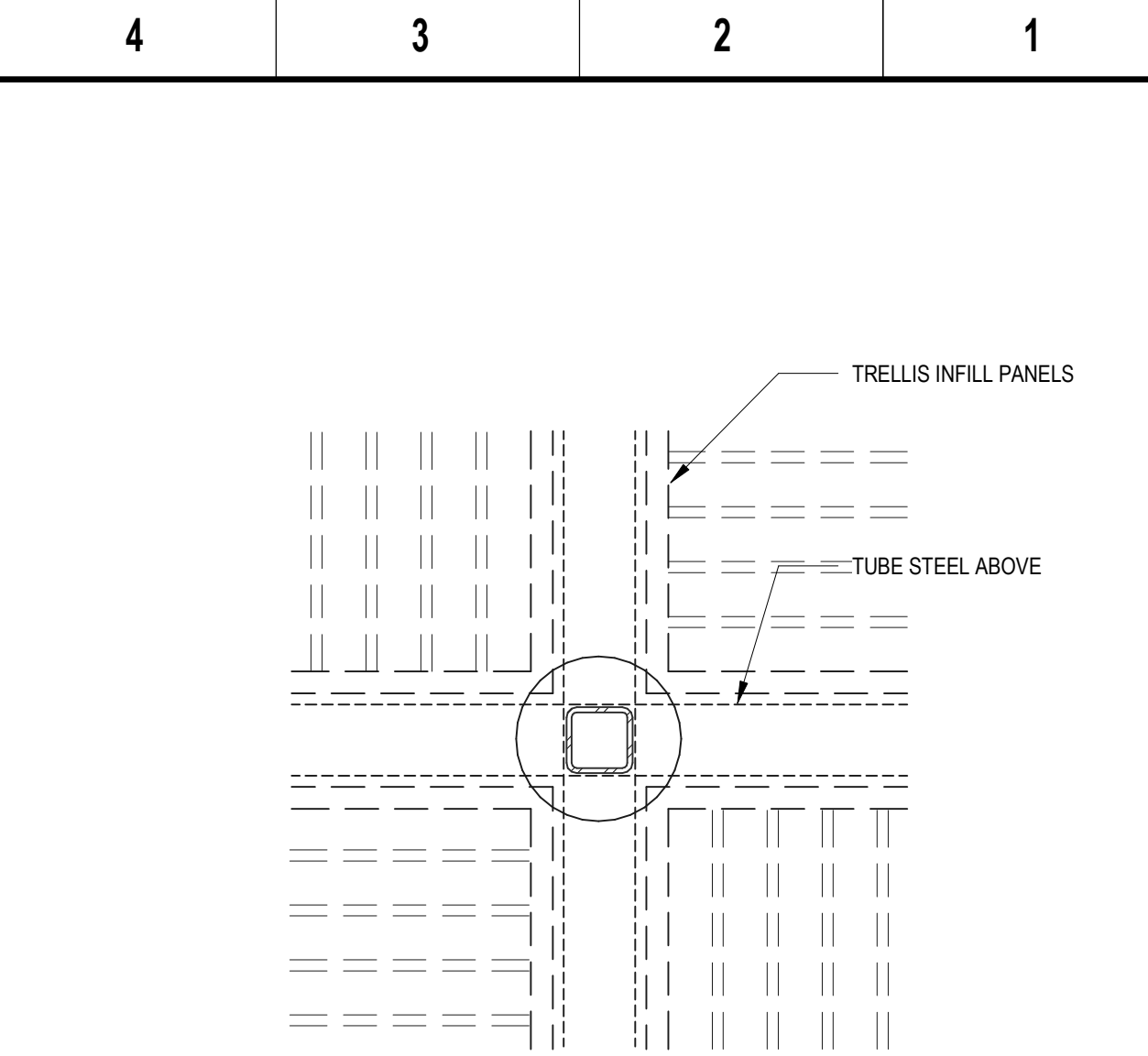
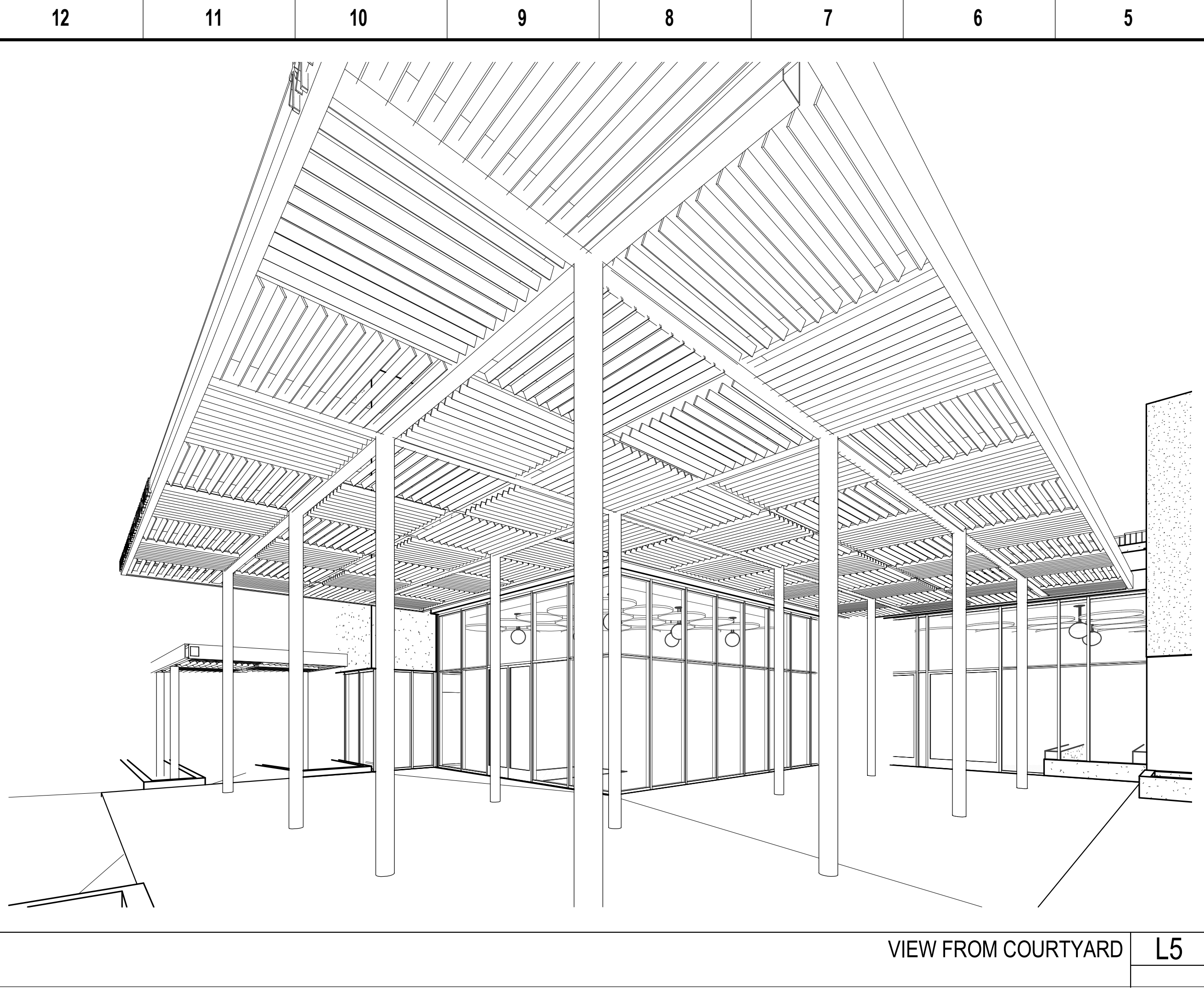
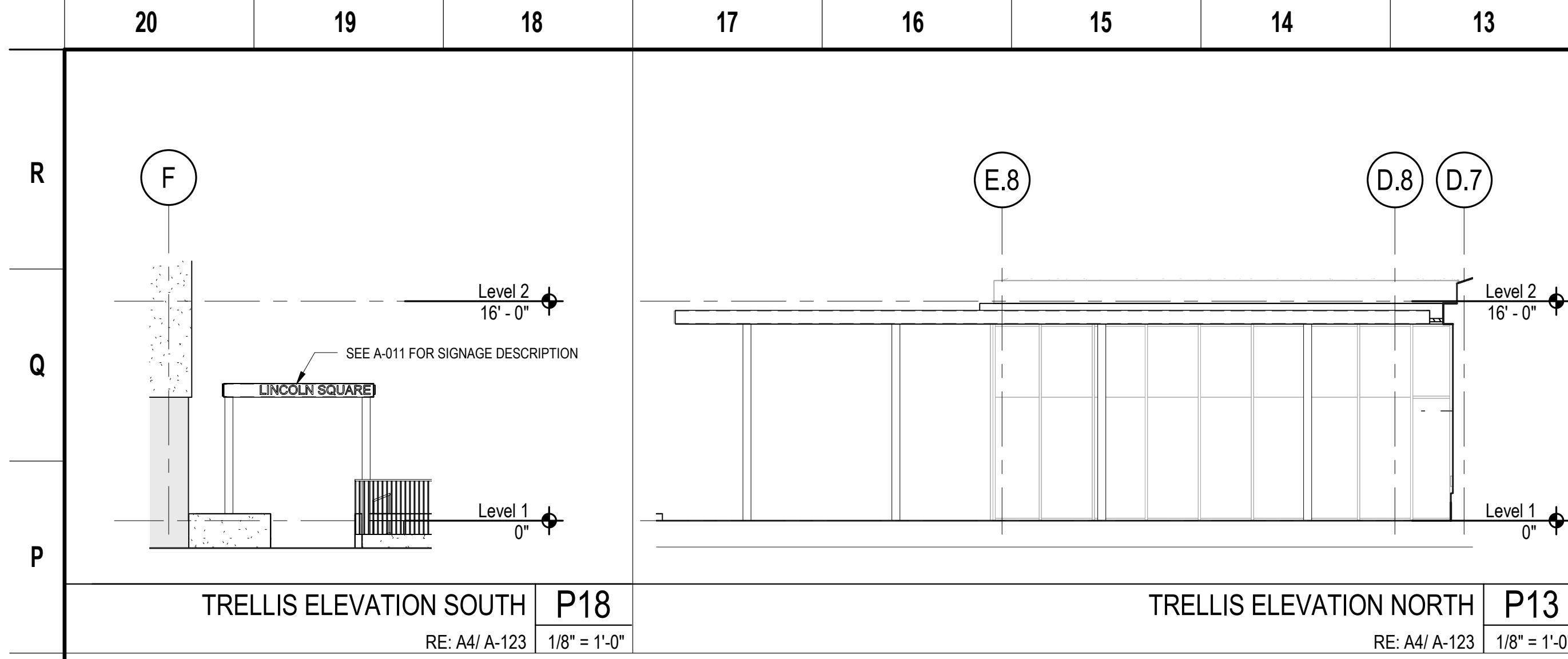
SKA Project Number: 21703

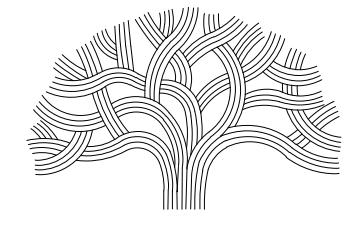
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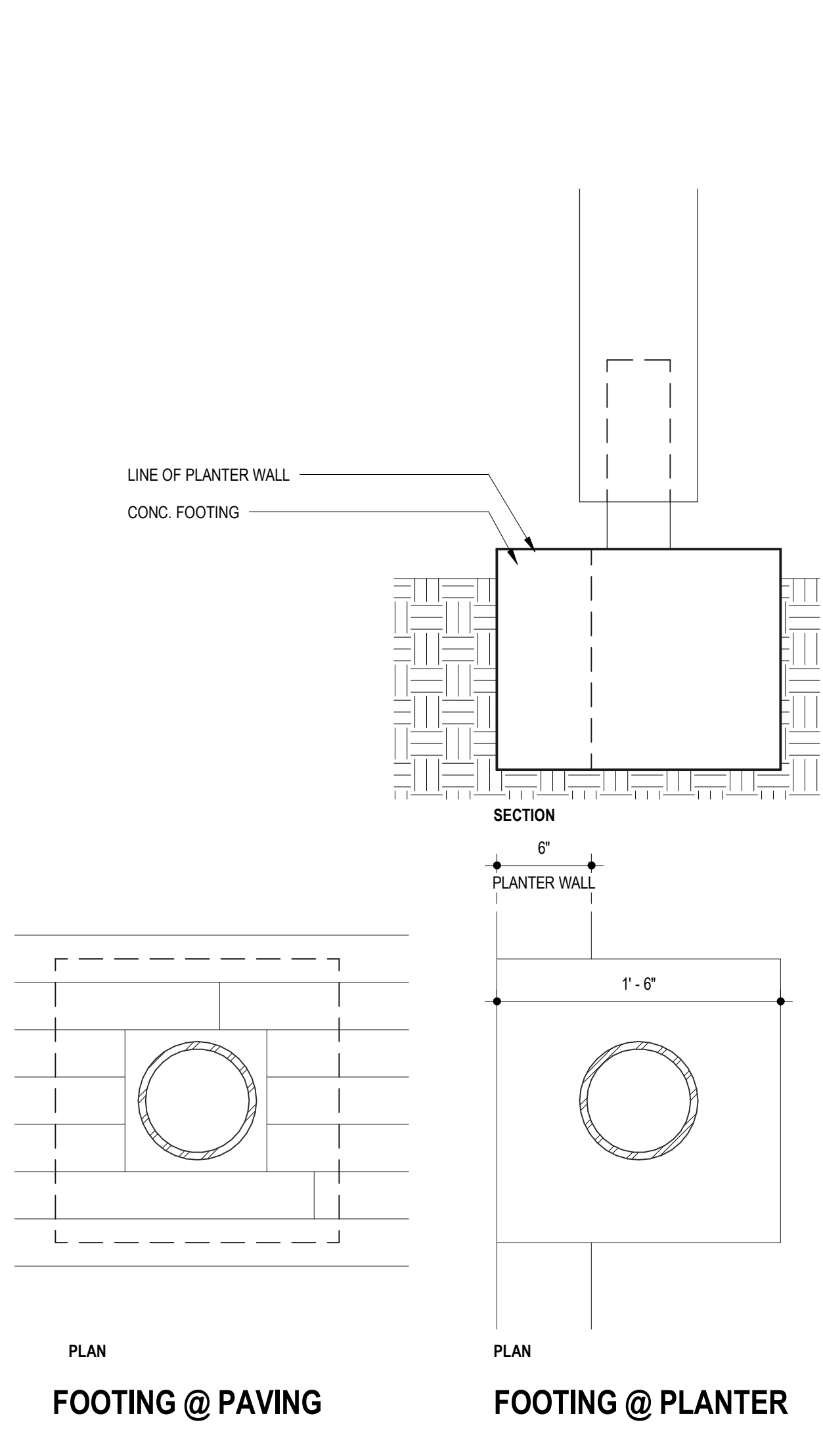
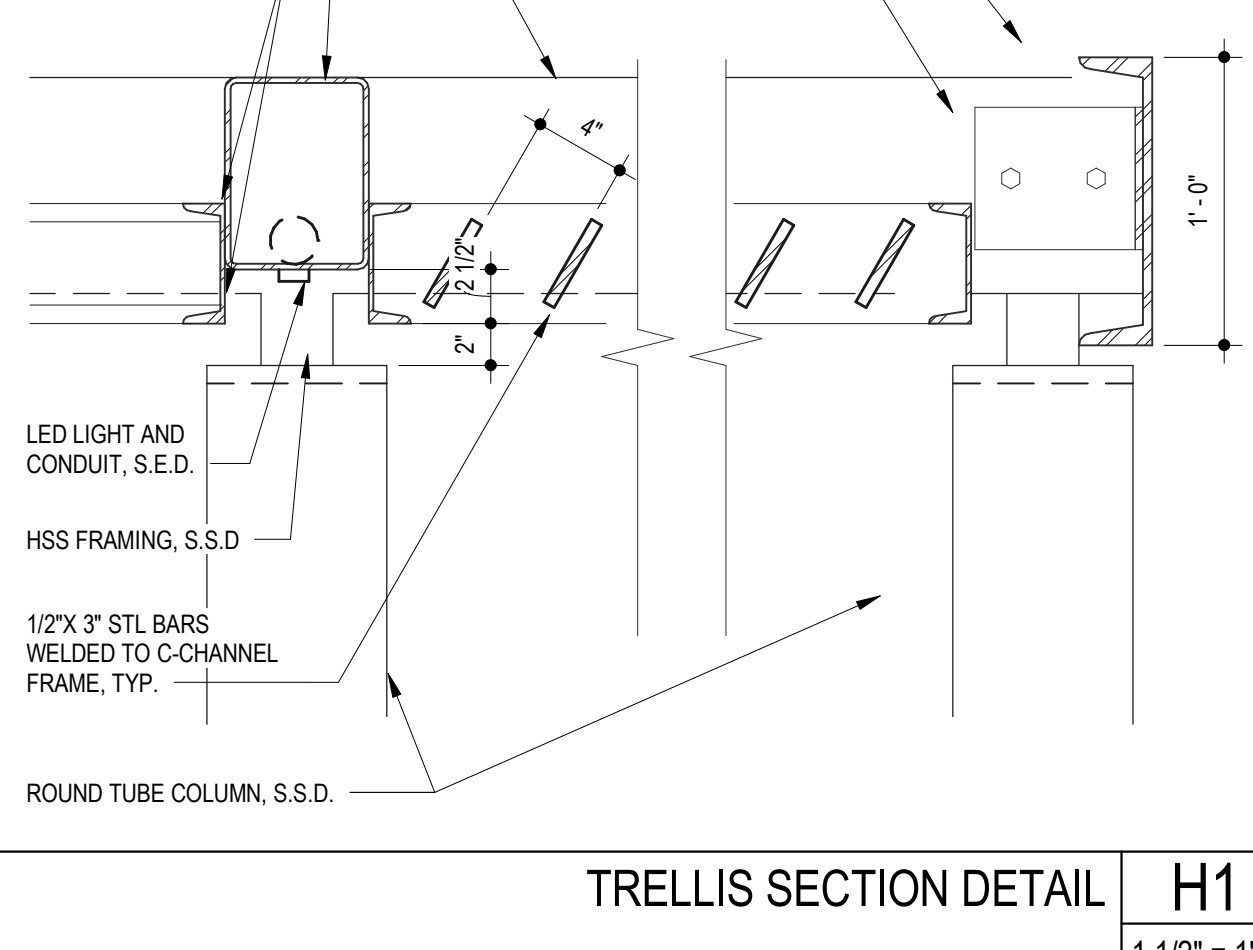
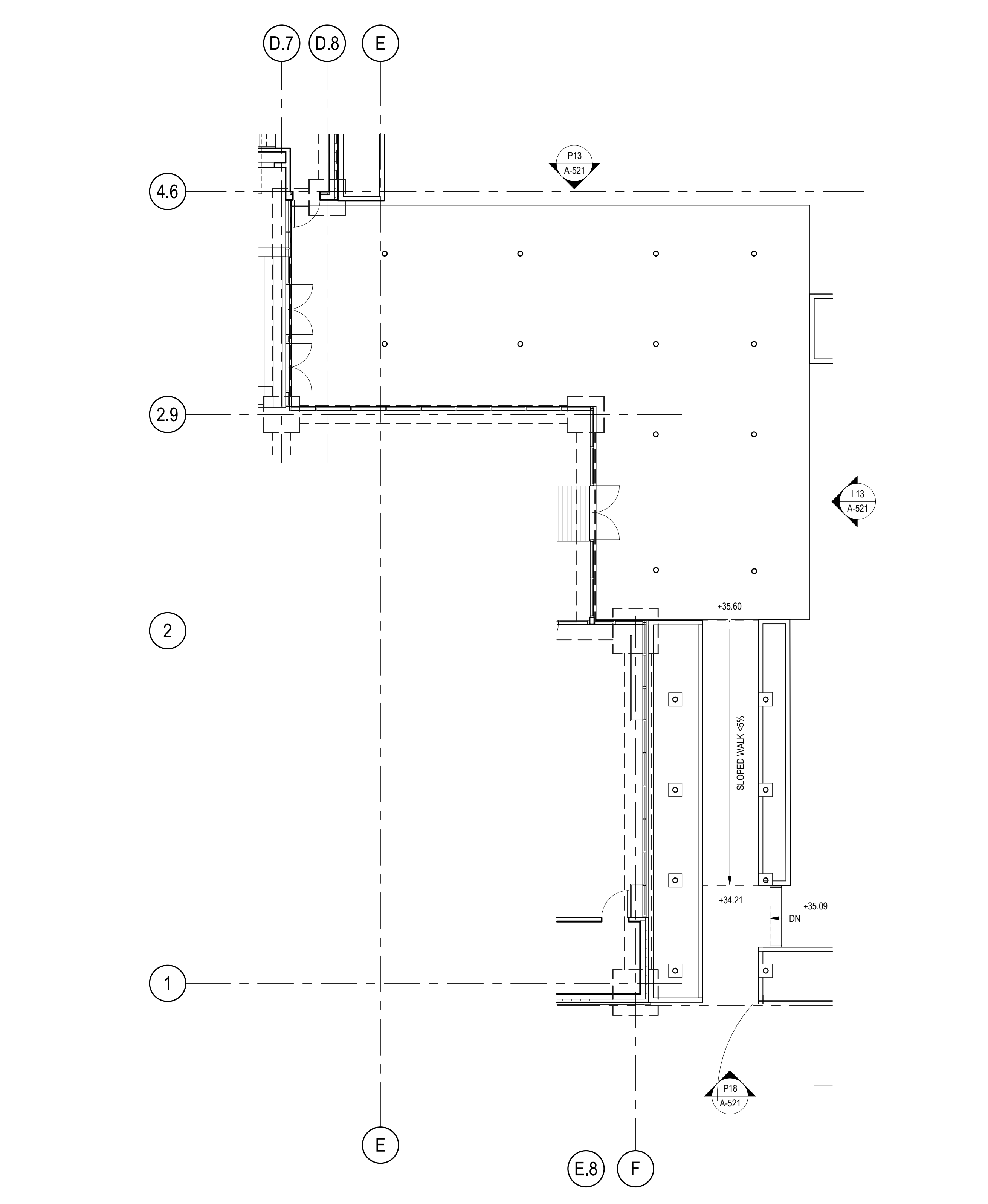
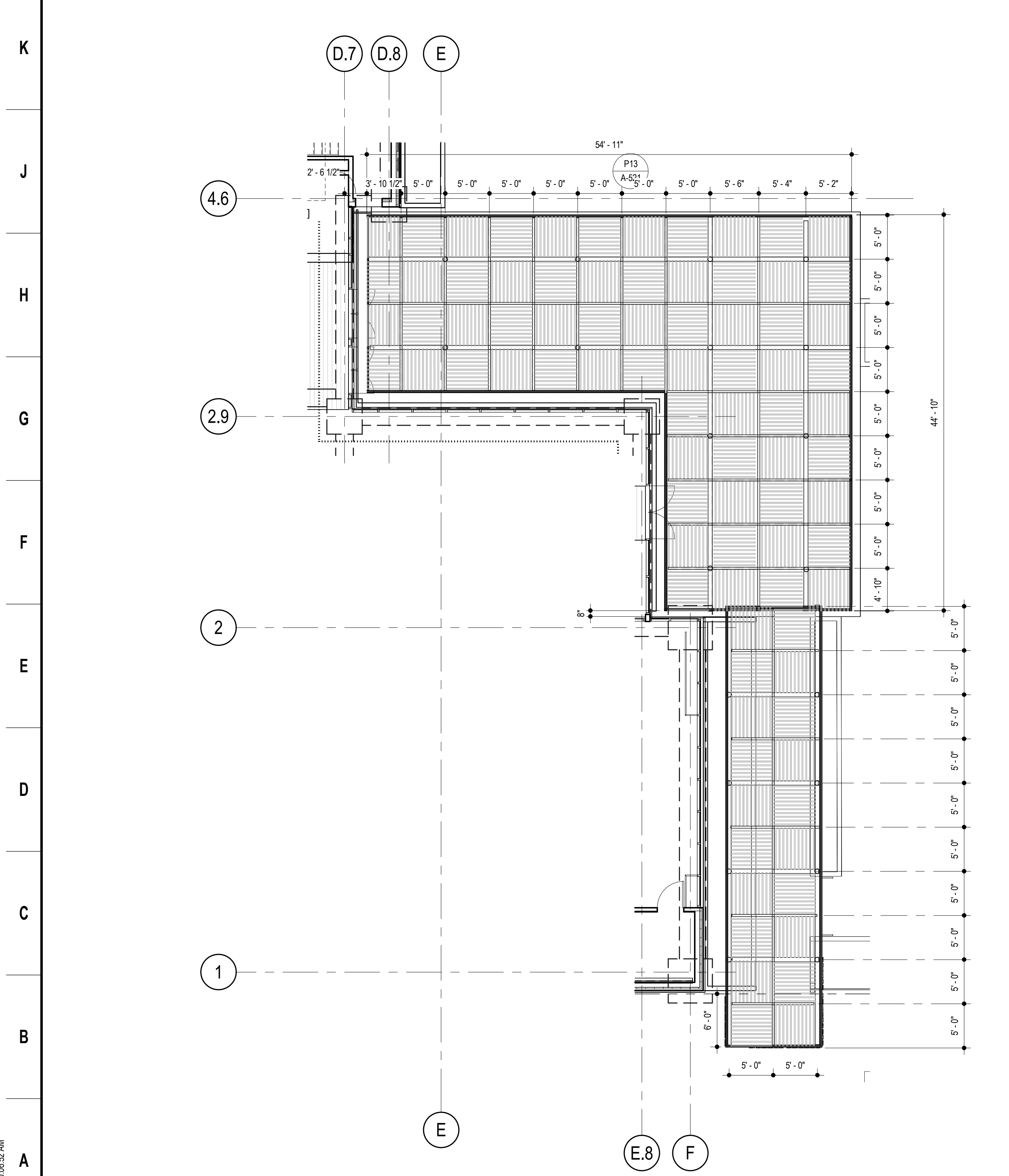
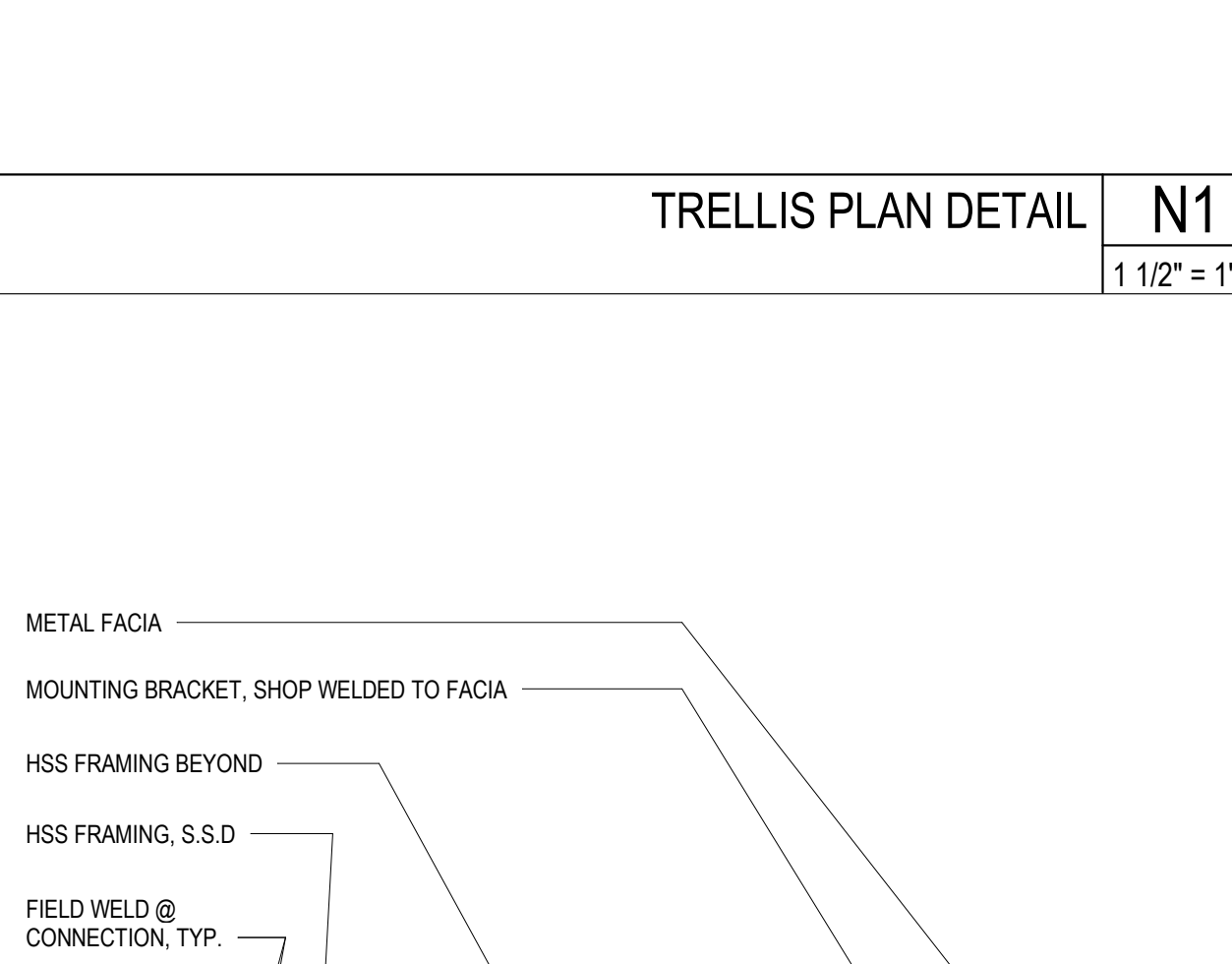
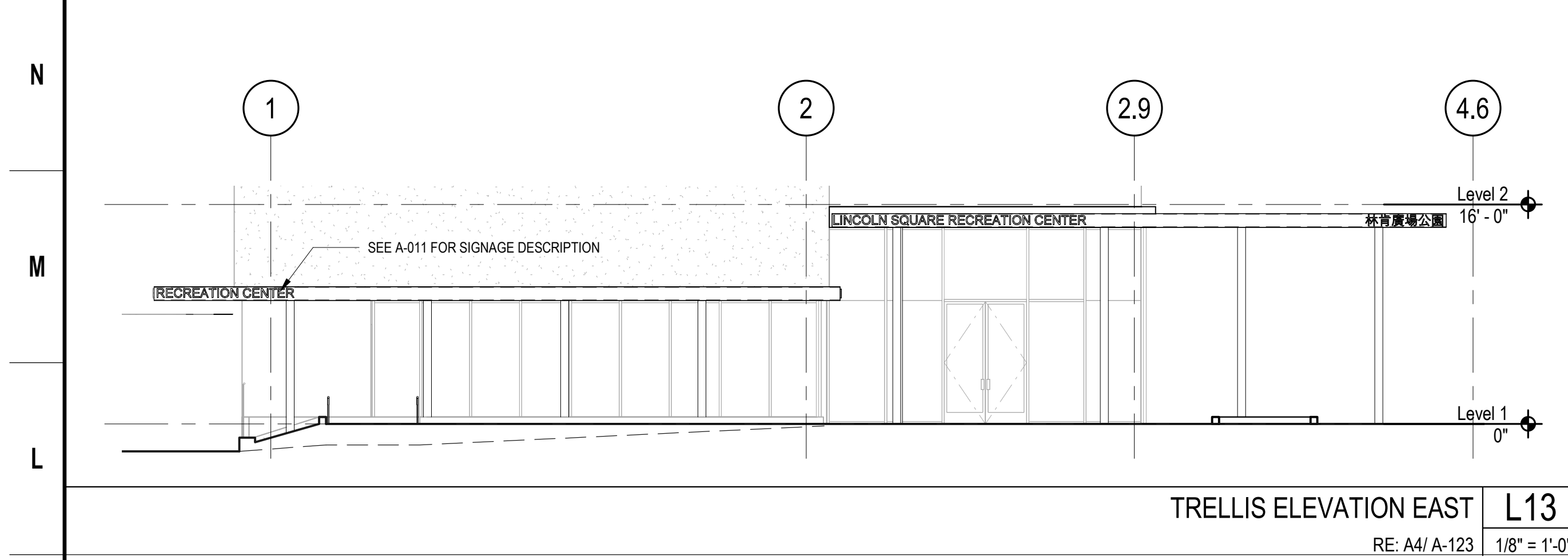
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**TRELLIS LAYOUT AND DETAILS**  
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**TRELLIS LAYOUT AND DETAILS**  
 Sheet No. **A-521**







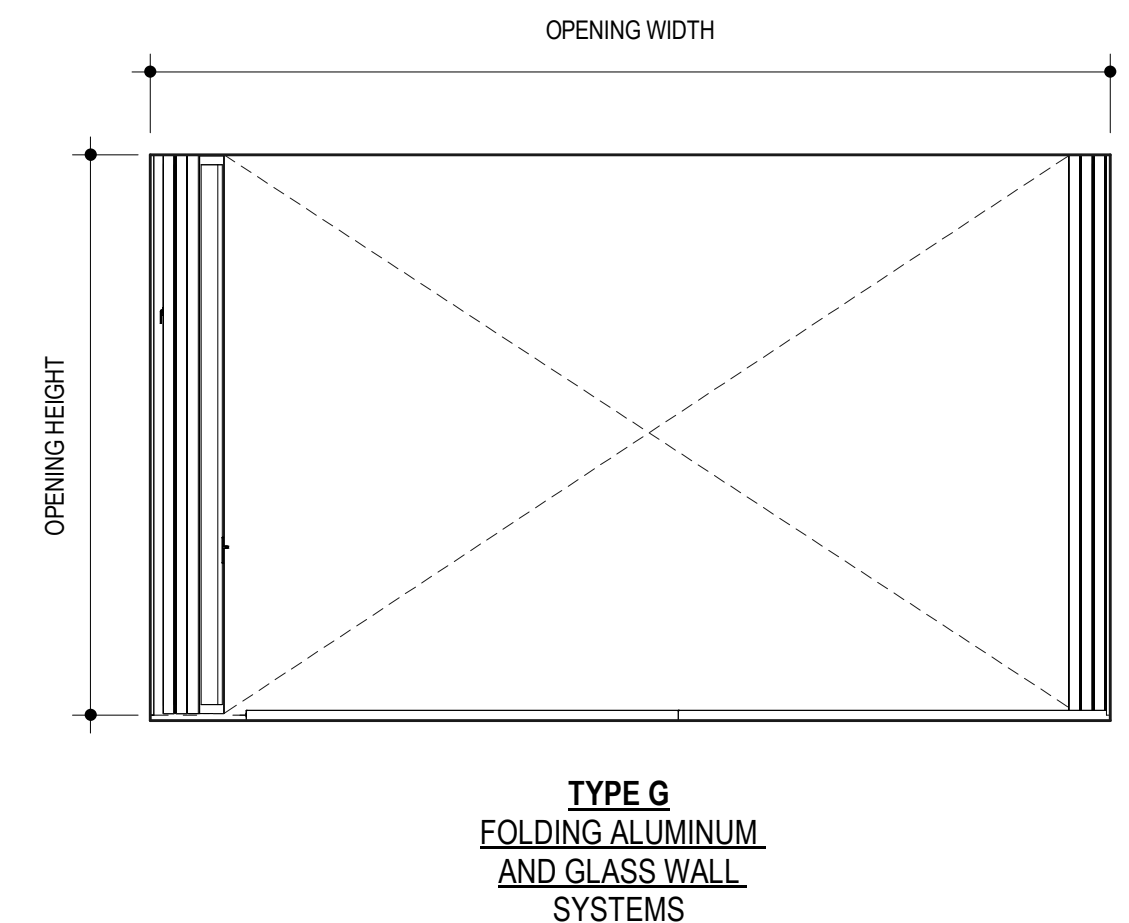
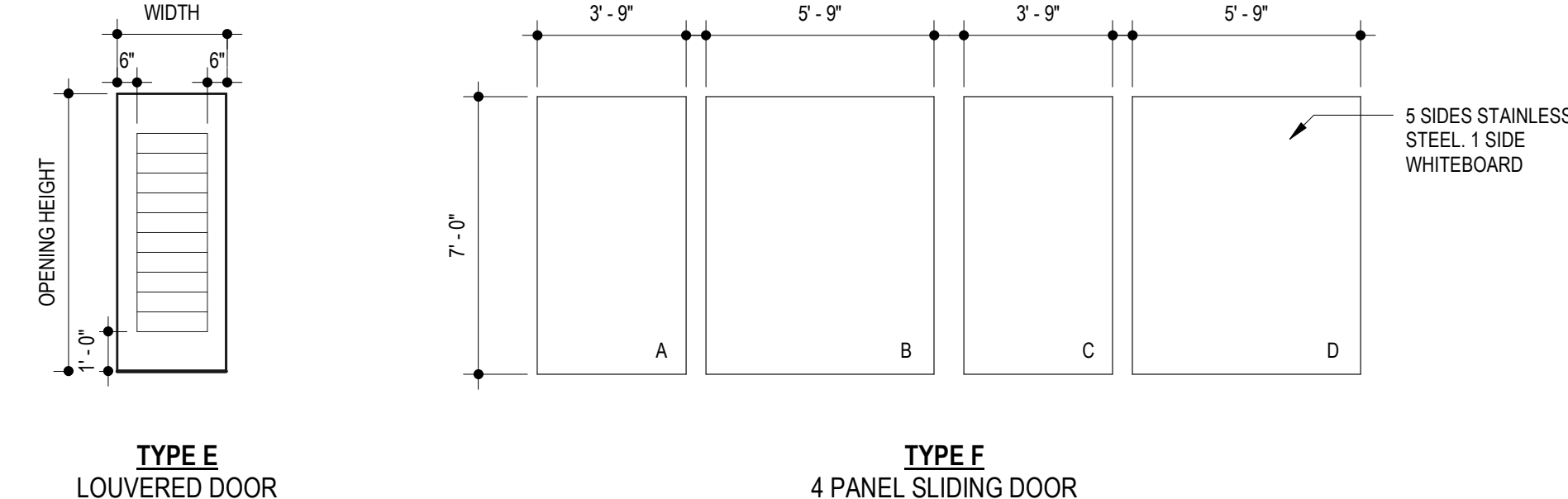
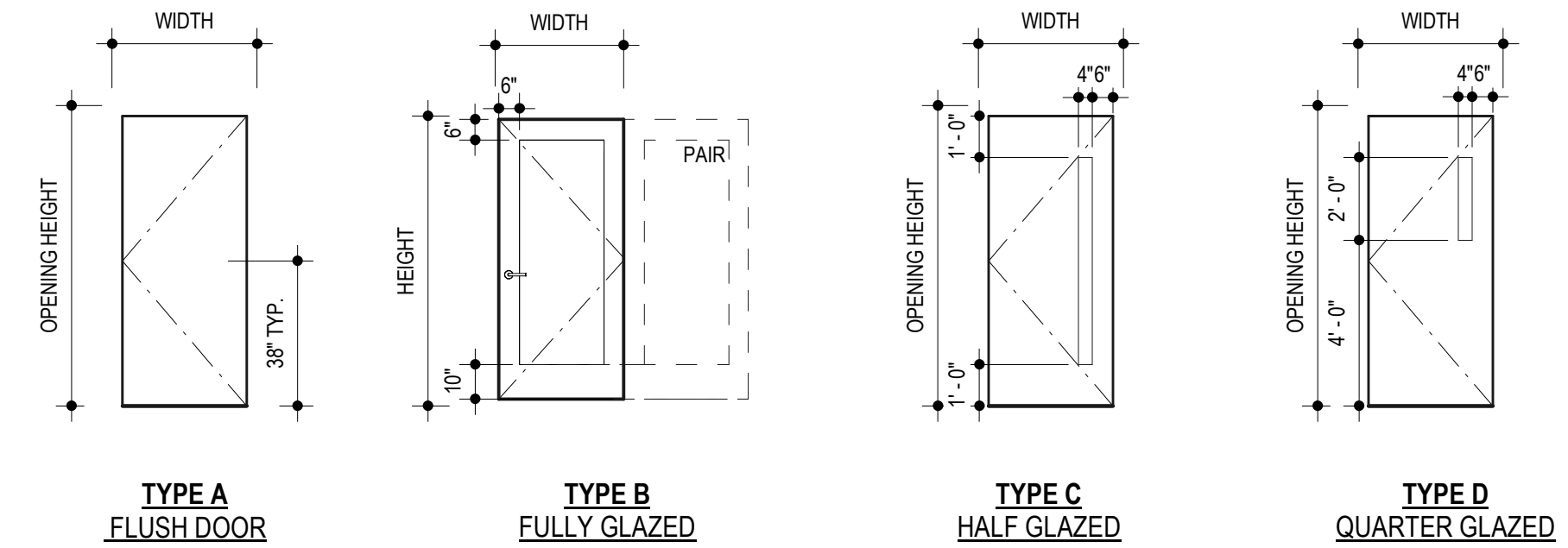
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DOOR SCHEDULE													
ROOM NAME	DOOR NO.	FIRE RATING	HW SET	TYPE	OPENING		DOOR		FRAME		DETAILS		REMARK
					WIDTH	HEIGHT	MATL	FINISH	MATL	FINISH	JAMB	HEAD	
LOBBY	100A			B	3'-0"	9'-0"	AL	PTD	AL	PTD			EXT. DOOR, PH. SEC. ADA POWER ASSIST
LOBBY	100B			B	5'-6"	9'-0"	AL	PTD	AL	PTD			EXT. DOOR
LOBBY	100C			B	5'-6"	9'-0"	AL	PTD	AL	PTD			EXT. DOOR
OFFICE	101			B	3'-0"	7'-0"	AL	PTD	AL	PTD			
OFFICE	102			A	3'-0"	7'-0"	WD	CLR	AL	PTD			
HALLWAY	104			A	2'-6"	6'-6"	HM	PTD	HM	PTD			
HALLWAY	106			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
WOMEN'S	107			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
HALLWAY	108			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
HALLWAY	109			A	2'-6"	7'-0"	HM	PTD	HM	PTD			
WC	110			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
KITCHEN	111A			C	3'-0"	7'-0"	WD	CLR	AL	PTD			
KITCHEN	111C			A	3'-0"	7'-0"	WD	CLR	HM	PTD			
LOBBY	112A			B	3'-0"	7'-0"	WD	CLR	AL	PTD			
MULTIPURPOSE ROOM 2	112B			B	3'-0"	7'-0"	WD	CLR	AL	PTD			
STORAGE	112B				3'-0"	7'-0"							
MULTIPURPOSE ROOM 1	112C			B	3'-0"	9'-0"	AL	PTD	AL	PTD			EXT. DOOR
MULTIPURPOSE ROOM 1	112D			A	5'-6"	7'-0"	WD	CLR	AL	PTD			
MULTIPURPOSE ROOM 1	112E			A	5'-6"	7'-0"	WD	CLR	AL	PTD			
MULTIPURPOSE ROOM 1	112F			A	5'-6"	7'-0"	WD	CLR	AL	PTD			
MULTIPURPOSE ROOM 1	112G			A	5'-6"	7'-0"	WD	CLR	AL	PTD			
MULTIPURPOSE ROOM 1	112H			A	5'-6"	7'-0"	WD	CLR	AL	PTD			
MULTIPURPOSE ROOM 1	113A			B	6'-0"	9'-0"	AL	PTD	AL	PTD			
MULTIPURPOSE ROOM 2	113B			B	6'-0"	9'-0"	AL	PTD	AL	PTD			
MULTIPURPOSE ROOM 2	113C			B	3'-0"	9'-0"	AL	PTD	AL	PTD			
MULTIPURPOSE ROOM 2	113D			B	3'-0"	9'-0"	AL	PTD	AL	PTD			
STAGE/MULTIPURPOSE ROOM 3	114A			A	3'-0"	7'-0"	WD	CLR	HM	PTD			
LOBBY	114B			A	3'-0"	7'-6"	WD	CLR	HM	PTD			
STORAGE	114C			A	5'-6"	7'-0"	WD	CLR	AL	PTD			
STAGE/MULTIPURPOSE ROOM 3	114D			A	5'-6"	7'-0"	WD	CLR	AL	PTD			EXT. DOOR
STORAGE	114E			A	5'-6"	7'-0"	WD	CLR	AL	PTD			
STAGE/MULTIPURPOSE ROOM 3	114F			G	20'-0"	12'-0"	AL	PTD	AL	PTD			EXT. DOOR, OPERABLE
STAGE/MULTIPURPOSE ROOM 3	114G			G	20'-0"	12'-0"	AL	PTD	AL	PTD			OPERABLE
GYMNASIUM	115 E			A	3'-6"	9'-0"	HM	PTD	HM	PTD			
GYMNASIUM	115A			B	5'-6"	9'-0"	AL	PTD	AL	PTD			
GYMNASIUM	115B			B	5'-6"	9'-0"	AL	PTD	AL	PTD			
GYMNASIUM	115C			B	6'-0"	9'-0"	AL	PTD	HM	PTD			EXT. DOOR
GYMNASIUM	115D				6'-0"	9'-0"							EXT. DOOR
HALLWAY	117A			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
MECH/ELEC	117B			A	3'-0"	7'-0"	HM	PTD	HM	PTD			EXT. DOOR
FIRE RISER	117C			A	3'-0"	7'-0"	HM	PTD	HM	PTD			EXT. DOOR
HALLWAY	118			A	4'-0"	7'-0"	HM	PTD	HM	PTD			
HALLWAY	119			A	7'-0"	6'-6"	HM	PTD	HM	PTD			
WC	121A			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
WC	121B			A	3'-0"	9'-0"	HM	PTD	HM	PTD			EXT. DOOR, HM W/ AFLEX PANELS, OCCUPIED LOCK
WC	122A			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
WC	122B			A	3'-0"	9'-0"	HM	PTD	HM	PTD			EXT. DOOR, HM W/ AFLEX PANELS, OCCUPIED LOCK
ROOF GARDEN	200			B	3'-0"	9'-0"	AL	PTD	AL	PTD			
ELEV. MACHINE ROOM	200A			A	2'-6"	7'-0"	WD	CLR	AL	PTD			
ROOF GARDEN	201A			B	4'-0"	8'-6"	AL	PTD	AL	PTD			
LOBBY	201B			C	4'-0"	9'-0"	WD	CLR	AL	PTD			
LOBBY	202			A	3'-0"	7'-0"	WD	CLR	AL	PTD			
WASHROOM	202A			A	2'-6"	7'-0"	WD	CLR	HM	PTD			
WASHROOM	202B			A	2'-6"	7'-0"	WD	CLR	HM	PTD			
WC	202C			A	2'-6"	7'-0"	WD	CLR	HM	PTD			
MULTIPURPOSE ROOM 4	203			A	5'-6"	7'-0"	WD	CLR	AL	PTD			
ROOF GARDEN	203A			B	4'-0"	8'-6"	AL	PTD	AL	PTD			
ROOF GARDEN	203B			B	4'-0"	8'-6"	AL	PTD	AL	PTD			
ROOF GARDEN	203C			B	4'-0"	8'-6"	AL	PTD	AL	PTD			
ROOF GARDEN	203C			B	4'-0"	8'-6"	AL	PTD	AL	PTD			
ROOF GARDEN	203D			B	4'-0"	8'-6"	AL	PTD	AL	PTD			
MULTIPURPOSE ROOM 4	203E			A	3'-0"	9'-0"	WD	CLR	AL	PTD			
MULTIPURPOSE ROOM 4	203F			A	5'-0"	9'-0"	WD	CLR	AL	PTD			
MULTIPURPOSE ROOM 4	203G			A	5'-0"	9'-0"	WD	CLR	AL	PTD			
STAIR B	204A			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
GYMNASIUM	204B			A	2'-6"	6'-6"	HM	PTD	HM	PTD			
RECYCLING	EX1A			A	3'-0"	9'-0"	HM	PTD	HM	PTD			EX10 EXTERIOR, BLIND DOOR W/ MP-E1 PANELING
KITCHEN	EX1B			A	3'-0"	7'-0"	HM	PTD	HM	PTD			
STAIR A	ST1A			C	3'-0"	6'-6"	WD	CLR	HM	PTD			
STAIR B	ST1B			A	3'-0"	7'-0"	HM	PTD	HM	PTD			EX10 EXTERIOR, BLIND DOOR W/ MP-E1 PANELING
ROOF GARDEN	ST2B			C	3'-0"	6'-6"	HM	PTD	HM	PTD			
STORAGE	ST4B				7'-0"	6'-6"							



**CITY OF OAKLAND**  
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PLANS FOR THE CONSTRUCTION OF  
**Lincoln Square Recreation Center**  
250 10th Street, Oakland, CA 94607



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Architect  
**S H A H KAWASAKI ARCHITECTS**  
570 10th Street, Suite 201  
Oakland, CA 94607

Consultants  
**DOOR SCHEDULE**

Sheet No.  
**A-602**

SKA Project Number: 21703





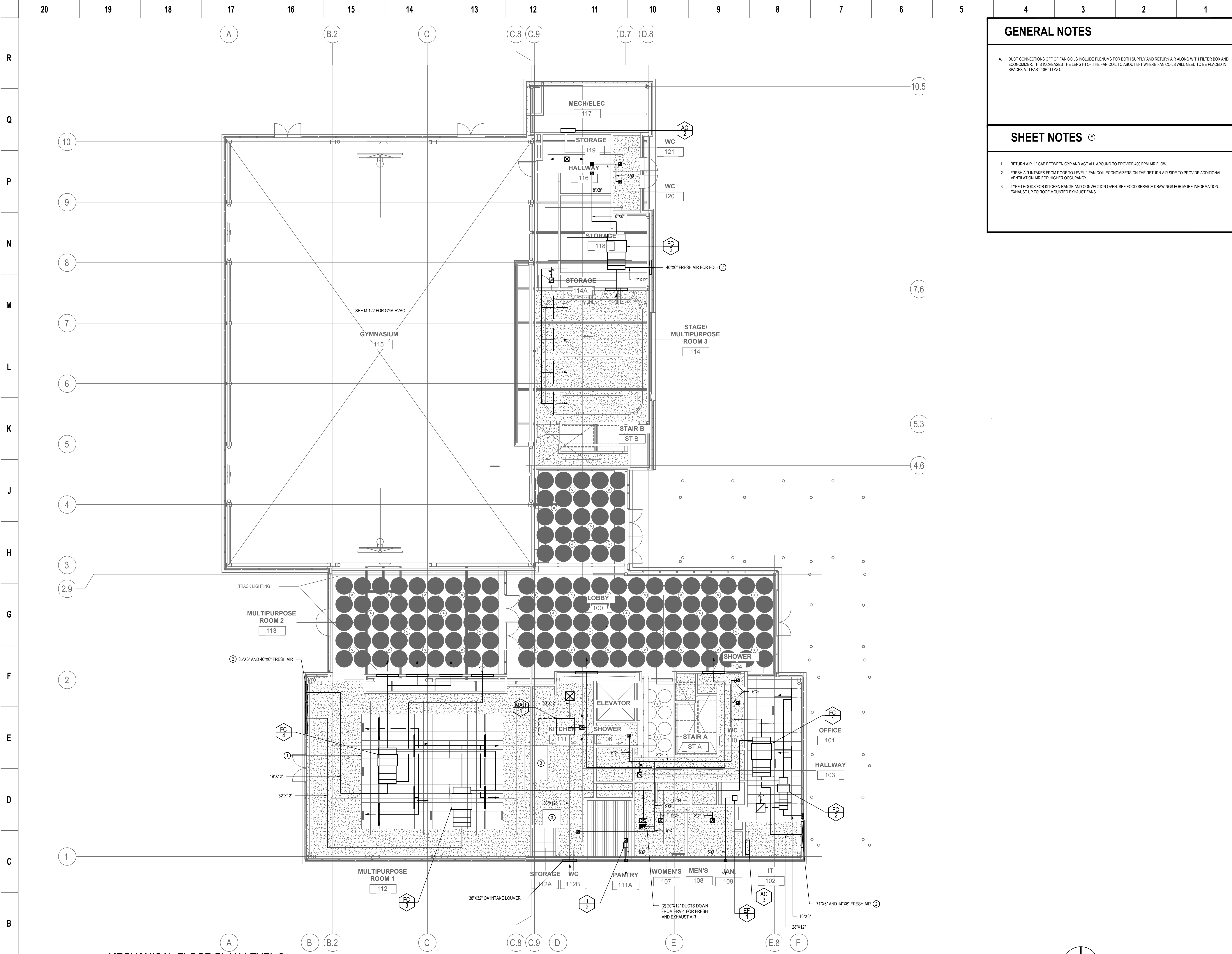












**GENERAL NOTES**

A. DUCT CONNECTIONS OFF OF FAN COILS INCLUDE PLENUMS FOR BOTH SUPPLY AND RETURN AIR ALONG WITH FILTER BOX AND ECONOMIZER. THIS INCREASES THE LENGTH OF THE FAN COIL TO ABOUT 8FT WHERE FAN COILS WILL NEED TO BE PLACED IN SPACES AT LEAST 10FT LONG.

---

**SHEET NOTES**

1. RETURN AIR 1" GAP BETWEEN GYP AND ACT ALL AROUND TO PROVIDE 400 FPM AIR FLOW.
2. FRESH AIR INTAKES FROM ROOF TO LEVEL 1 FAN COIL ECONOMIZERS ON THE RETURN AIR SIDE TO PROVIDE ADDITIONAL VENTILATION AIR FOR HIGHER OCCUPANCY.
3. TYPE-I HOODS FOR KITCHEN RANGE AND CONVECTION OVEN. SEE FOOD SERVICE DRAWINGS FOR MORE INFORMATION. EXHAUST UP TO ROOF MOUNTED EXHAUST FANS.



**PLANS FOR THE CONSTRUCTION OF**

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Architect: **SHAH KAWASAKI ARCHITECTS**  
 570 10th Street, Suite 201, Oakland, CA 94607

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 1500 STREET SUITE 200, OAKLAND, CA 94612

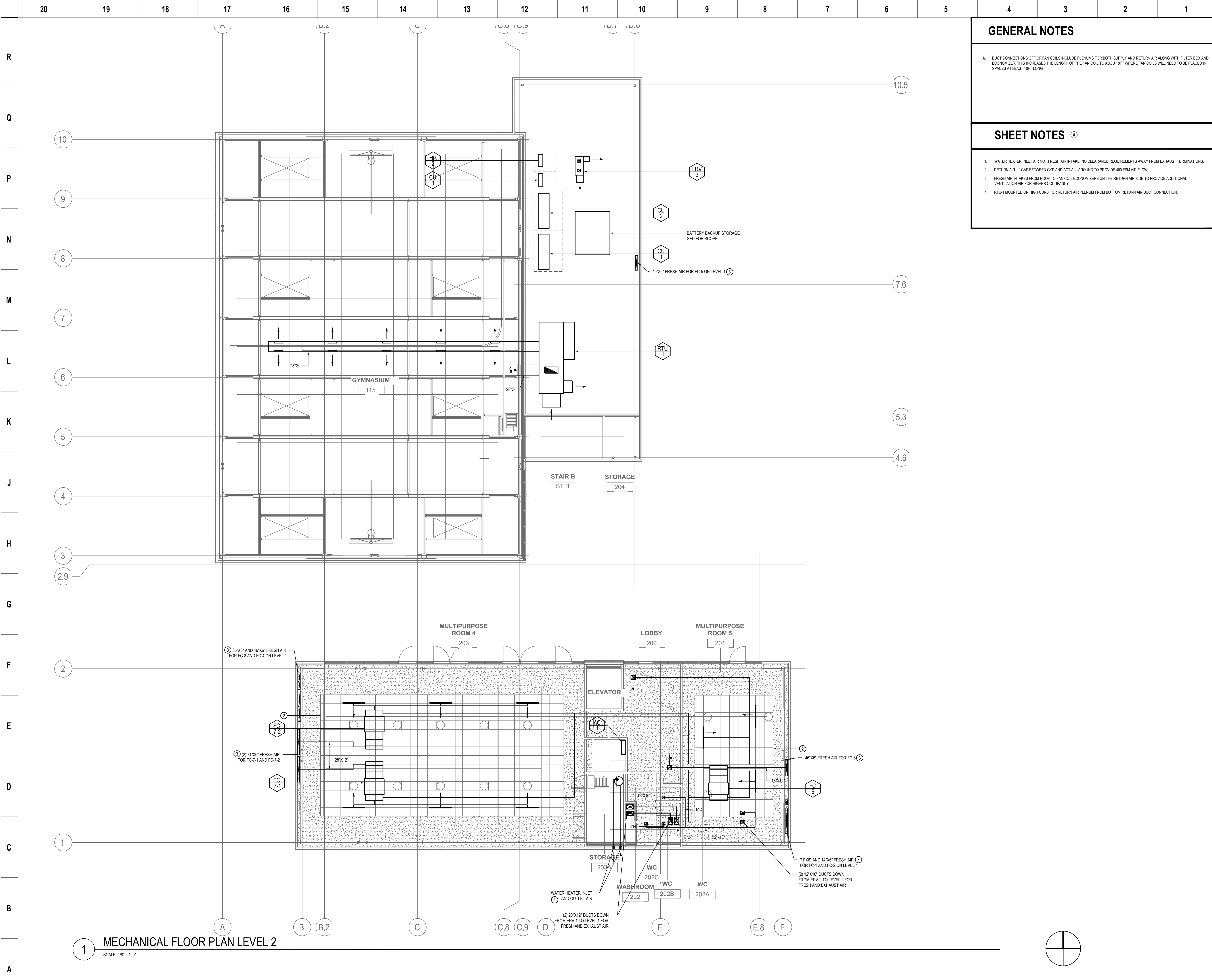
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Sheet Name: **MECHANICAL FLOOR PLAN LEVEL 1**

Sheet No.: **M-121**

**1 MECHANICAL FLOOR PLAN LEVEL 2**  
 SCALE: 1/8" = 1'-0"





**GENERAL NOTES**

A. DUCT CONNECTIONS OFF OF FAN COILS INCLUDE PLENUMS FOR BOTH SUPPLY AND RETURN AIR ALONG WITH FILTER BOX AND ECONOMIZER. THIS INCREASES THE LENGTH OF THE FAN COIL TO ABOUT 8FT WHERE FAN COILS WILL NEED TO BE PLACED IN SPACES AT LEAST 10FT LONG.

---

**SHEET NOTES** ①

1. WATER HEATER INLET AIR NOT FRESH AIR INTAKE. NO CLEARANCE REQUIREMENTS AWAY FROM EXHAUST TERMINATIONS.
2. RETURN AIR 1" GAP BETWEEN GYP AND ACT ALL AROUND TO PROVIDE 400 FPM AIR FLOW.
3. FRESH AIR INTAKES FROM ROOF TO FAN COIL ECONOMIZERS ON THE RETURN AIR SIDE TO PROVIDE ADDITIONAL VENTILATION AIR FOR HIGHER OCCUPANCY.
4. RTU-1 MOUNTED ON HIGH CURB FOR RETURN AIR PLENUM FROM BOTTOM RETURN AIR DUCT CONNECTION.



**PLANS FOR THE CONSTRUCTION OF**

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Sheet Name  
**MECHANICAL FLOOR PLAN LEVEL 2**

Sheet No.  
**M-122**

**NOT FOR CONSTRUCTION**

**1 MECHANICAL FLOOR PLAN LEVEL 2**  
 SCALE: 1/8" = 1'-0"



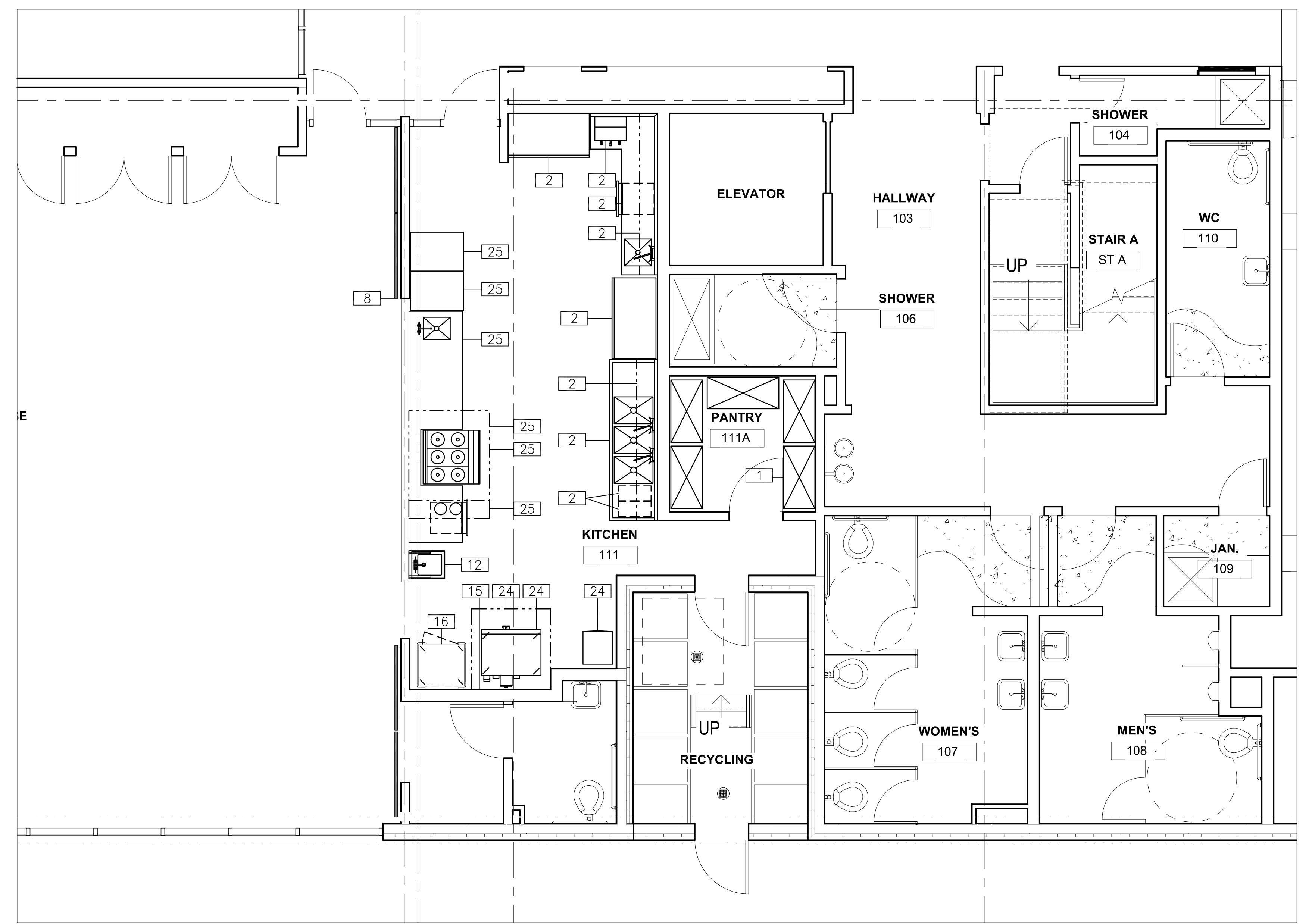








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- NOTES:
- HEALTH DEPARTMENT REQUIREMENTS:
- A. ALL EQUIPMENT, MANUFACTURED OR CUSTOM FABRICATED, TO HAVE NSF, ETL SANITATION OR UL SANITATION APPROVALS.
  - B. INSTALLATION TO MEET CALIFORNIA RETAIL FOOD CODE (CRFC) LATEST EDITION.
  - C. ALL EXPOSED PLUMBING AND GAS LINES MUST BE MOUNTED OR ENCLOSED SO AS TO FACILITATE CLEANING. AN EFFORT SHOULD BE MADE TO ENCLOSE ALL PLUMBING LINES WITHIN WALLS UNLESS OTHERWISE APPROVED.
  - D. ALL EQUIPMENT WHICH GENERATES CONDENSATE AND LIQUID WASTES FROM STEAM TABLES, ICE MACHINES AND BINS, UTENSIL WASH SINKS, FOOD PREPARATION SINKS, DISPLAY CASES, ETC. SHALL BE DRAINED BY MEANS OF INDIRECT WASTE PIPES INTO FLOOR SINK OR OTHER APPROVED INDIRECT WASTE RECEPTOR. FLOOR DRAINS ARE NOT TO BE USED IN LIEU OF FLOOR SINKS. ALL WASTE LINES MUST BE HARD PIPED FROM POINT OF CONNECTIONS.
  - E. ALL FLOOR SINKS SHALL BE AT LEAST HALF EXPOSED OR OTHERWISE READILY ACCESSIBLE FOR INSPECTION AND CLEANING. FLOOR SINK SHOULD NOT POSE A TRIPPING HAZARD (MOUNT ALL FLOOR SINKS FLUSH WITH FLOOR)
  - F. ALL EXPOSED ELECTRICAL LINES SHALL BE ENCLOSED WITHIN SMOOTH, RIGID CONDUIT AND BE MOUNTED OR ENCLOSED SO AS TO FACILITATE CLEANING. FLEX CONDUIT IS ONLY PERMITTED IF ENCLOSED WITHIN WALLS.
  - G. SUFFICIENT NATURAL OR ARTIFICIAL LIGHTING REQUIRED: FIFTY (50) FOOT-CANDLES IN FOOD PREPARATION, UTENSIL WASH AREA, BARS, STORAGE AREAS AND RESTROOMS.
  - H. SHATTER PROOF SHIELDS ON LIGHTS REQUIRED ABOVE FOOD PREPARATION, OPEN FOOD STORAGE, UTENSIL-CLEANING AREAS AND HOODS.
  - I. AN APPROVED FLOORING MATERIAL. FOUR INCH (MINIMUM) HIGH CONTINUOUSLY COVED BASE. (3/8" MIN. COVE AT WALL/FLOOR/EQUIPMENT JUNCTURE).

EQUIPMENT SCHEDULE					
ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL NUMBER	NOTES
1	5	SHELVING	METRO	BR SERIES (5-TIER 74)	
2	1	ADA HAND SINK W/ SOAP & TOWEL	EAGLE GROUP	HSAF-14-ADA-FW	
3	1	REACH IN REFRIG (EXISTING)	CONTINENTAL (EXISTING)	2R (NOT IN FSEC CONTRACT)	NIC
4	1	COFFEE BREWER	FETCO	CBS-52H-15	
5	1	WORK TABLE WITH SINK	CUSTOM FABRICATED	SEE ELEVATION DETAILS	
6	1	WALL CABINET	CUSTOM FABRICATED	SEE ELEVATION DETAILS	
7	1	REACH IN REFRIG (EXISTING)	TRUE (EXISTING)	T-49-HC (NOT IN FSEC CONTRACT)	NIC
8	1	WALL SHELF W/ UTENSIL RACK	ADVANCE TABCO	DT-6R-108	
9	1	POT SINK	CUSTOM FABRICATED	SEE ELEVATIONS/DETAILS	
10		NOT USED			
11		NOT USED			
12	LOT	TRASH CONTAINER	PROVIDED BY OWNER	NOT IN FSEC CONTRACT	NIC
13	1	REACH IN FREEZER (EXISTING)	CONTINENTAL (EXISTING)	1FN (NOT IN FSEC CONTRACT)	NIC
14	1	1-DR REACH IN FREEZER	CONTINENTAL	1FNSA	
15	1	SERVING COUNTER WITH SINK	CUSTOM FABRICATED	SEE ELEVATIONS/DETAILS	
16	1	ROLL UP SERVICE WINDOW	SPECIFIED BY ARCHITECT	NOT IN FSEC CONTRACT	NIC
17	1	EXHAUST HOOD (TYPE-I)	STREAVOR AIR SYSTEMS	ICBD 60 63 24	
18	1	ELECTRIC RANGE/OVEN	IMPERIAL	IHR-6-E	
19	1	FIRE SUPPRESSION SYSTEM	STREAVOR AIR SYSTEMS	PYRO-CHEM KITCHEN KNIGHT II	
20		NOT USED			
21		NOT USED			
22	1	ICE MACHINE	MANITOWOC	UDE0080A	
23	1	EXHAUST HOOD (TYPE-I)	STREAVOR AIR SYSTEMS	WCBD 49 54 24	
24	1	2-DECK CONVECTION OVEN	IMPERIAL	ICVE-2	
25	1	STAINLESS STEEL WALL FLASHING	CUSTOM FABRICATED	SEE ELEVATION DETAILS	
26	1	HOT HOLDING CABINET	VULCAN	VBF15	
27	1	TYPE K FIRE EXTINGUISHER	BUCKEYE	WC-6L	
28		NOT USED			
29		NOT USED			
30		NOT USED			

ABBREVIATIONS:  
 FSEC FOODSERVICE EQUIPMENT CONTRACTOR  
 S/S STAINLESS STEEL  
 U/C UNDER COUNTER  
 S&T SOAP AND TOWEL  
 NIC NOT IN CONTRACT

SCHEDULE / DRAWING NOTES:



**PLANS FOR THE CONSTRUCTION OF**

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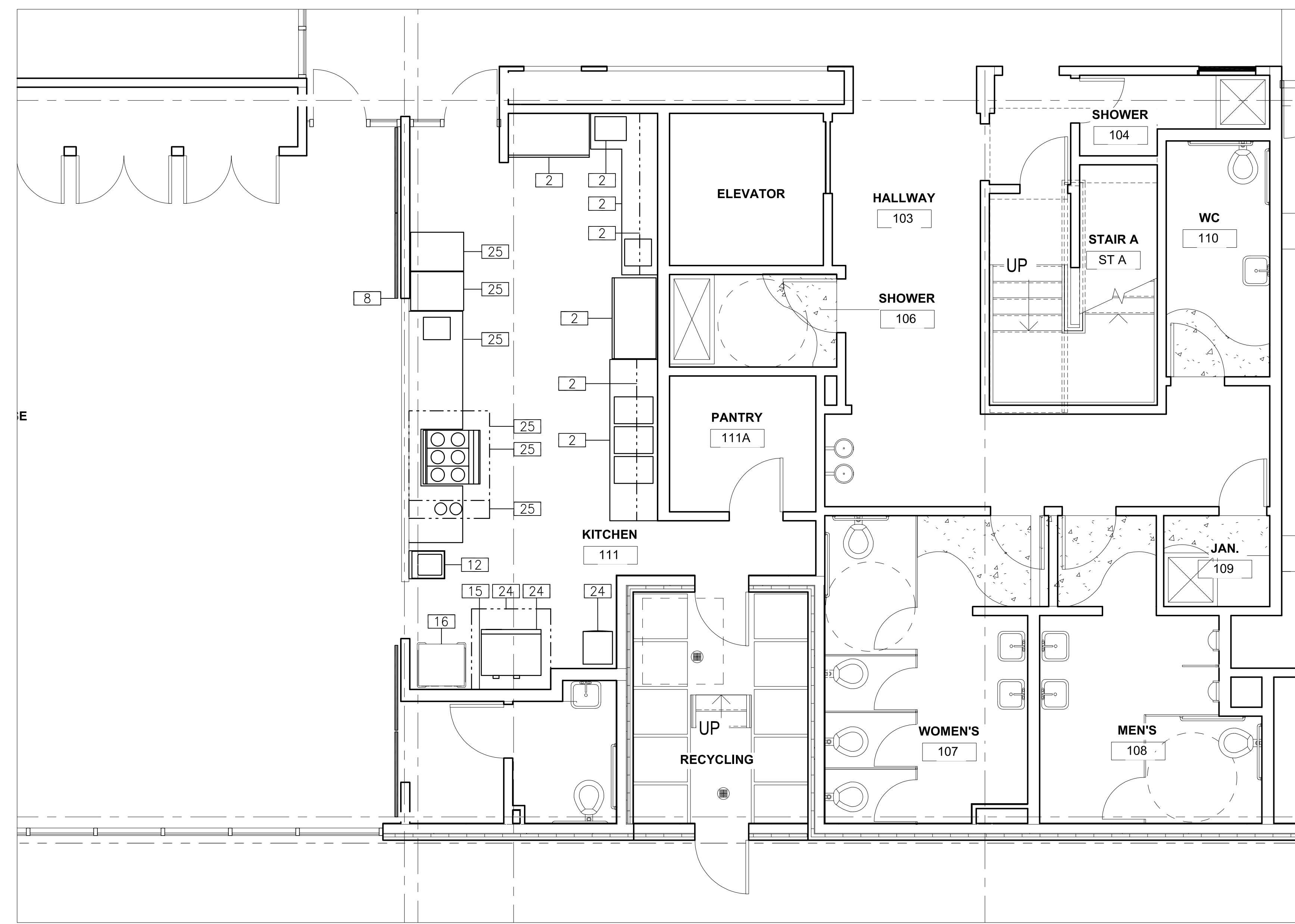
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10/04/2022	DRC REVIEW	

Architect <b>SHAH KAWASAKI ARCHITECTS</b> 570 15th Street, Suite 201 Oakland, CA 94612	Consultants <i>The Marshall-Schwartz, Inc.</i> Foodservice & Specialty Consultants/Designers 3000 Grand Ave., Suite 1000 1700 14th Street, Suite 100 415/877-1200 Fax 415/877-1210
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Stamp	Sheet Name <b>FOODSERVICE EQUIPMENT PLAN</b>
	Sheet No. <b>FS1.11</b>

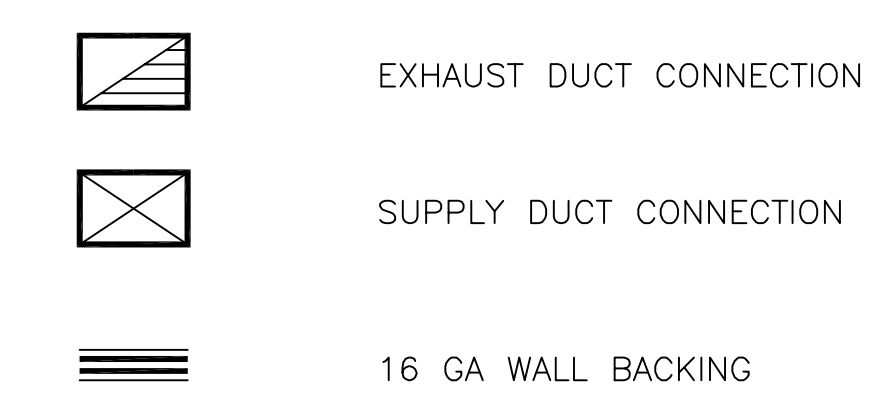
**FOODSERVICE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



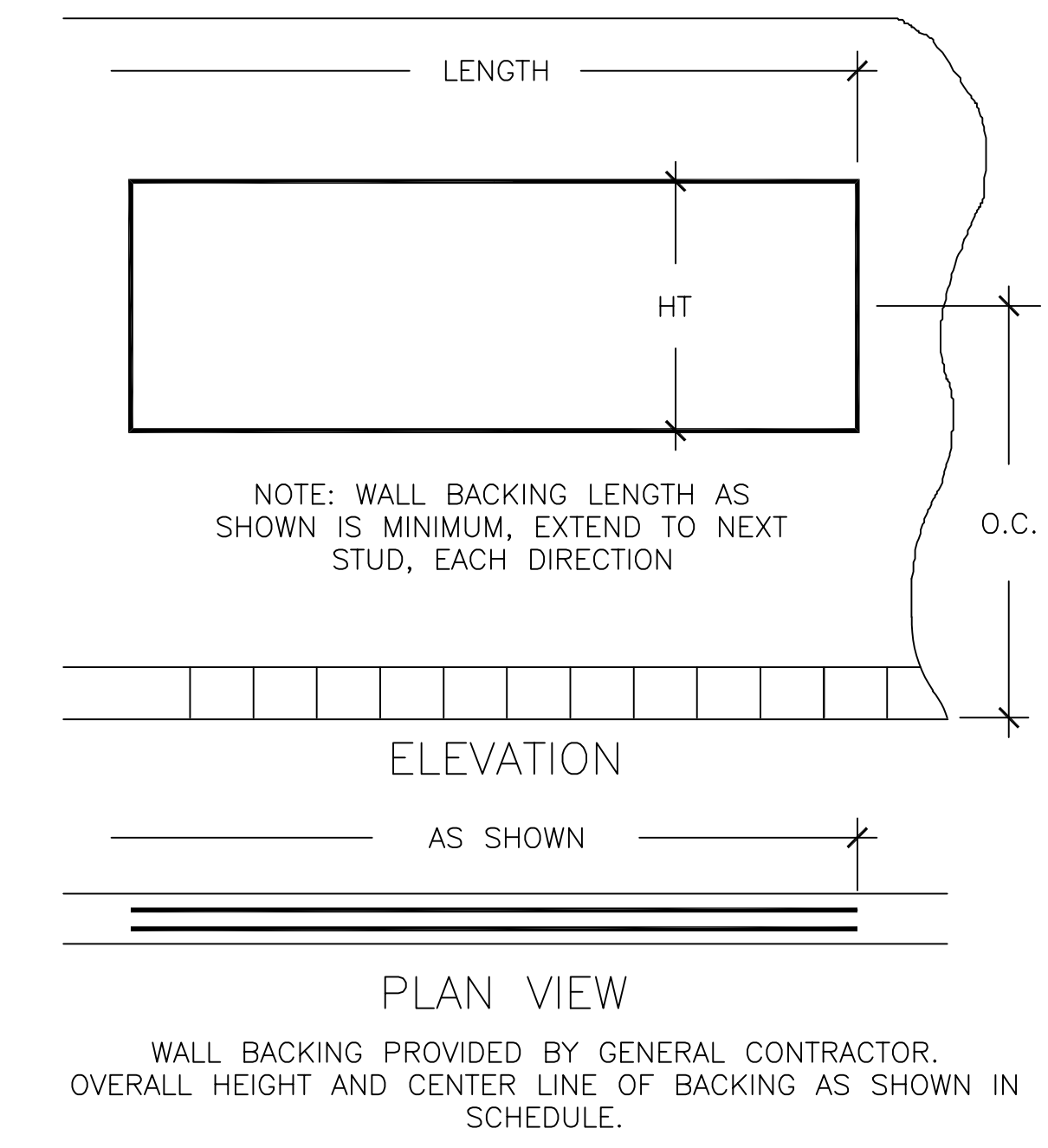


- NOTES:
- GENERAL CONTRACTOR TO PROVIDE:
- A. WORK AS DESCRIBED IN CONTRACT DOCUMENTS AND SUPPLEMENTAL REQUIREMENTS PER FOODSERVICE EQUIPMENT SECTION.
  - B. WALLS, FLOORS AND CEILINGS IN FOODSERVICE AND WASHING AREAS OR ANY OTHER LOCATION WHERE FOOD OR BEVERAGES ARE PREPARED, SHALL BE SMOOTH, EASILY CLEANABLE, NON-ABSORBENT AND DURABLE. WALLS AND CEILINGS SHALL BE "LIGHT-IN COLOR".
  - C. OPENINGS/ACCESS FOR ALL FOODSERVICE EQUIPMENT.
  - D. WALL BACKING FOR WALL MOUNTED FOODSERVICE EQUIPMENT, SEE DETAIL, THIS SHEET.
  - E. COVED FINISHED FLOOR MATERIALS AT ALL VERTICAL SURFACES. (3/8" MINIMUM)
  - F. FIRE RATED MATERIALS AND OR INSULATION AS REQUIRED FOR EXHAUST DUCTS, VENT STACKS, HEAT PRODUCING EQUIPMENT, ROOF/WALL PENETRATIONS PER LOCAL CODES.
  - G. SEE EQUIPMENT PLAN FOR ADDITIONAL HEALTH DEPARTMENT NOTES/REQUIREMENTS.
- MECHANICAL CONTRACTOR TO PROVIDE:
- H. WORK AS DESCRIBED IN CONTRACT DOCUMENTS AND SUPPLEMENTAL REQUIREMENTS PER FOODSERVICE EQUIPMENT SECTION.
  - I. EXHAUST SYSTEMS AND CONTROLS.
  - J. VFD'S AT FAN PACKAGE IF DCKY CONTROLS ARE PART OF FOODSERVICE EQUIPMENT SCOPE.
  - K. FINAL DUCT CONNECTIONS TO EXHAUST HOODS.
  - L. MAKE-UP AIR DIFFUSERS: DO NOT PLACE ANY DIFFUSERS WITHIN 10'-0" OF EXHAUST HOODS AND DO NOT HAVE ANY MAKE-UP AIR DIRECTED TOWARD EXHAUST HOODS.

SYMBOLS:



WALL BACKING DETAIL



VENTILATION / BUILDING CONDITIONS / AIR												
ITEM	QTY	DESCRIPTION	VENTILATION EXHAUST			VENTILATION SUPPLY			WALL BACKING		COMPRESSED AIR	
			SIZE	CFM	WGSP	SIZE	CFM	WGSP	HT	OC	SUP	CFM
1	5	SHELVING										
2	1	ADA HAND SINK W/ SOAP & TOWEL							12"	38"		
3	1	REACH IN REFRIG (EXISTING)										
4	1	COFFEE BREWER										
5	1	WORK TABLE WITH SINK										
6	1	WALL CABINET							30"	73"		
7	1	REACH IN REFRIG (EXISTING)										
8	1	WALL SHELF W/ UTENSIL RACK							12"	69"		
9	1	POT SINK							6"	48"		
10		NOT USED										
11		NOT USED										
12	LOT	TRASH CONTAINER										
13	1	REACH IN FREEZER (EXISTING)										
14	1	1-DR REACH IN FREEZER										
15	1	SERVING COUNTER WITH SINK										
16	1	ROLL UP SERVICE WINDOW										
17	1	EXHAUST HOOD (TYPE-I)	18"x10"	1750	.70							
18	1	ELECTRIC RANGE/OVEN										
19	1	FIRE SUPPRESSION SYSTEM										
20		NOT USED										
21		NOT USED										
22	1	ICE MACHINE										
23	1	EXHAUST HOOD (TYPE-I)	8"x8"	673	.55							
24	1	2-DECK CONVECTION OVEN										
25	1	STAINLESS STEEL WALL FLASHING										
26	1	HOT HOLDING CABINET										
27	1	TYPE K FIRE EXTINGUISHER										
28		NOT USED										
29		NOT USED										
30		NOT USED										

ABBREVIATIONS:  
 CFM CUBIC FEET/MINUTE  
 WGSP WATER GAUGE STATIC PRESSURE  
 HT HEIGHT  
 OC ON CENTER  
 FA FROM ABOVE  
 SCHEDULE / DRAWING NOTES:  
 CONNECTED LOAD = EACH CONNECTION AS SHOWN ON DRAWING



PLANS FOR THE CONSTRUCTION OF

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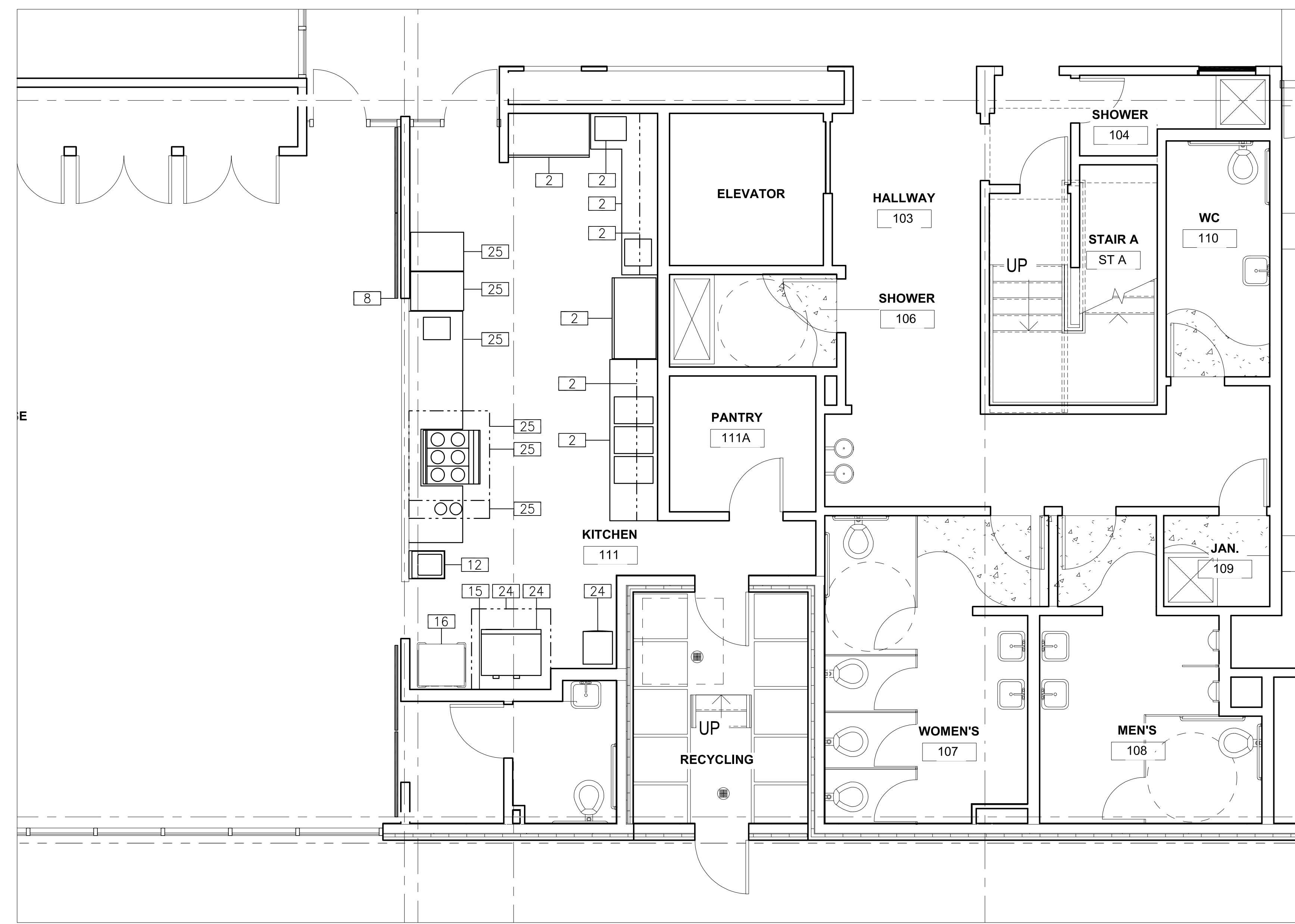
Architect: **SHAH KAWASAKI ARCHITECTS**  
 570 15th Street, Suite 201, Oakland, CA 94612

Consultants: *The Marshall Slocum Co., Inc.*  
 Foodservice & Laundry Consultants/Designers  
 3000 Grand Ave., San Francisco, CA 94115  
 1200 14th Street, Suite 500, Oakland, CA 94612  
 415/871-1200 Fax 415/871-1210

Stamp: **FOODSERVICE BUILDING CONDITIONS AND VENTILATION PLAN**  
 Sheet No. **FS1.12**

**FOODSERVICE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"





- NOTES:
- PLUMBING CONTRACTOR TO PROVIDE:
- WORK AS DESCRIBED IN CONTRACT DOCUMENTS AND SUPPLEMENTAL REQUIREMENTS PER FOODSERVICE EQUIPMENT SECTION.
  - ROUGH-IN AND FINAL CONNECTIONS TO ALL FOODSERVICE EQUIPMENT AS INDICATED ON DRAWINGS AND IN PLUMBING ROUGH-IN SCHEDULE, INCLUDING ALL MATERIALS SUCH AS STOPS, VALVES, FILTERS, TRAPS, CHECK VALVES, PIPING, TUBING AND SHUT OFF'S AS REQUIRED.
  - MINIMUM 120 DEGREE HOT WATER WITH THE EXCEPTION OF HAND WASH SINKS.
  - ALL WASTE LINES AS NOTED.
  - MINIMUM DIAMETER OF LINE AS INDICATED ON SCHEDULE REGARDLESS OF CONNECTION SIZE.
  - ALL DRAINS SLOPED DOWNWARD WITH ADEQUATE CLEAN-OUT PROVISIONS.
  - MAINTAIN DRAINS AS HIGH AS POSSIBLE ABOVE FLOOR.
  - ALL EXPOSED DRAIN LINES TO BE FINISHED IN STAINLESS STEEL PAINT (SEYMOUR 16-054).
  - INSULATION ON ALL HOT WATER AND CONDENSATE LINES.
  - FLOOR SINKS/FLOOR DRAINS. (SET FLUSH WITH FINISHED FLOOR).
  - ALL VENT PIPES ARE TO BE CONCEALED IN WALLS, COLUMNS OR CHASES, USE LOOP-VENTS FOR ISLAND FIXTURES.
  - INTERCONNECTION BETWEEN VENTILATOR AND ANY CONTROL PANEL THAT MAY BE PROVIDED BY MECHANICAL.
  - GREASE TRAPS/INTERCEPTORS (LOCATED OUTSIDE OF KITCHEN AREA) AS SPECIFIED UNDER PLUMBING SECTION.
  - INSTALLATION OF FIRE PROTECTION SYSTEM GAS SHUT-OFF VALVE AND Y-STRAINER, 3" MAXIMUM DIA. (PROVIDED BY HOOD MANUFACTURER/FOODSERVICE EQUIPMENT CONTRACTOR).
  - SEE EQUIPMENT PLAN FOR ADDITIONAL HEALTH DEPARTMENT NOTES/REQUIREMENTS.

- SYMBOLS:
- HOT OR COLD WATER ROUGH-IN/CONNECTION
  - HOT AND COLD WATER ROUGH-IN/CONNECTION
  - HOT AND COLD WATER ROUGH-IN/CONNECTION WITH BRANCH CONNECTION
  - GAS SUPPLY ROUGH-IN/CONNECTION
  - DIRECT WASTE DRAIN ROUGH-IN/CONNECTION
  - INDIRECT WASTE DRAIN TO FLOOR SINK
  - FLOOR SINK WASTE CONNECTION SHOWN ON PLAN
  - FLOOR DRAIN 2" WASTE WITH TRAP PRIMER

PLUMBING ROUGH-IN																			
ITEM	QTY	DESCRIPTION	WATER			WASTE			GAS		CHILLED WATER		STEAM						
			CW	HW	HT	IND	DIR	HT	SUP	MBH	HT	SUP	RET	HT	GPM	SUP	RET	HT	LB/HR
1	5	SHELVING																	
2	1	ADA HAND SINK W/ SOAP & TOWEL	1/2"	1/2"	21"	5	2"												
3	1	REACH IN REFRIG (EXISTING)																	
4	1	COFFEE BREWER	1/2"		46"														
5	1	WORK TABLE WITH SINK	1/2"	1/2"	15"	10	1-1/2"												
6	1	WALL CABINET																	
7	1	REACH IN REFRIG (EXISTING)																	
8	1	WALL SHELF W/ UTENSIL RACK																	
9	1	POT SINK	1/2"	1/2"	15"	45	2"	12"											
10		NOT USED																	
11		NOT USED																	
12	LOT	TRASH CONTAINER																	
13	1	REACH IN FREEZER (EXISTING)																	
14	1	1-DR REACH IN FREEZER																	
15	1	SERVING COUNTER WITH SINK	1/2"	1/2"	18"	10	1"												
16	1	ROLL UP SERVICE WINDOW																	
17	1	EXHAUST HOOD (TYPE-I)																	
18	1	ELECTRIC RANGE/OVEN																	
19	1	FIRE SUPPRESSION SYSTEM																	
20		NOT USED																	
21		NOT USED																	
22	1	ICE MACHINE	1/2"		30"	1"													
23	1	EXHAUST HOOD (TYPE-I)																	
24	1	2-DECK CONVECTION OVEN																	
25	1	STAINLESS STEEL WALL FLASHING																	
26	1	HOT HOLDING CABINET																	
27	1	TYPE K FIRE EXTINGUISHER																	
28		NOT USED																	
29		NOT USED																	
30		NOT USED																	

ABBREVIATIONS:

CW	COLD WATER	MBH	BRITISH THERMAL UNIT x 1000	HT	HEIGHT
HW	HOT WATER	SUP	SUPPLY	SD	STUB DOWN FROM UTILITY WALL
GPH	GALLONS PER HOUR (HOT WATER)	RET	RETURN	FA	FROM ABOVE
IND	INDIRECT WASTE (AIR GAP)	GPM	GALLONS PER MINUTE	STUB	UTILITY UP FROM FLOOR
DIR	DIRECT WASTE	BHP	BOILER HORSE POWER		

SCHEDULE / DRAWING NOTES:  
 CONNECTED LOAD = EACH CONNECTION AS SHOWN ON DRAWING  
 REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN INFORMATION



PLANS FOR THE CONSTRUCTION OF

NOTE: If this drawing is not 30"x42" it has been revised from its original size and the scales noted on drawing/details are no longer applicable.

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DESIGNED BY

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CHECKED BY

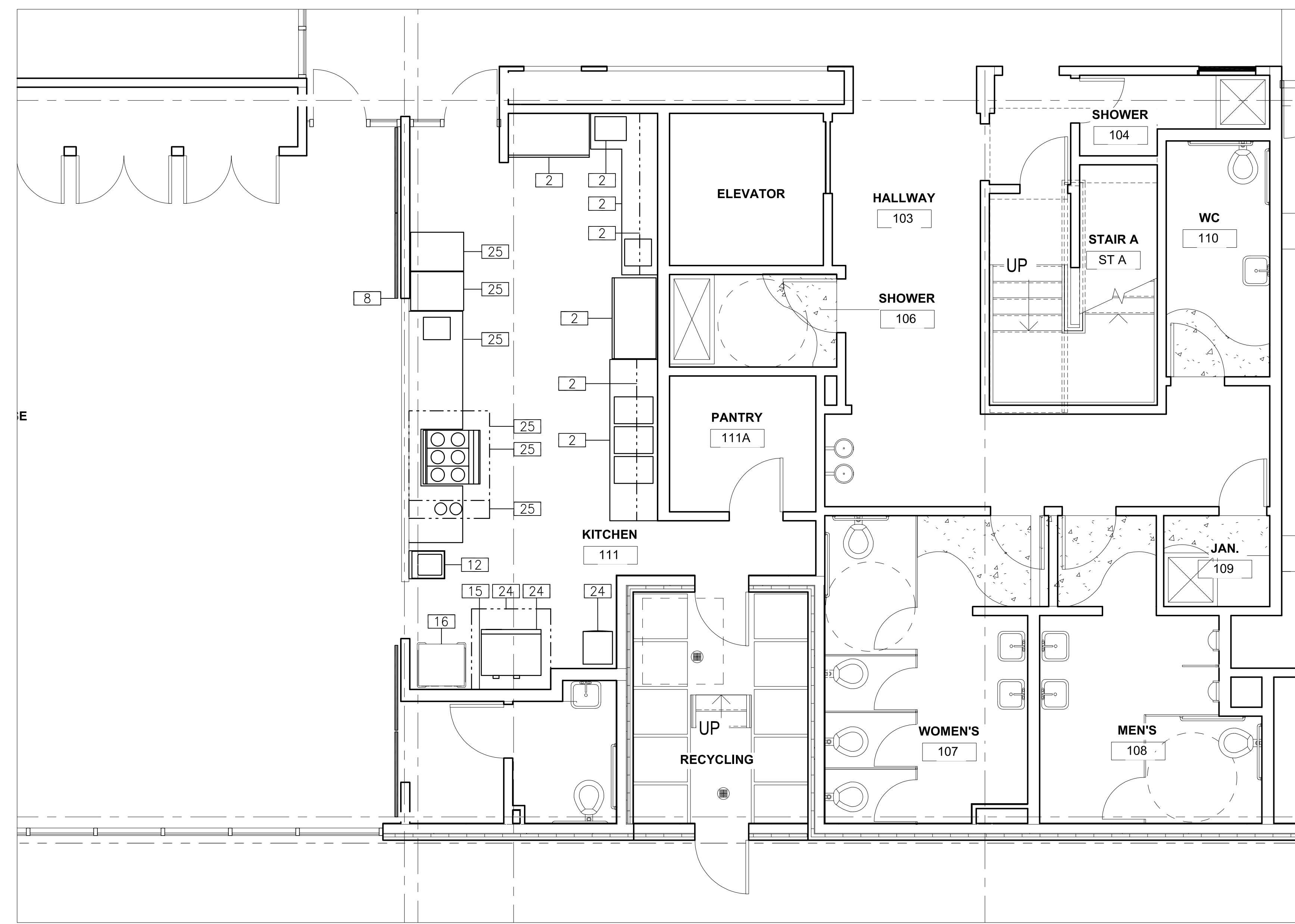
NO.	DATE	ISSUE DESCRIPTION
06/23/2022		DESIGN DEVELOPMENT
10/04/2022		DRC REVIEW

Architect <b>SHAH KAWASAKI ARCHITECTS</b> 570 15th Street, Suite 201 Oakland, CA 94612	Consultants <i>The Marshall Slocum Co., Inc.</i> Foodservice & Laundry Consultants/Engineers 3000 Grand Ave., Suite 1000 1700 14th Street, Suite 100 Oakland, CA 94612 Fax: 415/871-1210
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Stamp	Sheet Name <b>FOODSERVICE PLUMBING ROUGH-IN PLAN</b>
	Sheet No. <b>FS1.13</b>

**FOODSERVICE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"





- NOTES:
- ELECTRICAL CONTRACTOR TO PROVIDE:
- A. WORK AS DESCRIBED IN CONTRACT DOCUMENTS AND SUPPLEMENTAL REQUIREMENTS PER FOODSERVICE EQUIPMENT SECTION.
  - B. ROUGH-IN AND FINAL CONNECTION TO ALL FOODSERVICE EQUIPMENT AS INDICATED ON DRAWINGS AND IN ELECTRICAL ROUGH-IN SCHEDULE.
  - C. ALL JUNCTION-BOXES, ELECTRICAL OUTLETS, COVER PLATES, SWITCHES NOT BUILT INTO FIXTURES OR EQUIPMENT.
  - D. DISH WASH AREAS TO HAVE VAPOR PROOF COMPONENTS.
  - E. SHUNT TRIP CIRCUIT BREAKERS FOR ALL FOODSERVICE EQUIPMENT BELOW EXHAUST HOODS.
  - F. SEE EQUIPMENT PLAN FOR ADDITIONAL HEALTH DEPARTMENT NOTES/REQUIREMENTS.
- INTERCONNECTION BETWEEN:
- A. FOODSERVICE EQUIPMENT WITH SWITCH ACTIVATION.
  - B. FIRE PROTECTION SYSTEM AND BUILDING LIFE SAFETY.

- SYMBOLS:
- JUNCTION BOX ROUGH-IN
  - JUNCTION BOX CONNECTION PROVIDED IN EQUIPMENT
  - DUPLEX OUTLET ROUGH-IN
  - SINGLE PHASE POWER OUTLET ROUGH-IN
  - THREE PHASE POWER OUTLET ROUGH-IN
  - FLUSH FLOOR DUPLEX OUTLET ROUGH-IN WITH DATA CONNECTION
  - CONDUIT STUB-UP ROUGH-IN
  - LIGHT/POWER SWITCH ROUGH-IN
  - FIRE PROTECTION PULL BOX - OCTAGONAL BOX 48" AFF WITH CONDUIT TO CEILING

ELECTRICAL ROUGH-IN		CONNECTED LOAD						CONNECTION TYPE				
ITEM	QTY	DESCRIPTION	120/1	120/208/1	120/208/3	208/1	208/3	480/3	HT	C&P	RECP	HW
1	5	SHELVING										
2	1	ADA HAND SINK W/SDAP & TOWEL							88"	*		
3	1	REACH IN REFRIG (EXISTING)	9.1 AMP						88"	*		
4	1	COFFEE BREWER		25.4 AMP					52"	*	*	
5	1	WORK TABLE WITH SINK	4 AMP						46"	*	*	
6	1	WALL CABINET										
7	1	REACH IN REFRIG (EXISTING)	5.4 AMP						88"	*		
8	1	WALL SHELF W/ UTENSIL RACK										
9	1	POT SINK										
10		NOT USED										
11		NOT USED										
12	LOT	TRASH CONTAINER										
13	1	REACH IN FREEZER (EXISTING)	12.02 AMP						88"	*		
14	1	1-DR REACH IN FREEZER	7.5 AMP						88"	*		
15	1	SERVING COUNTER WITH SINK	4 AMP						42"	*	*	
16	1	ROLL UP SERVICE WINDOW										
17	1	EXHAUST HOOD (TYPE-I)										
18	1	ELECTRIC RANGE/OVEN					49 AMP		24"	*	*	
19	1	FIRE SUPPRESSION SYSTEM	20A CKT									
20		NOT USED										
21		NOT USED										
22	1	ICE MACHINE	5.3 AMP						42"	*	*	
23	1	EXHAUST HOOD (TYPE-I)	4 AMP						FA		*	
24	1	2-DECK CONVECTION OVEN					62 AMP		30"/60"	*	*	
25	1	STAINLESS STEEL WALL FLASHING										
26	1	HOT HOLDING CABINET	15 AMP						84"	*		
27	1	TYPE K FIRE EXTINGUISHER										
28		NOT USED										
29		NOT USED										
30		NOT USED										

ABBREVIATIONS:  
 C&P CORD AND PLUG  
 RECP RECEPTACLE  
 HW HARDWIRE  
 HT HEIGHT  
 FA FROM ABOVE

SCHEDULE / DRAWING NOTES:  
 CONNECTED LOAD = EACH CONNECTION SHOWN ON DRAWING  
 CONNECTION TYPES PROVIDED BY ELECTRICAL DIVISION



PLANS FOR THE CONSTRUCTION OF

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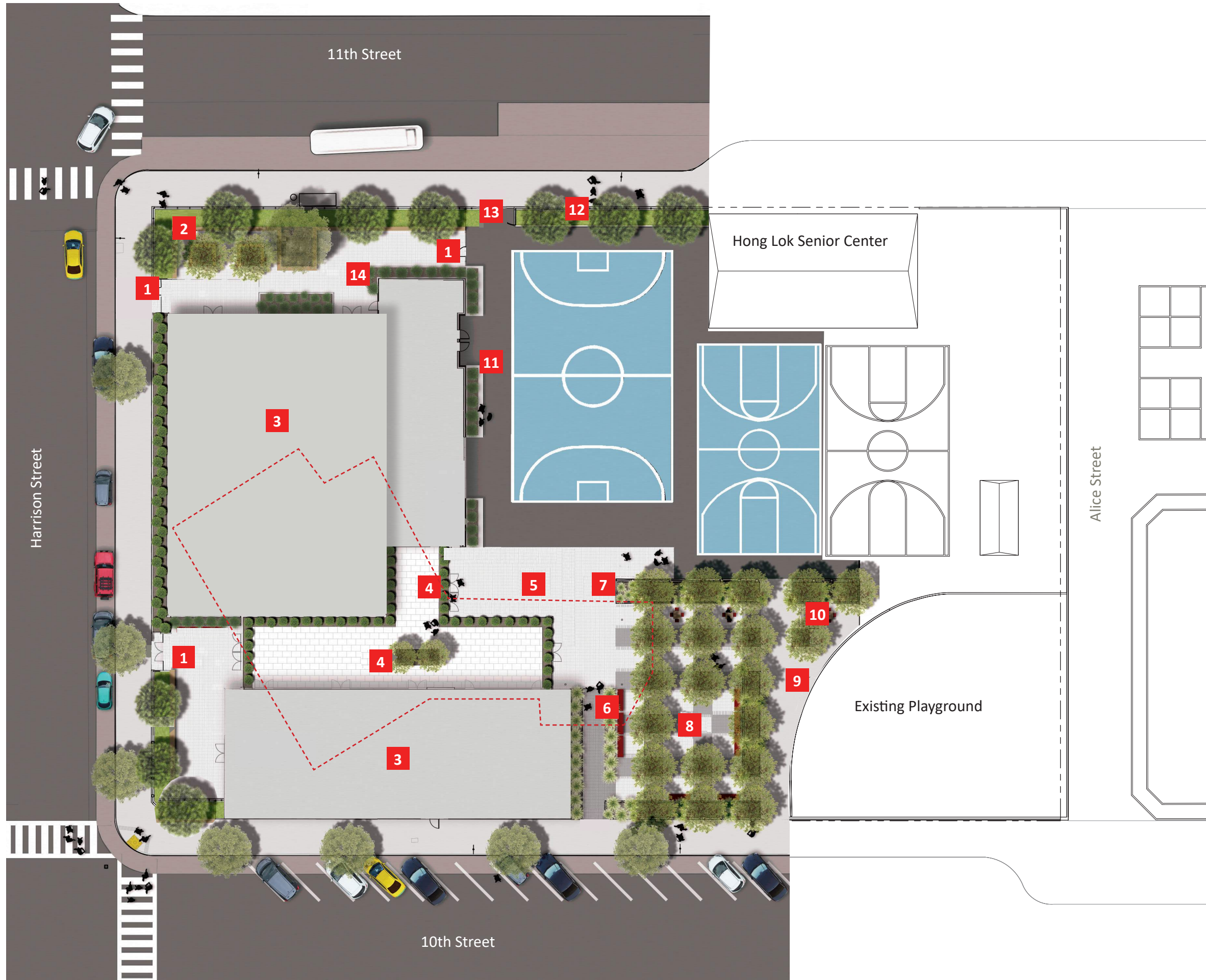
Stamp: **FOODSERVICE ELECTRICAL ROUGH-IN PLAN**  
 Sheet No. **FS1.14**

**FOODSERVICE FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

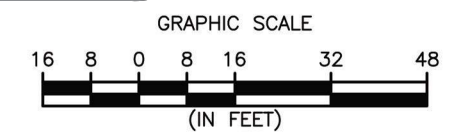


# Attachment- B

## Site Plan



- 1** Locking gate
- 2** Wood seatwall around patio and around trees
- 3** New building
- 4** Roof garden planting area
- 5** Linear pavers at entry plaza
- 6** Bicycle Parking
- 7** 8' metal "bamboo" screen
- 8** Courtyard with two-color woven paving pattern
- 9** New concrete paving
- 10** Game table with red seats
- 11** Raised stormwater planter with seating
- 12** 10' chain-link fence
- 13** Vehicle entry
- 14** Stormwater planter
- Existing recreation center





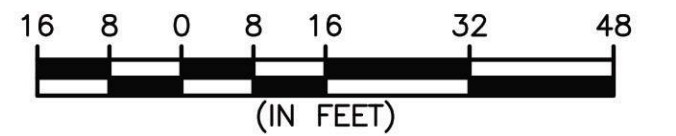


## Level 1 Floor Plan

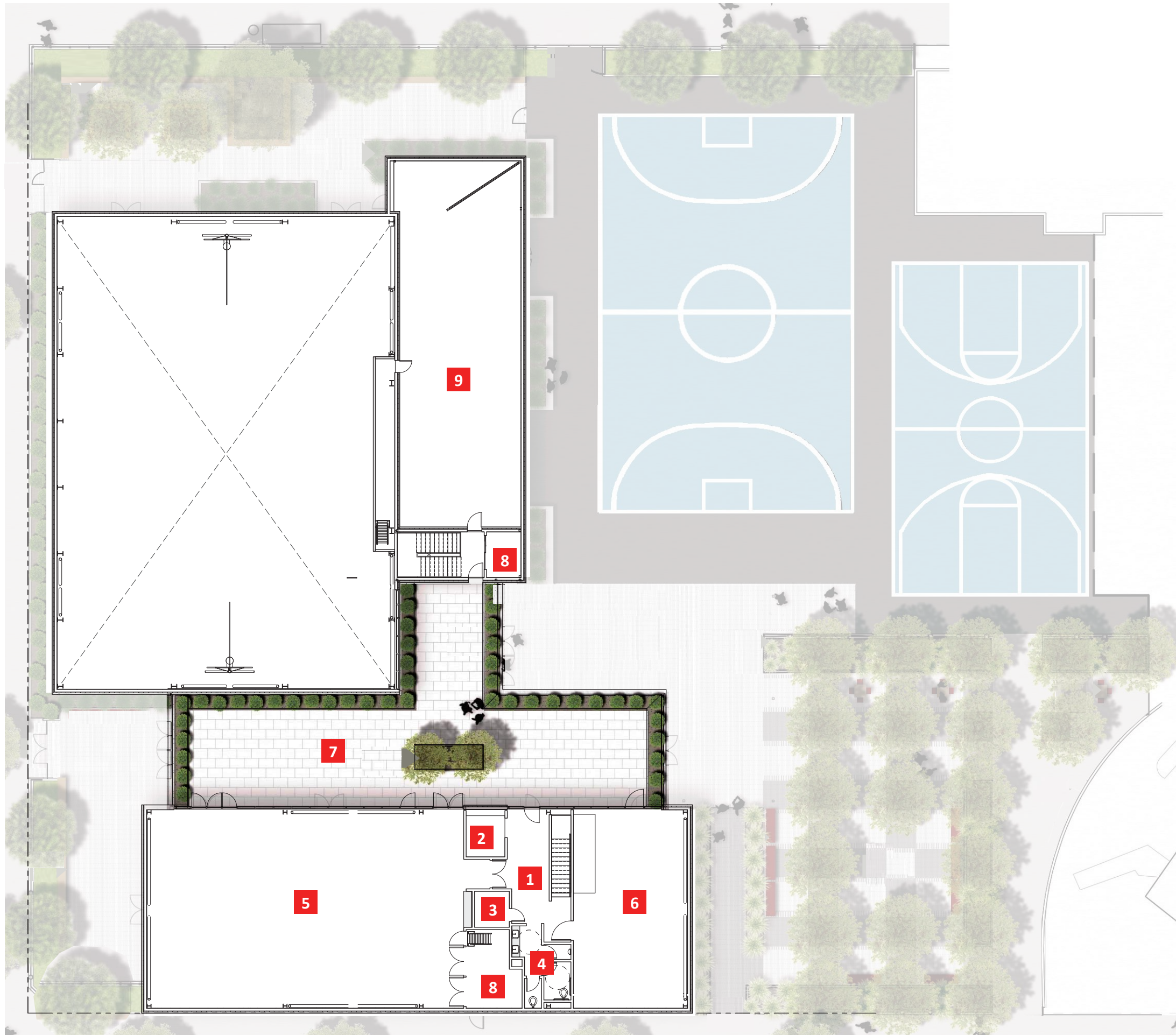
- 1** Lobby
- 2** Office
- 3** IT
- 4** Shower
- 5** Restroom
- 6** Janitor's closet
- 7** Elevator
- 8** Pantry
- 9** Recycling
- 10** Kitchen
- 11** Multipurpose room 1
- 12** Multipurpose room 2
- 13** Gymnasium
- 14** Multipurpose room 3 / Stage
- 15** Storage
- 16** Mechanical / Electrical



GRAPHIC SCALE





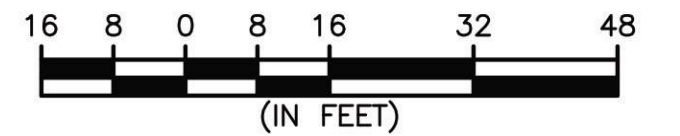


## Level 2 Floor Plan

- 1** Lobby
- 2** Elevator
- 3** Elevator machine room
- 4** Restroom
- 5** Multipurpose room 4
- 6** Multipurpose room 5
- 7** Roof garden
- 8** Storage
- 9** Roof area : mechanical / electrical



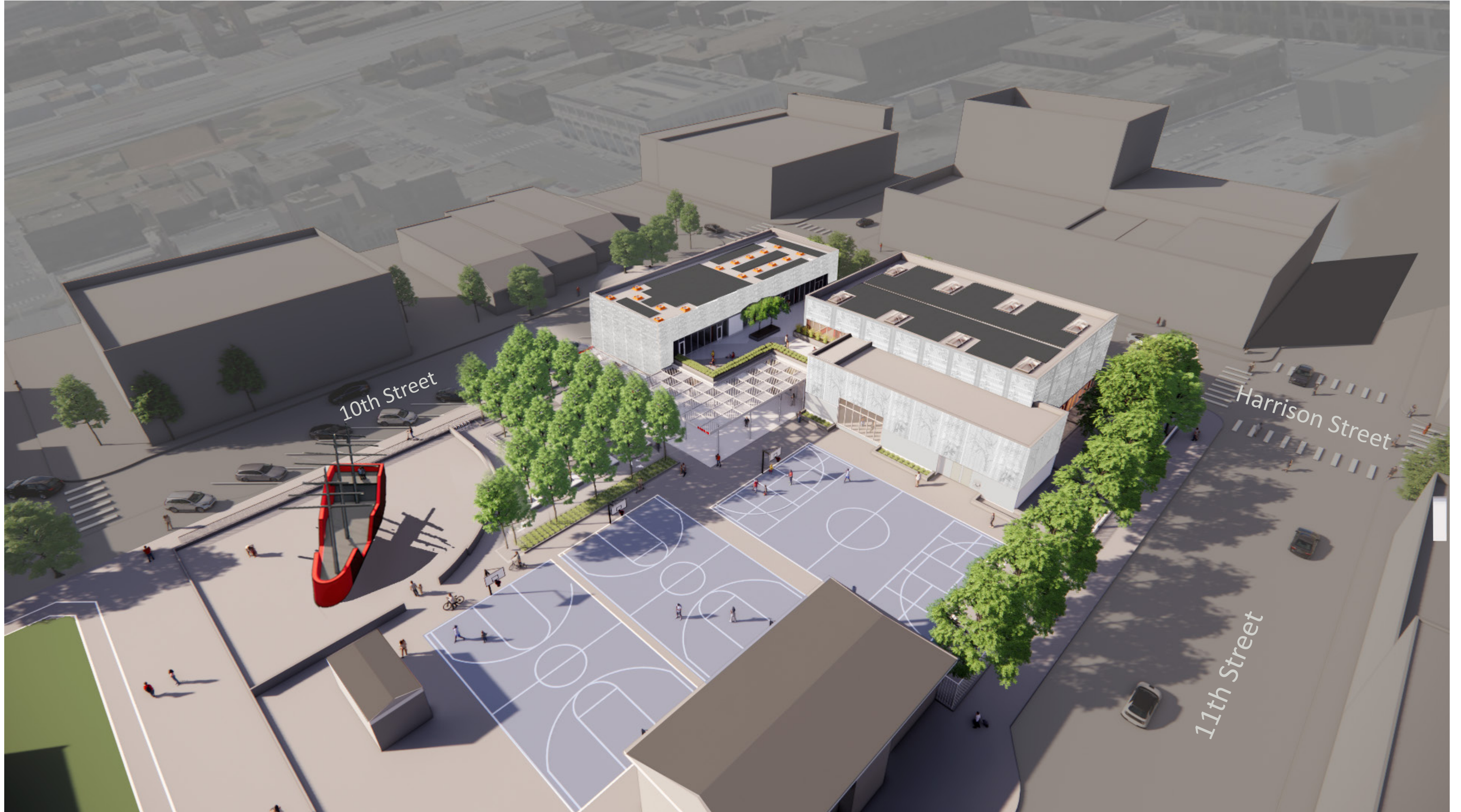
GRAPHIC SCALE





## Bird's Eye View

The building stands close to adjacent sidewalks to encourage interactions between pedestrians and recreation center visitors. The main entrance faces the park with a trellis structure marking the entrance on 10th Street. The stage can open to the park or the gymnasium for indoor and outdoor functions.





# View from the Park

The building is a modern interpretation of the courtyard architecture common in China, where more private quarters are arranged around a more communal central courtyard.



Clusters of multi-purpose rooms and the gymnasium connect at the roof garden on Level 2 and the flexible lobby spaces on Level 1. The glass fiber reinforced concrete (GFRC) panels emulate weavings with three motifs: Ohlone patterns, Chinese symbols of well-wishes, and the flora of Oakland.

Top: View with trees removed for clearer reading of the building

Right: View with a grove of trees. The design triples the number of trees at the park to honor the original Lincoln Square, which was much more verdant than it is now.





## View from Harrison Street

The composition between the opaque GFRC panels and the clear glazing focuses passersby's attention on the activities inside the recreation center. The glazed walls in the lobby are taller than the glazed walls in activity spaces to draw a contrast between areas for socializing and rooms for focused activities.



The contrast is also a nod to the Chinese courtyard architecture and its differentiation between communal and private spheres. The building is see-through in most parts of Level 1, a request by the neighbors who hope the presence of recreation center staff and visitors will help alleviate the violence the community has faced recently.



View from Harrison Street- Daytime





View from Harrison Street- Chinese New Year Lighting





# GFRC Cladding- Design Strategy

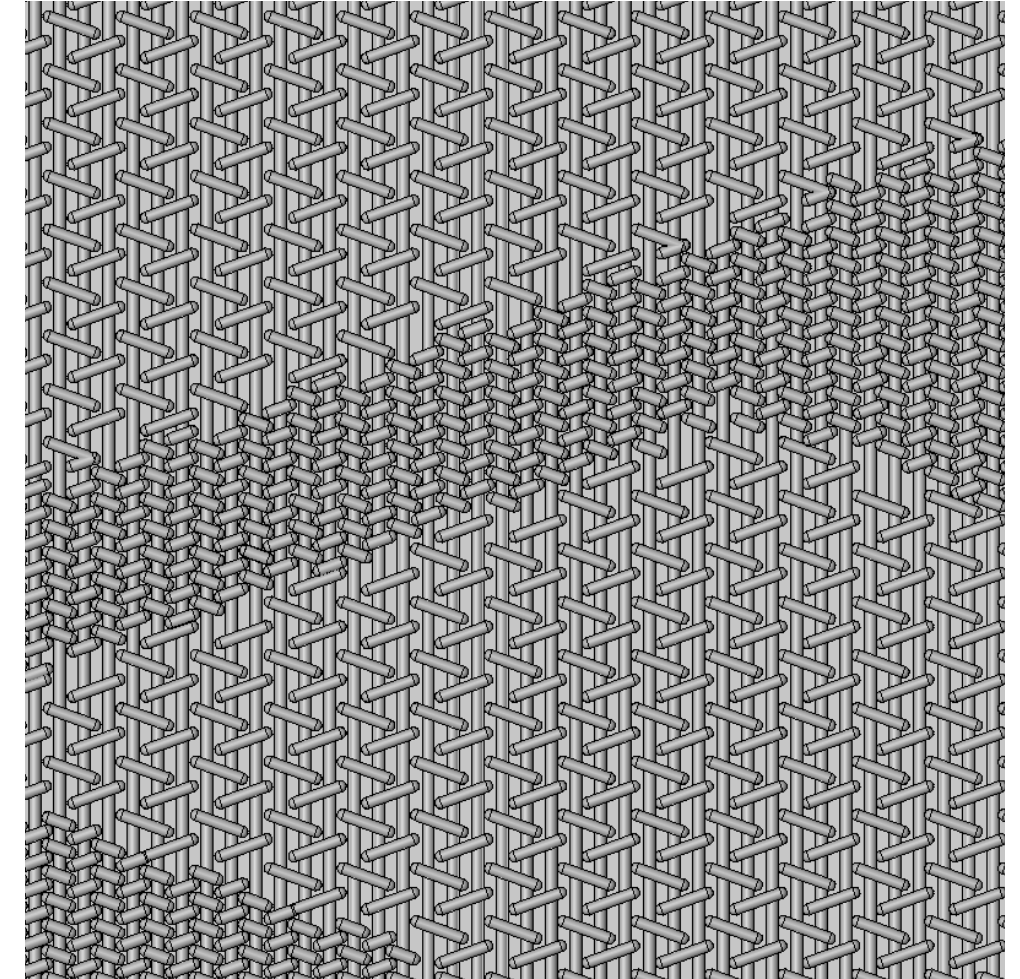
GFRC (Glass Fiber Reinforced Concrete) was chosen for its large-scale panels, which provided an intermediate scale between the building massing and the human body as well as high thermal performance and economy of material and labor. It also has the ability to cast detailed texture to create images. Linda Yamane, an Ohlone artist, showed the design team how to create visual contrast using a weaving technique of a single-material, laying foundation for the design strategy of the cladding.



GFRC Samples  
top: no texture  
bottom: textured



Linda Yamane holding work baskets that inspired the cladding design



Close up view of the 3D model



# Cladding Motif 1: Kesi (Chinese Tapestry)

The community that organized and advocated for a new Lincoln Recreation Center envisions the building as a safe and vibrant hub that welcomes everyone and shares its history as a mainstay of Oakland’s Chinatown. The building honors the history of those who have ever called the land home and celebrates their shared love of this place.

Kesi is a prized traditional Chinese tapestry, commonly used to signify well-wishes. The imagery refers to a greeting, “may you live as long as the southern mountains and may your luck be as vast as the eastern seas.”

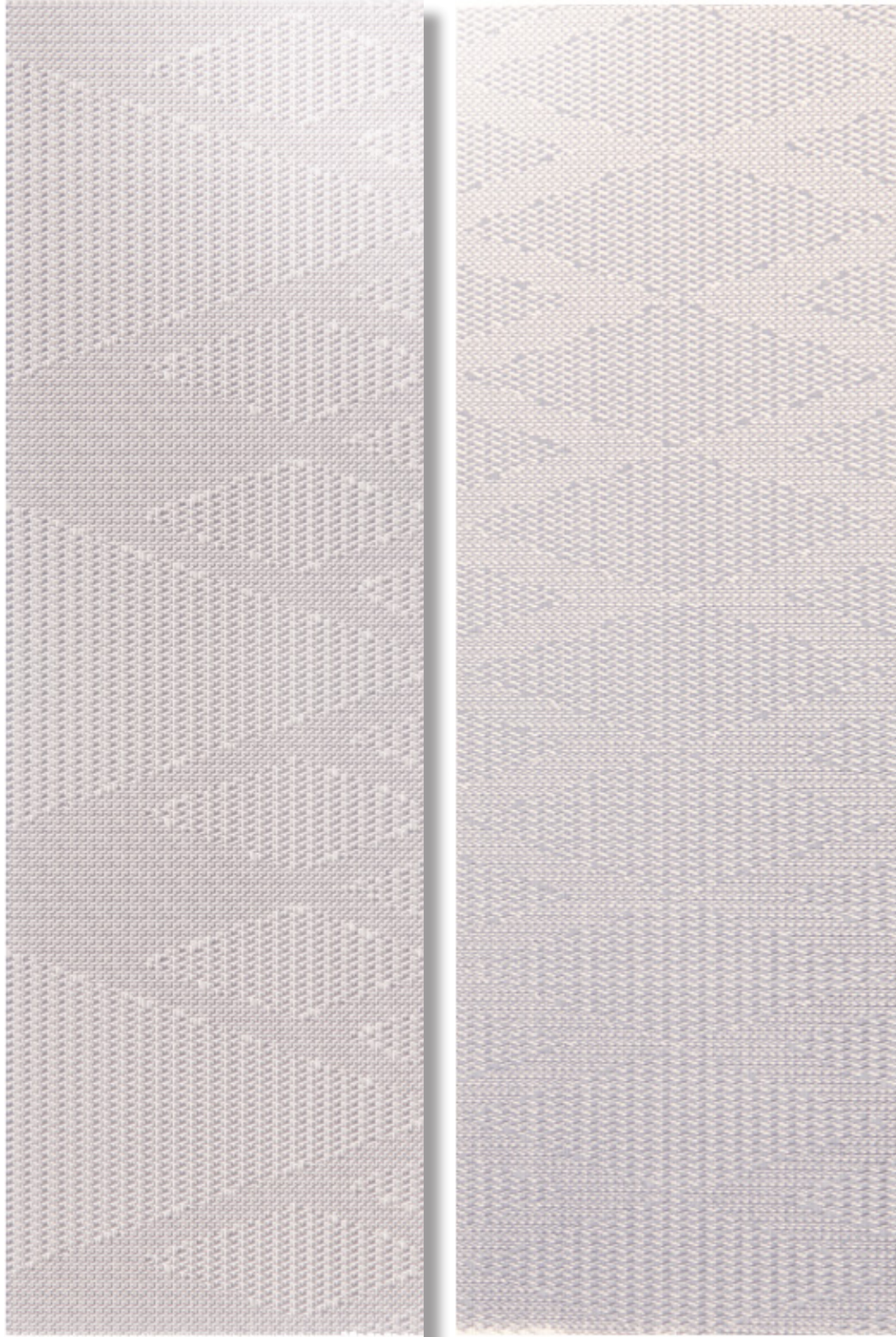
The choice of the motif was a community effort, advised by David Lei, a Chinese cultural consultant, and this motif wraps around the gymnasium.





## Cladding Motif 2: Ohlone Fishing Net

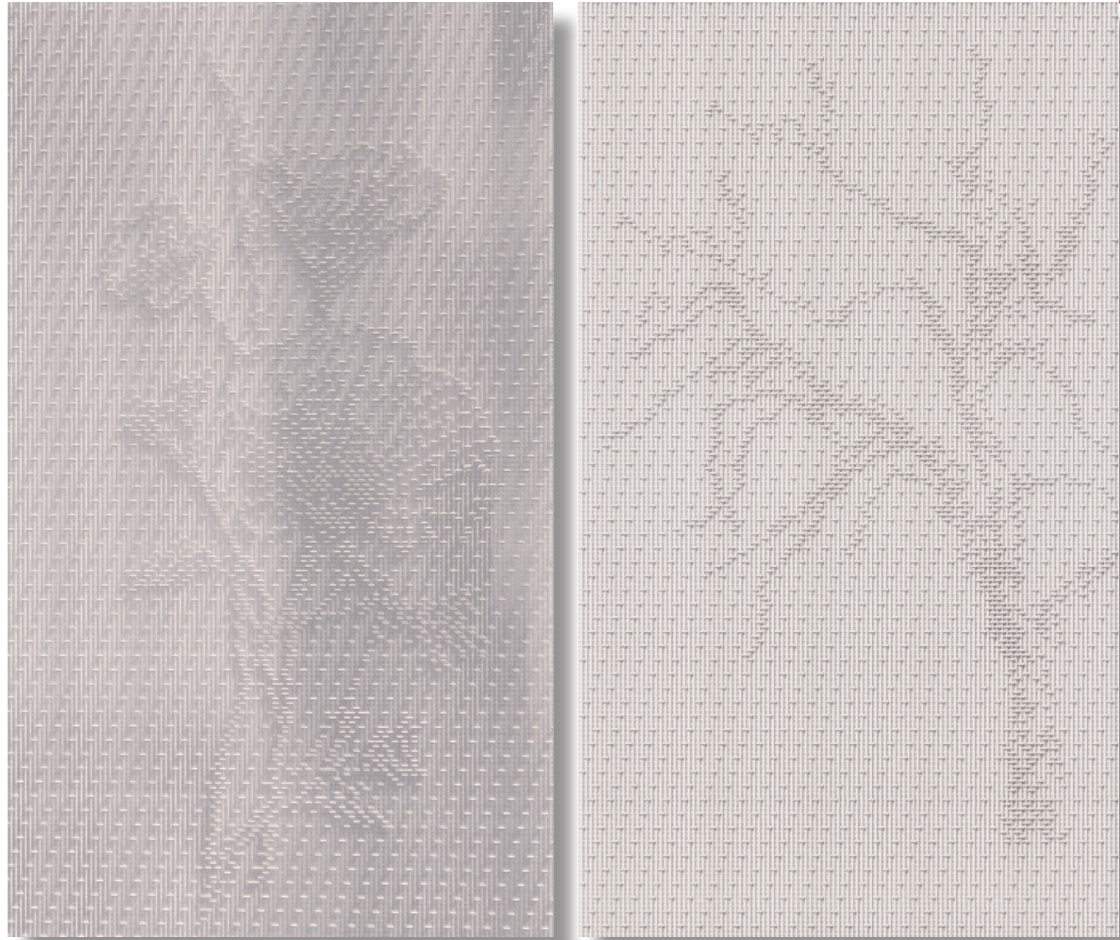
The design celebrates the Ohlone tribe with a motif based on the traditional fishing net. A fishing net is a significant object in the Ohlone culture. Not only did it deliver fish, an important ingredient of the Ohlone diet, but making and mending it was a communal activity and an integral part of the social life. It is a metaphor for Lincoln Square Recreation Center and its role as the community's gathering place.





# Cladding Motif 3: California Flora

The shorter volume of the three major massing of the project is cladded with panels that represent the California poppy and a Coast Live Oak.





# Bird's Eye View

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# ATTACHMENT C

9 FOOT TALL BUILDING BASE





# View from the Park

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9 FOOT TALL BUILDING BASE



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9 FOOT TALL BUILDING BASE



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12 FOOT TALL BUILDING BASE





12 FOOT TALL BUILDING BASE





12 FOOT TALL BUILDING BASE



LINCOLN SQUARE RECREATION CENTER



12 FOOT TALL BUILDING BASE

