

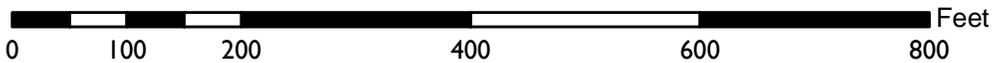
<b>Location:</b> 1396-5 <sup>th</sup> Street (See map on reverse)
<b>Assessor's Parcel Numbers:</b> 004-0069-004-00
<b>Proposal:</b> Design Review discussion for a proposal to construct an eight story residential building containing 222 dwelling units. The proposal includes 16 units designated as very-low income.
<b>Applicant:</b> Scott Cooper / The Michaels Organization
<b>Owners:</b> Oakland Housing Investors LP
<b>Planning Permits Required:</b> Regular Design Review for new construction, Minor Conditional Use Permit for driveway location, and Major Conditional Use Permit for a development project in excess of 100,000 square feet in the S-15 Zone.
<b>General Plan:</b> Community Commercial
<b>Zoning:</b> S-15(W)
<b>Environmental Determination:</b> Determination Pending
<b>Historic Status:</b> Not a historic property
<b>City Council District:</b> 3
<b>For further information:</b> Contact case planner <b>Pete Vollmann</b> at (510) 238-6167 or by email: <a href="mailto:pvollmann@oaklandca.gov">pvollmann@oaklandca.gov</a> .

**SUMMARY**

The Michaels Organization has filed an application with the Bureau of Planning to develop an eight-story residential building that would include 222 dwelling units, 16 of which would be designated as affordable for very-low income households.

Staff requests that the Design Review Committee receive public testimony and provide comments on the proposed design.

# CITY OF OAKLAND PLANNING COMMISSION



Case File: PLN20101  
Applicant: Scott Cooper / The Michaels Organization  
Address: 1396 5th Street  
Zone: S-15(W)  
Height Area: 160 ft

**PROPERTY DESCRIPTION**

The subject property consists of a 38,394 square-foot site located on the north side of 5<sup>th</sup> Street between Mandela Parkway and Kirkham Street. The northern end of the site is directly adjacent to the BART aerial tracks leading into the West Oakland BART station. The site had previously been entitled for a senior housing development that was subject to a large fire during construction and the remaining structure was subsequently demolished to entirely clear the site.

**PROJECT DESCRIPTION**

The proposed Project would construct an eight-story residential building containing 222 dwelling units. The residential apartments would be located on the upper seven floors with the ground floor containing the building’s residential lobby, tenant amenities, parking and a small commercial space. The applicant is taking advantage of the Affordable Housing Density bonus and would include 16 dwelling units that would be designated as affordable for very-low income households. The applicant is also looking to include development waivers and concessions allowed with the Affordable Housing Density Bonus Law to allow a reduction to the required parking, required open space and courtyard separation.

**ZONING ANALYSIS**

The subject property is located within the S-15 W Transit Oriented Development Commercial Zone (“W” being designated to the S-15 Zone in West Oakland established through the West Oakland Specific Plan). The Transit-Oriented Development (S-15) Zones are intended to create, preserve and enhance areas devoted primarily to serve multiple modes of transportation and to feature high-density residential, commercial, and mixed-use developments to encourage a balance of pedestrian-oriented activities, transit opportunities, and concentrated development; and encourage a safe and pleasant pedestrian environment near transit stations by allowing a mixture of Residential, Civic, Commercial, and Light Industrial Activities, allowing for amenities such as benches, kiosks, lighting, and outdoor cafes; and by limiting conflicts between vehicles and pedestrians, and is typically appropriate around transit centers such as Bay Area Rapid Transit (BART) stations, AC Transit centers, and other transportation nodes.

The site is located within the 160 Height Zone, which allows for a permitted height of 160 feet and residential density of one dwelling unit per 225 square feet of lot area and a commercial FAR of 5.0.

**Residential Density**

As previously mentioned, the 160 height zone in which the Project site is located allows for a maximum residential density of one dwelling unit per 225 square feet of lot area. The zoning density for the 38,394 square foot lot would allow a maximum of 170 dwelling units. The applicant is looking to apply the Affordable Housing Density Bonus with designating 9% of the baseline dwelling units as affordable to very-low income households which allows for a density bonus of 30%.

The breakdown of the residential density is explained in the table below.

Site Area	Height Area 160 Density	30% Affordable Bonus (9% very low income)	Total Dwellings Allowed
38,394 square feet	1:225 square feet of site = <b>171 (170.3)*</b>	<b>52 (51.3)*</b>	<b>223</b>

\* Affordable Housing State Density Bonus Law allows fractional density calculations to round up to the next whole number.

**DESIGN REVIEW**

The proposed project would include more than 100,000 square feet of new floor area, and pursuant to Planning Code Section 17.97.030 a Major Conditional Use Permit is required which requires the approval of the Planning Commission. Staff requests that the Design Review Committee review the proposal and provide feedback prior to the Project appearing before the full Planning Commission for a decision on the development application.

The proposed design consists of a podium base that is built out to the street fronting property lines and setback from the BART aerial structure to the north by 20 feet as required by BART. The podium base includes the ground floor lobby, residential tenant amenities and ground floor retail with off-street parking and loading located behind the active facilities fronting the streets. Access to the parking garage would be provided by a driveway located on Kirkham Street.

Floors two through eight of the building would contain the residential dwelling units and would be built out to the street fronting property except for the two south facing courtyards that provide group open space above the podium level on the second floor. The top floor would also recess at the southwestern corner to allow for additional rooftop open space for use by the residents.

The northern side of the building that faces directly onto the BART aerial structure would consist of a solid wall setback 20 feet, which would shield the dwellings and open space from the frequently passing BART trains. Landscaping, including vertically oriented columnar trees would be provided at the ground level to provide a visual buffer to the building wall at the lower levels while still providing the area necessary for BART employees to access the aerial structure for maintenance. The proposal includes using the northern wall as a location to provide the

public art requirement for the project, which would be highly visible from 7<sup>th</sup> Street as well as to passengers on BART.

Overall, staff is supportive of the proposed project design as the building is sited appropriately and includes a break-up of the massing that incorporates well designed courtyard open spaces that will be able to take advantage of the southern exposure for sunlight. The building establishes an active ground floor along the majority of the street fronting elevations, and at the upper levels contains a simple but well composed façade with the opening patterns and alternating stucco exterior colors.

Staff has the following limited comments on the proposed design for consideration by the Committee:

#### Ground Floor Retail Location

The proposed Project includes an area designated for commercial use at the ground floor at the intersection of Kirkham and 5<sup>th</sup> Streets. Staff recognizes that this commercial space is intended to be oriented to the 500 Kirkham Street project across the street (that was recently approved that would contain approximately 1000 dwelling units and a number of ground floor commercial uses); however, staff feels that this commercial use would have a higher chance for success if it were located at the corner of Mandela Parkway, as it would be in closer proximity to the West Oakland BART station where there would be a higher level of pedestrian activity. Furthermore, the 500 Kirkham site is separate from the project site by the BART aerial and the commercial space for the project as currently proposed would be oriented to the back side of that development project. Staff could also consider the removal of the ground floor commercial space from the development program given the desire to focus these types of activities on the 7<sup>th</sup> Street corridor.

#### Northern Art Wall

While staff feels that the use of the building wall adjacent to the BART aerial structure is appropriate for the installation of the required public art, staff feels that more architectural treatment should be provided for this wall in addition to the public art. This could be achieved by simply providing vertical accents to the building wall similar to those used elsewhere along the building façade to help to break down the long horizontal wall that runs the entire distance across the site.

**RECOMMENDATION**

Staff recommends that the Committee review the proposed project for appropriate site and building design considerations and provide direction to staff and the project applicant prior to the development application being presented before the full Planning Commission.

Prepared by:



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PETERSON Z. VOLLMANN  
Planner IV

Approved:



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CATEHRINE PAYNE  
Acting Development Planning Manager

Attachments:

- A. Project Plans

# GOLDEN WEST

SCHEMATIC DESIGN 08/14/20



1396 5TH STREET  
WEST OAKLAND, CA

**SHEET INDEX**

G.00	COVER SHEET	L1.0	NOTES AND LEGENDS
G.01	PROJECT INFORMATION	L2.0	GROUND FLOOR LANDSCAPE PLAN
G.02	PROJECT STATS	L2.1	FLOOR 2 & 8 LANDSCAPE PLAN
G.03	SITE PHOTOS	L3.0	WATER USE PLAN
G.04	SITE PHOTOS	L4.0	PRECEDENT IMAGERY
G.05	SITE MASSING		
G.06	WATER FLOW & PRESSURE		
G.07	GREEN POINT RATING	C0.0	TITLE SHEET
G.08	SHADOW STUDY	C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
G.09	SHADOW STUDY	C2.0	PRELIMINARY SITE PLAN
G.10	SHADOW STUDY	C3.0	PRELIMINARY GRADING PLAN
		C4.0	PRELIMINARY UTILITY PLAN
AP.00	SITE PLAN	C5.0	EROSION CONTROL PLAN
AP.01	FLOOR 1 PLAN	C5.1	BEST MANAGEMENT PRACTICES
AP.02	FLOOR 2 PLAN	C6.0	STORMWATER CONTROL PLAN
AP.03	FLOOR 3-7 PLAN	C6.1	STORMWATER CONTROL PLAN
AP.04	FLOOR 8 PLAN		
AP.05	ROOF PLAN	JT5	JOINT TRENCH COMPOSITE PLAN
AP.10	RENDERING	1	TOPOGRAPHIC AND BOUNDARY SHEET
AP.11	RENDERING	1	PARCEL MAP WAIVER
AP.12	RENDERING		
AP.13	RENDERING		
AP.30	BUILDING ELEVATION		
AP.31	BUILDING ELEVATION		
AP.32	BUILDING ELEVATION MATERIALS		
AP.35	BUILDING SECTION		
AP.36	FIRE EXHIBIT		
AP.50	UNIT PLANS		
AP.51	UNIT PLANS		

**APPLICABLE CODES**

OAKLAND MUNICIPAL CODE

2019 CALIFORNIA BUILDING CODE & AMENDMENTS (CBC)  
 2019 CALIFORNIA MECHANICAL CODE & AMENDMENTS (CMC)  
 2019 CALIFORNIA PLUMBING CODE & AMENDMENTS (CPC)  
 2019 CALIFORNIA ELECTRICAL CODE & AMENDMENTS (CEC)  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA FIRE CODE & AMENDMENTS (CFC)  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2019 CALIFORNIA BUILDING CODE CHAPTER 11A  
 2019 CALIFORNIA BUILDING CODE CHAPTER 11B  
 2019 NFPA 13  
 2019 NFPA 14  
 2019 NFPA 72

**PROJECT TEAM**

**OWNER**  
 Oakland Housing Investors, LP  
 2236 Longport Court Suite 100  
 Elk Grove, CA 95758  
 Tel: 310.709.1887  
 Contact: Scott Cooper

**ARCHITECT**  
 BDE Architecture  
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 Tel: 415.967.6815

**JOINT TRENCH TARRAR**  
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 Brentwood, CA 94513  
 Tel: 314.616.9198  
 Contact: Haider Kammonah

**CIVIL**  
 BKF ENGINEERS  
 1730 N. First Street, Suite 600  
 San Jose, CA 95112  
 Tel: 408.606.6676  
 Contact: Casey Jumanan

**LANDSCAPE**  
 THE GUZZARDO PARTNERSHIP INC.  
 181 Greenwich Street  
 San Francisco, CA 94111  
 Tel: 415.433.4672  
 Contact: James Stockham

**PROJECT DESCRIPTION**

**PLANNING & BUILDING CODE SUMMARY**

**PROJECT DESCRIPTION**  
 A PRIVATELY FUNDED RESIDENTIAL BUILDING WITH PARKING GARAGE. THE PROJECT IS ONE BUILDING CONSISTING OF THE ELEMENTS DESCRIBED BELOW.

- A 5-STORY RESIDENTIAL BUILDING OF TYPE IIIA OVER 3 LEVELS OF TYPE I-A .
- 222 RESIDENTIAL DWELLING UNITS. SEE STATISTICS FOR MORE INFORMATION.
- ALL RESIDENTIAL UNITS ARE ADAPTABLE (ACCESSIBLE PER CHAPTER 11A). UNITS ABOVE THE GROUND FLOOR ARE ACCESSED VIA ELEVATOR.
- ALL PUBLIC AREAS ARE ACCESSIBLE PER CHAPTER 11B AND ALL COMMON AREAS AND CIRCULATION SPACES ARE PER CBC11A.
- ALL PORTIONS OF THE PROJECT ARE FULLY SPRINKLERED PER 903.3.1.1 / NFPA 13. ALL REFERENCES TO "AUTOMATIC SPRINKLERS SYSTEM" MEAN "PER 903.3.1.1 / NFPA 13".
- ABOVE GRADE PARKING GARAGE IS ENCLOSED AND MECHANICALLY VENTILATED.
- PROJECT INCLUDES RELEVANT SITE WORK, INCLUDING EXCAVATION, GRADING, PAVING, LANDSCAPING AND UTILITY CONNECTIONS AS REQUIRED FOR A COMPLETE PROJECT.

ZONING: S-15W  
 HEIGHT / BULK: 40-X  
 PROJECT LOCATION: 1396 5TH STREET, OAKLAND, CA  
 ASSESSOR'S PARCEL NUMBER: 004 006900400  
 LOT AREA: 38,394 SQ. FT.

**PROPOSED GROSS FLOOR AREA:**

FLOOR	OCCUPANCY	GROSS AREA
FLOOR 1 RETAIL, PARKING, AMENITY	B + S-2 + A-3	33,204 SQ.FT
FLOOR 2 RESIDENTIAL	R-2	26,141 SQ.FT
FLOOR 3 RESIDENTIAL	R-2	26,432 SQ.FT
FLOOR 4 RESIDENTIAL	R-2	26,432 SQ. FT
FLOOR 5 RESIDENTIAL	R-2	26,432 SQ.FT
FLOOR 6 RESIDENTIAL	R-2	26,432 SQ.FT
FLOOR 7 RESIDENTIAL	R-2	26,432 SQ.FT
FLOOR 8 RESIDENTIAL	R-2+ A3	25,401 SQ.FT
<b>TOTAL</b>		<b>216,906 SQ.FT.</b>

NOTE: AREA MEASURED TO THE EXTERIOR FACE OF BUILDING WALLS, INCLUDING DECKS THAT ARE NOT OPEN TO THE SKY. EXCLUDES PORTIONS OF DECKS WHICH PROJECT BEYOND THE FACE OF THE BUILDING. NO DEDUCTIONS FOR SHAFTS OR STAIRWAYS.

LOT AREA: 38,394 SQ.FT.  
 BUILDING FOOTPRINT AREA: 33,204 SQ.FT.  
**LOT COVERAGE = 86.49%**

**FAR = 5.6** BUILDING GROSS AREA (216,906 SQ.FT) / LOT AREA (38,394 SQ.FT)

**RESIDENTIAL DENSITY :** (1 UNIT PER 225 SQ.FT.) 38,394 / 225 = **170.64 DU**  
**DENSITY BONUS :** (BASE DENSITY X 35%) **59.72 DU**  
 TOTAL ALLOWED : 230 DWELLING UNITS  
**TOTAL PROVIDED : 222 DWELLING UNITS**

**AUTOMOBILE PARKING**

VEHICLE PARKING REQUIRED: 0.5 PARKING /UNIT = 111  
 VEHICLE PARKING PROVIDED : 41  
 OFF-STREET LOADING REQUIRED [OPC 17.116.120] = 1 BERTH

REQUIRED ACCESSIBLE / EV:  
 ACCESSIBLE: [CBC 1109A.4 - Assigned @ 2%] = 1  
 EV CHARGING SPACES TOTAL [CGBSC 4.106.4.2 @ 10%] = 5  
 EV VAN ACCESSIBLE CHARGING SPACES [CGBSC 4.106.4.2.2.3 @ 1:25] = 1

PARKING PROVIDED:  
 REGULAR = 10  
 COMPACT = 25  
 ACCESSIBLE = 1  
 EVCS = 4  
 ACCESSIBLE EVCS = 1  
 TOTAL = 41

**BICYCLE PARKING**

LONG TERM (1 PER 4 UNITS)  
 RESIDENTIAL REQUIRED: 56  
 RESIDENTIAL PROPOSED: 56

SHORT TERM (1 PER 20 UNITS)  
 RESIDENTIAL REQUIRED: 12  
 RESIDENTIAL PROPOSED: 12

**TOTAL BICYCLE PROPOSED: 68**

**PRIVATE USABLE OPEN SPACE**

REQUIRED : 15 SQ.FT. PER UNIT (24 UNITS X 15) = 360 SQ.FT.  
 PROVIDED : 360 SQ.FT.

**GROUP USABLE OPEN SPACE**

REQUIRED : 75 SQ.FT. PER UNIT (198 UNITS X 75) = 14,850 SQ.FT.  
 PROVIDED:

2ND FLOOR PODIUM COURTYARD:	6,500 SQ.FT.
8TH FLOOR ROOF DECK:	902 SQ.FT.
<b>TOTAL</b>	<b>7,402 SQ.FT</b>

**OPEN SPACE REQUIRED : 360 SQ.FT. + 14,850 SQ.FT. = 15,210 SQ.FT.**  
**OPEN SPACE PROVIDED : 360 SQ.FT. + 7,402 SQ.FT.= 7,762 SQ.FT.**  
**OPEN SPACE NEEDED : 7,448 SQ.FT.**

**BUILDING HEIGHT:**  
 MAXIMUM = 160'-0" TO AVERAGE ROOF HEIGHT  
 PROPOSED = 85'-0"

**OCCUPANCY GROUPS:**

RESIDENTIAL R-2  
 STORAGE (GARAGE) S-2  
 ASSEMBLY (AMENITY & COURTYARD) A-3  
 BUSINESS (LEASING) B

**CONSTRUCTION TYPE:**

R-2 TYPE IIIA & TYPE IA, FULLY SPINKLERED  
 S-2, A-2, B TYPE IA, FULLY SPINKLERED

THE BUILDING SHALL COMPLY WITH THE 2019 CFC SECTION 510 FOR ERRC COVERAGE.

**ALLOWABLE GROSS FLOOR AREA / HEIGHTS / CONSTRUCTION TYPES**

**TYPE I-A:**  
 BASE ALLOWABLE AREA PER FLOOR PER CBC TABLE 503  
 S-2 UNLIMITED S.F.  
 R-2 UNLIMITED S.F.  
 A-3 UNLIMITED S.F.

BASE ALLOWABLE HEIGHT & STORIES PER CBC TABLE 503  
 S-2 UNLIMITED S.F.  
 R-2 UNLIMITED S.F.  
 A-3 UNLIMITED S.F.

**TYPE III-A:**

BASE ALLOWABLE AREA PER FLOOR PER CBC TABLE 503 FOR TYPE III-A:  
 R-2 24,000 S.F.

BASE ALLOWABLE HEIGHT & STORIES PER CBC TABLE 503 FOR TYPE III-A:  
 R-2 85 FEET / 5 STORIES - WITHOUT AREA INCREASE & W/ AUTO. SPRINKLER SYSTEM  
 R-2 65 FEET / 4 STORIES - WITH AREA INCREASE & W/ AUTO. SPRINKLER SYSTEM

**FIRE-RESISTANCE RATING REQUIREMENTS:**

3 HOUR HORIZONTAL SEPARATION BETWEEN TYPE I-A & TYPE III-A REQUIREMENTS PER SECTION 510.2 HORIZONTAL BUILDING SEPARATION ALLOWANCE

**FOR TYPE I-A CONSTRUCTION:** FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601:

STRUCTURAL FRAME	3-HR	REDUCE TO 1 1/2-HR FOR ROOF SUPPORT
EXTERIOR BEARING WALLS	3-HR	
INTERIOR BEARING WALLS	3-HR	REDUCE TO 1 1/2-HR FOR ROOF SUPPORT
INT. NONBEARING WALLS	0-HR	
FLOOR CONSTRUCTION	2-HR	
ROOF CONSTRUCTION	1 1/2-HR	

**TYPE III-A CONSTRUCTION:** FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601:

STRUCTURAL FRAME	1 HR.
EXTERIOR BEARING WALLS	1 HR.
INTERIOR BEARING WALLS	1 HR.
EXTERIOR NONBEARING WALLS & PARTITIONS	SEE BELOW
INTERIOR NONBEARING WALLS & PARTITIONS	0 HR.
FLOOR CONSTRUCTION (BEAMS & JOISTS)	1 HR.
ROOF CONSTRUCTION (BEAMS & JOISTS)	1 HR.
SHAFT / STAIRWAY ENCLOSURES	2 HR.

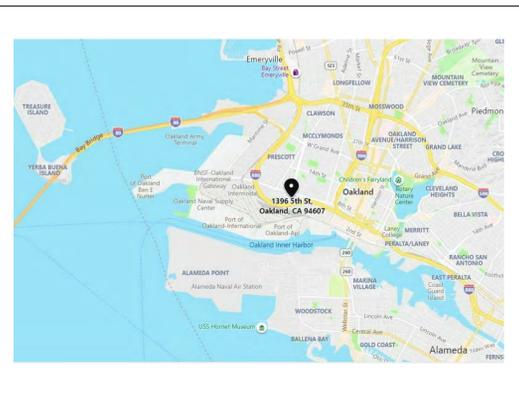
**FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE FOR TYPE I-A, III-A AND V-A CONSTRUCTION AND OCCUPANCY PER TABLE 602:**

FIRE SEP. DIST.	OCCUPANCIES: GROUP A, M, R-2 & S-2
X < 5	1 HR.
5 ≤ X < 10	1 HR.
10 ≤ X < 30	1 HR.
X ≥ 30	0 HR.

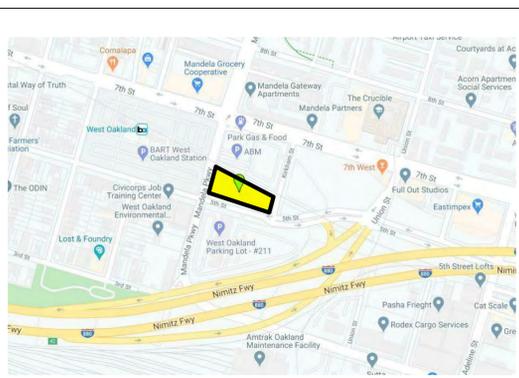
**ACCESSIBILITY**

100% OF UNITS SHALL BE ADAPTABLE. PER CBC 2020 CHAPTER 11A  
 ALL COMMON USE AREAS SHALL BE ACCESSIBLE PER CBC 2020 CHAPTER 11A  
 ALL PUBLIC AREAS SHALL BE ACCESSIBLE PER CBC 2013 CHAPTER 11B

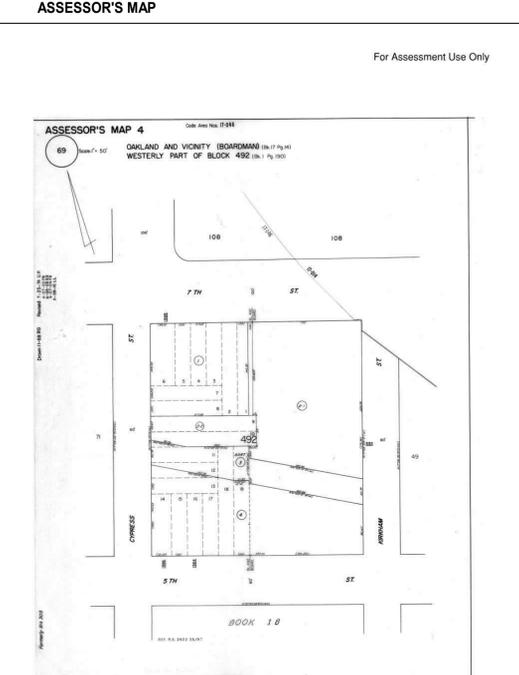
**SITE MAP**



**VICINITY MAP**



**ASSESSOR'S MAP**



**UNIT AND AREA SUMMARY**  
Date 06/08/2020

**CONSTRUCTION TYPE:** 5 TYPE IIIA OVER TYPE 3 TYPE IA  
**FLOORS:** 5 WOOD OVER 3 CONCRETE

UNIT TYPE	NAME	DESCRIPTION	Unit Net Rentable	FLOOR								Unit Total	Rentable Area		
				1ST	2ND	3RD	4TH	5TH	6TH	7TH	8TH		by Type		
STUDIO	S1	STUDIO	442	-	1	1	1	1	1	1	1	1	7	3%	3,094
	S2	STUDIO	454	-	2	2	2	2	2	2	2	2	14	6%	6,356
	S3	STUDIO	518	-	1	1	1	1	1	1	1	1	7	3%	3,626
	S4	STUDIO	548	-	1	1	1	1	1	1	1	1	7	3%	3,836
	S5	STUDIO	550	-	1	1	1	1	1	1	1	1	7	3%	3,850
	S6	STUDIO	556	-	1	1	1	1	1	1	1	1	7	3%	3,892
STUDIO SUB-TOTAL				0	7	7	7	7	7	7	7	7	49	22%	24,654
1 BEDROOM	A1	1 BDRM / 1 BATH	726	-	5	5	5	5	5	5	5	5	35	16%	25,410
	A2	1 BDRM / 1 BATH	699	-	6	6	6	6	6	6	6	6	42	19%	29,358
	A3	1 BDRM / 1 BATH	684	-	3	3	3	3	3	3	3	2	20	9%	13,680
	A4	1 BDRM / 1 BATH	727	-	1	1	1	1	1	1	1	1	7	3%	5,089
	A5	1 BDRM / 1 BATH	625	-	1	1	1	1	1	1	1	1	7	3%	4,375
	A6	1 BDRM / 1 BATH	663	-	1	1	1	1	1	1	1	1	7	3%	4,641
	A7	1 BDRM / 1 BATH	502	-	1	1	1	1	1	1	1	1	7	3%	3,514
	A8	1 BDRM / 1 BATH	567	-	1	1	1	1	1	1	1	1	7	3%	3,969
1 BDRM SUB-TOTAL				0	19	19	19	19	19	19	18	132	59%	90,036	
2 BEDROOM	B1	2 BDRM/ 2 BATH	976	-	2	6	6	6	6	6	5	37	17%	36,112	
	B2	2 BDRM/ 2 BATH	812	-	2	-	-	-	-	-	-	2	1%	1,624	
	B3	2 BDRM/ 2 BATH	812	-	2	-	-	-	-	-	-	2	1%	1,624	
2 BDRM SUB-TOTAL				0	4	6	6	6	6	6	5	41	18%	39,360	
<b>TOTAL UNITS</b>			<b>Avg SqFt</b>	<b>694</b>	<b>0</b>	<b>30</b>	<b>32</b>	<b>32</b>	<b>32</b>	<b>32</b>	<b>32</b>	<b>30</b>	<b>222</b>	<b>100%</b>	<b>154,050</b>
Net rentable residential area is measured center of demising wall, ext face of ext wall, ext face of corridor wall, excl decks															
<b>Net rentable Residential by floor (excl decks)</b>				0	21,682	22,338	22,338	22,338	22,338	22,338	20,678				<b>154,050</b>
<b>Circulation by floor (footprint minus net rentable, excl decks)</b>				0	4,459	4,094	4,094	4,094	4,094	4,094	4,094				<b>29,023</b>
<b>Residential Amenities</b>					9,516						629				10,145
<b>lobby</b>					3,571										3,571
<b>Community Benefit</b>					1,434										1,434
<b>Garage (Including Electrical, MEP, Trash Termination)</b>					18,683										18,683
<b>Total Gross</b>					<b>33,204</b>	<b>26,141</b>	<b>26,432</b>	<b>26,432</b>	<b>26,432</b>	<b>26,432</b>	<b>26,432</b>	<b>25,401</b>			<b>216,906</b>

**OFF STREET PARKING - RESIDENTIAL**

**RESIDENTIAL PARKING REQUIRED BY CODE**

UNIT TYPE	PKG...	#UNITS	PKG...
STUDIO	1	49	49
1 BDRM	1	132	132
2 BDRM	1	41	41
3 BDRM	1	0	0
GUEST	0.1	222	22.2
<b>TOTAL</b>		<b>222</b>	<b>244</b>
<b>TOTAL PARKING PROVIDED</b>			<b>41</b>
<b>PARKING RATIO PROVIDED</b>			<b>0.18</b>



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5TH ST. & MANDELA PKWY - CORNER 6



5TH ST. & KIRKHAM ST. CORNER 4



7TH STREET ACROSS FROM PARKING ENTRANCE 2



MANDELA PKWY NEAR 7TH ST. 5



KIRKHAM ST. NEAR 7TH ST. 3



KEY PLAN 1  
1/8" = 1'-0"

**EBMUD FIRE SERVICE AVAILABLE FLOW & PRESSURE INFORMATION**

**Property Information:**

1396 5th Street  
OAKLAND, 94607

**Approximate Elevation (feet):** 5  
**Connection Size (inches):** 6

The following available flow and pressure information is based on a Maximum Day Demand Hydraulic Model Analysis of EBMUD's water distribution system. This information should be used as a guideline of the approximate available flow. It is recommended that a design allowance be made for possible reductions in pressure and/or flow that could occur under other possible scenarios. Applicant understands that the District cannot guarantee any specific values for pressure and flow. If you have any questions, please contact us at [nbo@cbmud.com](mailto:nbo@cbmud.com) or call (510)287-1008.

**Available flow and pressure at possible fire service connection for above property:**

**Possible Fire Service Connection #1**  
Off of the 8-inch main (8C33) in Mandela Parkway, on the east side of Mandela Parkway, approximately 115 feet north of 5th Street.  
**Pressure Zone:** CENTRAL  
**Connection Point Elevation (feet):** 11  
**Connection Point Static Pressure (psi):** 59  
**Residual Pressure at 750 gpm (psi):** 58  
**Residual Pressure at 1500 gpm (psi):** 55

**Possible Fire Service Connection #2**  
Off of the 10-inch main (10C07) in 5th Street, on the north side of 5th Street, approximately 200 feet east of Mandela Parkway.  
**Pressure Zone:** CENTRAL  
**Connection Point Elevation (feet):** 10  
**Connection Point Static Pressure (psi):** 60  
**Residual Pressure at 750 gpm (psi):** 58  
**Residual Pressure at 1500 gpm (psi):** 56

**Possible Fire Service Connection #3**  
Off of the 4-inch main (4C94) in Kirkham Street, on the west side of Kirkham Street, approximately 60 feet north of 5th Street.  
**Pressure Zone:** CENTRAL  
**Connection Point Elevation (feet):** 11  
**Connection Point Static Pressure (psi):** 59  
**Residual Pressure at 250 gpm (psi):** 58  
**Residual Pressure at 500 gpm (psi):** 53

**Engineer's Comments:** The pressure and flow information stated is available at the street main connection in 5th Street and Mandela Parkway. Fire service connection point in Kirkham Street is not available due to 4-inch main. Available flow in Kirkham Street is limited to 500 gpm due to 4-inch main. If the fire service is to be located in Kirkham Street, offsite pipeline improvements, at the applicant's expense, would be required to meet fire flow requirements set by the local fire agency. Offsite pipeline improvements include, but are not limited to, replacement of existing water mains to the project site.

Flow and pressure data is valid for one year after the approval date. You will need to submit a new request and pay applicable fee after the expiration date.

**NBO: KWALTERS Engineer: JLOPEZ Supervisor: JMC GREGO Date: 2020-02-05**  
**09:35:51.0 STATEMENT OF DESIGN CRITERIA USED FOR FIRE SPRINKLER DESIGN**

**Request Number: 6507**

I, \_\_\_\_\_, designer of the fire sprinkler system located at the property address referenced on the above Request Number, used the following flow information to design the fire sprinkler system: Static Pressure (psi): \_\_\_\_\_ Flow (gpm): \_\_\_\_\_

Residual Pressure (psi): \_\_\_\_\_

Maximum total fire flow requirement (gpm): \_\_\_\_\_

The fire sprinkler design or underground fire plan has been approved by the \_\_\_\_\_ (Fire Agency with Jurisdiction) Fire Marshal, and a copy of the signed and approved plan is attached.

The fire sprinkler design complies with EBMUD's standard backflow requirements, as described in the Private Fire Service pamphlet.

Please choose the service size from the list of Standard Fire Service Sizes shown below:

- 1-1/2 inch, maximum 100 GPM
- 2 inch, maximum 160 GPM
- 4 inch, maximum 600 GPM
- 6 inch, maximum 1350 GPM
- 8 inch, maximum 2340 GPM
- 10 inch, maximum 4400 GPM
- 12 inch, case-by-case

**NOTE: Service size chosen above must match size shown on plans.**

\_\_\_\_\_  
Fire Sprinkler Designer Signature and Date  
Please return a copy of EBMUD's Fire Service Available Flow And Pressure Information results with the signed Statement of Design Criteria Used For Fire Sprinkler Design form when applying for a fire service.

**GreenPoint RATED**  
NEW HOME RATING SYSTEM, VERSION 6.1  
MULTIFAMILY

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California. The minimum requirements of GreenPoint Rated are verification of 50 or more points. Each the following minimum points per category: Community (1), Energy (20), Indoor Air Quality/Health (6), Resources (5), and Water (5). And meet the prerequisites CALGreen Mandatory, ES.2, HS.1, AS.1, OI, OI.



Measure	Points Targeted	Community	Energy	Indoor Air Quality/Health	Resources	Water
<b>1396 5th Street</b>						
<b>CALEN</b>						
Yes	1	1	1	1	1	1
<b>A. SITE</b>						
Yes	1	1	1	1	1	1
<b>A1. Construction Footprint</b>						
Yes	1	1	1	1	1	1
<b>A2. Job Site Construction Waste Diversion</b>						
Yes	2	2	2	2	2	2
<b>A3. Recycled Content Base Material</b>						
Yes	3	3	3	3	3	3
<b>A4. Heat Island Effect Reduction (Non-Road)</b>						
Yes	1	1	1	1	1	1
<b>A5. Construction Environmental Quality Management Plan Including Fish-Out</b>						
Yes	1	1	1	1	1	1
<b>A6. Stormwater Control: Prescriptive Path</b>						
Yes	1	1	1	1	1	1
<b>A7. Stormwater Control: Performance Path</b>						
Yes	1	1	1	1	1	1
<b>B. FOUNDATION</b>						
Yes	1	1	1	1	1	1
<b>B1. Fly Ash and/or Slag in Concrete</b>						
Yes	1	1	1	1	1	1
<b>B2. Radon Resistant Construction</b>						
Yes	1	1	1	1	1	1
<b>B3. Foundation Drainage System</b>						
Yes	1	1	1	1	1	1
<b>B4. Moisture Controlled Crawlspace</b>						
Yes	1	1	1	1	1	1
<b>B5. Structural Pest Control</b>						
Yes	1	1	1	1	1	1
<b>C. LANDSCAPE</b>						
Yes	1	1	1	1	1	1
<b>C1. Plants Grouped by Water Needs (Hydrozoning)</b>						
Yes	1	1	1	1	1	1
<b>C2. Three Inches of Mulch in Planting Beds</b>						
Yes	1	1	1	1	1	1
<b>C3. Resource Efficient Landscapes</b>						
Yes	1	1	1	1	1	1
<b>C4. Minimal Turf in Landscape</b>						
Yes	1	1	1	1	1	1

Draft GreenPoint Rated New Home Multi Family Version 6.0

Measure	Points Targeted	Community	Energy	Indoor Air Quality/Health	Resources	Water
<b>1396 5th Street</b>						
<b>B. STRUCTURAL FRAME</b>						
Yes	1	1	1	1	1	1
<b>B1. Optimal Value Engineering</b>						
Yes	1	1	1	1	1	1
<b>B2. Engineered Lumber</b>						
Yes	1	1	1	1	1	1
<b>B3. Engineered Beams and Headers</b>						
Yes	1	1	1	1	1	1
<b>B4. Insulated Headers</b>						
Yes	1	1	1	1	1	1
<b>B5. Solid Wall Systems</b>						
Yes	1	1	1	1	1	1
<b>B6. Energy Hubs on Roof Trusses</b>						
Yes	1	1	1	1	1	1
<b>B7. Reduced Pollution Entering the Home from the Garage</b>						
Yes	1	1	1	1	1	1
<b>B8. Structural Pest and Rat Control</b>						
Yes	1	1	1	1	1	1
<b>B9. Moisture Resistant Materials in Wet Areas (such as Kitchens, Bathrooms, Utility Rooms, and Basements)</b>						
Yes	1	1	1	1	1	1

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Measure	Points Targeted	Community	Energy	Indoor Air Quality/Health	Resources	Water
<b>1396 5th Street</b>						
<b>FLOORING</b>						
Yes	1	1	1	1	1	1
<b>M. APPLIANCES AND LIGHTS</b>						
Yes	1	1	1	1	1	1
<b>N. COMMUNITY</b>						
Yes	1	1	1	1	1	1

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Measure	Points Targeted	Community	Energy	Indoor Air Quality/Health	Resources	Water
<b>1396 5th Street</b>						
<b>E. EXTERIOR</b>						
Yes	1	1	1	1	1	1
<b>F. INSULATION</b>						
Yes	1	1	1	1	1	1
<b>G. PLUMBING</b>						
Yes	1	1	1	1	1	1
<b>H. HEATING, VENTILATION, AND AIR CONDITIONING</b>						
Yes	1	1	1	1	1	1
<b>I. REMOTE ENERGY</b>						
Yes	1	1	1	1	1	1

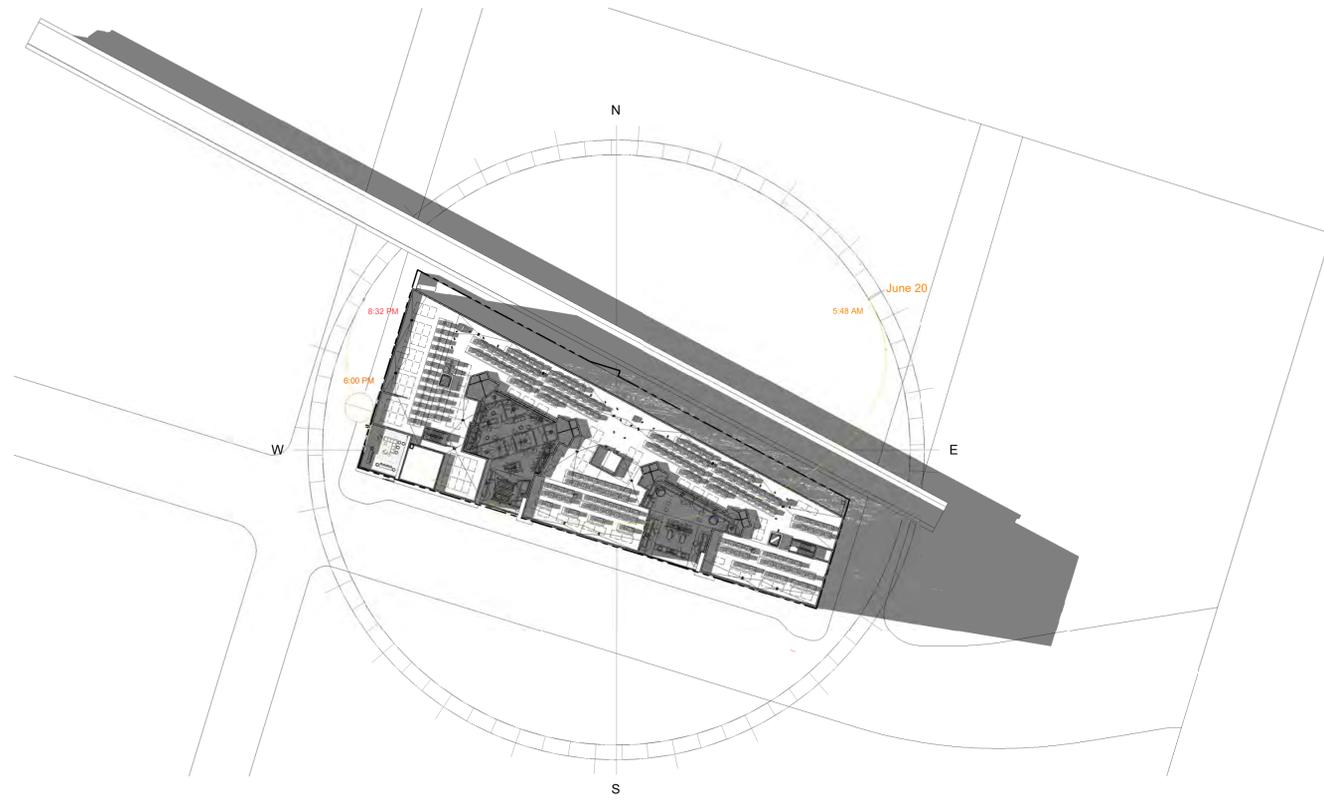
Draft GreenPoint Rated New Home Multi Family Version 6.0

Measure	Points Targeted	Community	Energy	Indoor Air Quality/Health	Resources	Water
<b>1396 5th Street</b>						
<b>J. BUILDING PERFORMANCE AND TESTING</b>						
Yes	1	1	1	1	1	1
<b>K. FINISHES</b>						
Yes	1	1	1	1	1	1

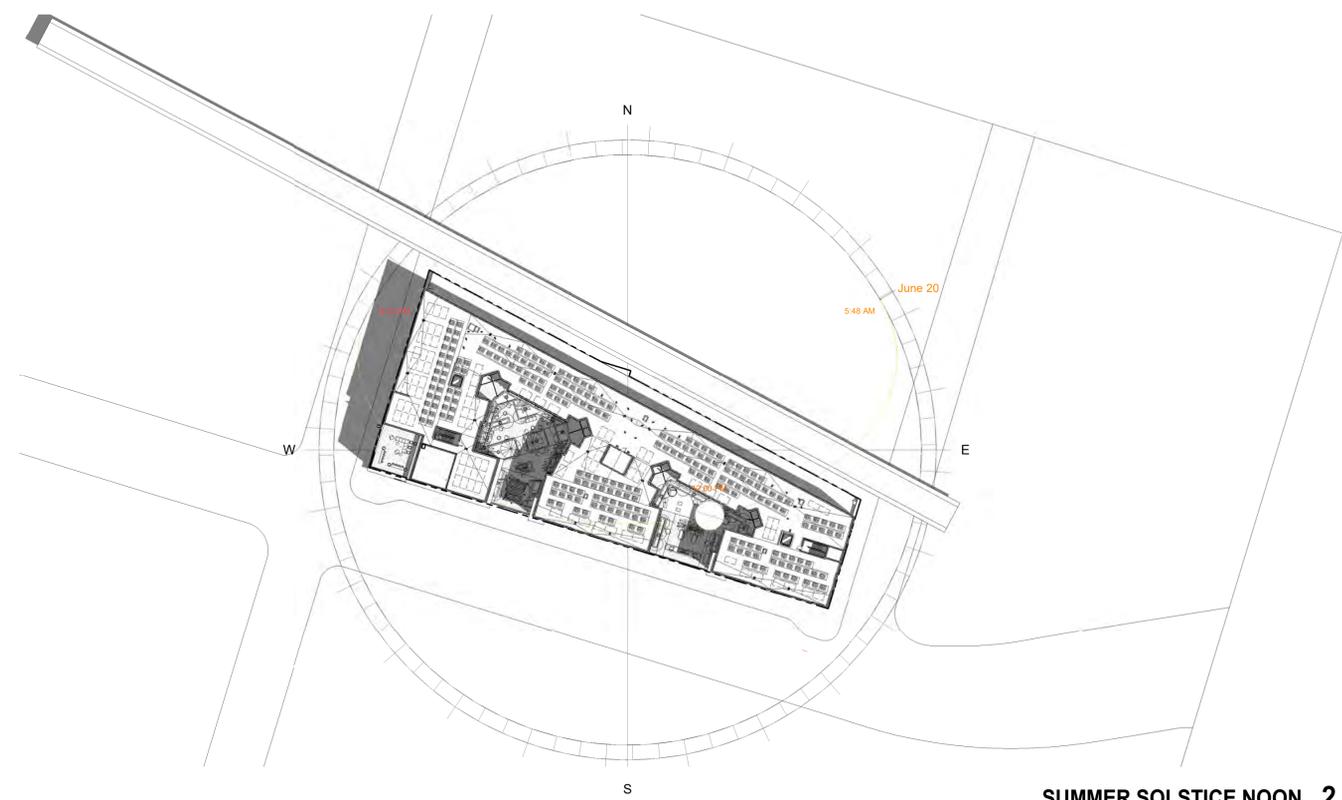
Draft GreenPoint Rated New Home Multi Family Version 6.0

Measure	Points Targeted	Community	Energy	Indoor Air Quality/Health	Resources	Water
<b>1396 5th Street</b>						
<b>O. OTHER</b>						
Yes	1	1	1	1	1	1
<b>P. DESIGN CONSIDERATIONS</b>						
Yes	1	1	1	1	1	1

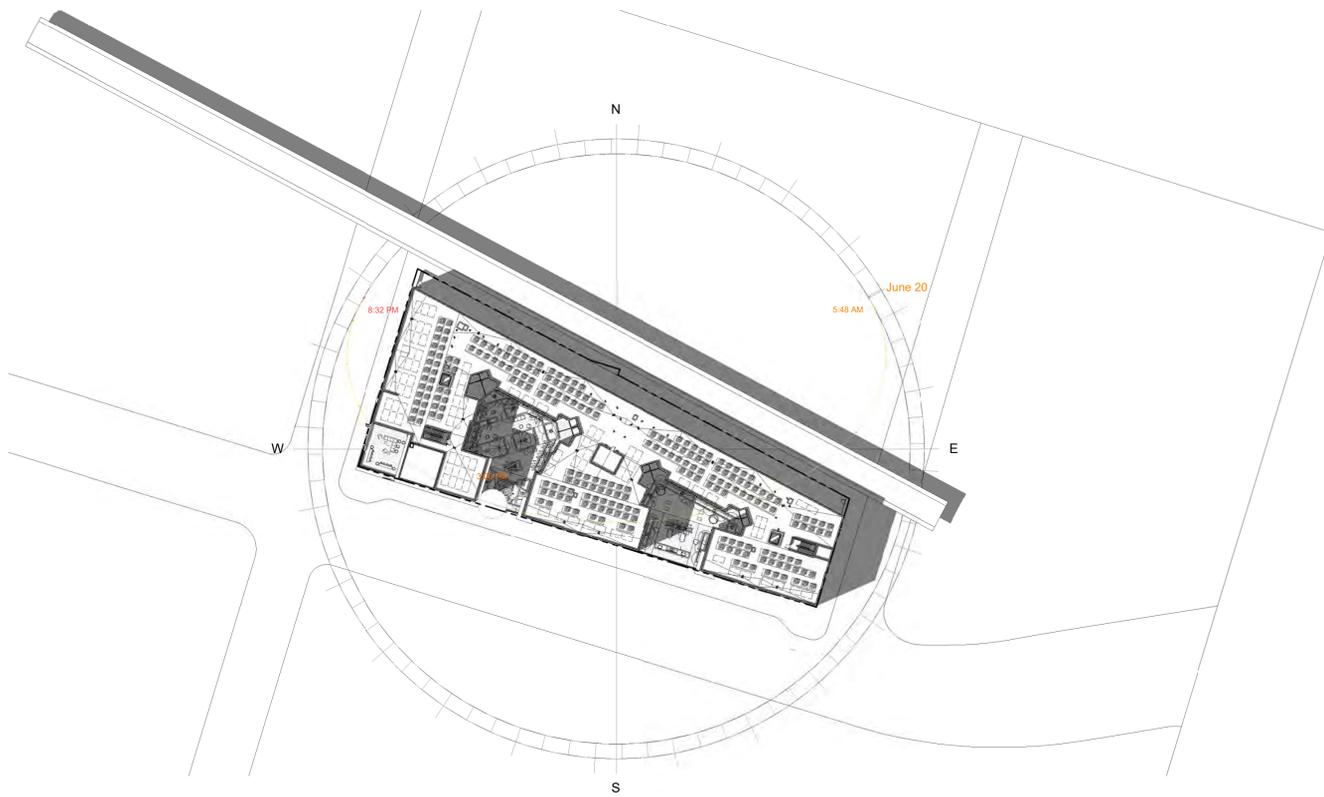
Draft GreenPoint Rated New Home Multi Family Version 6.0



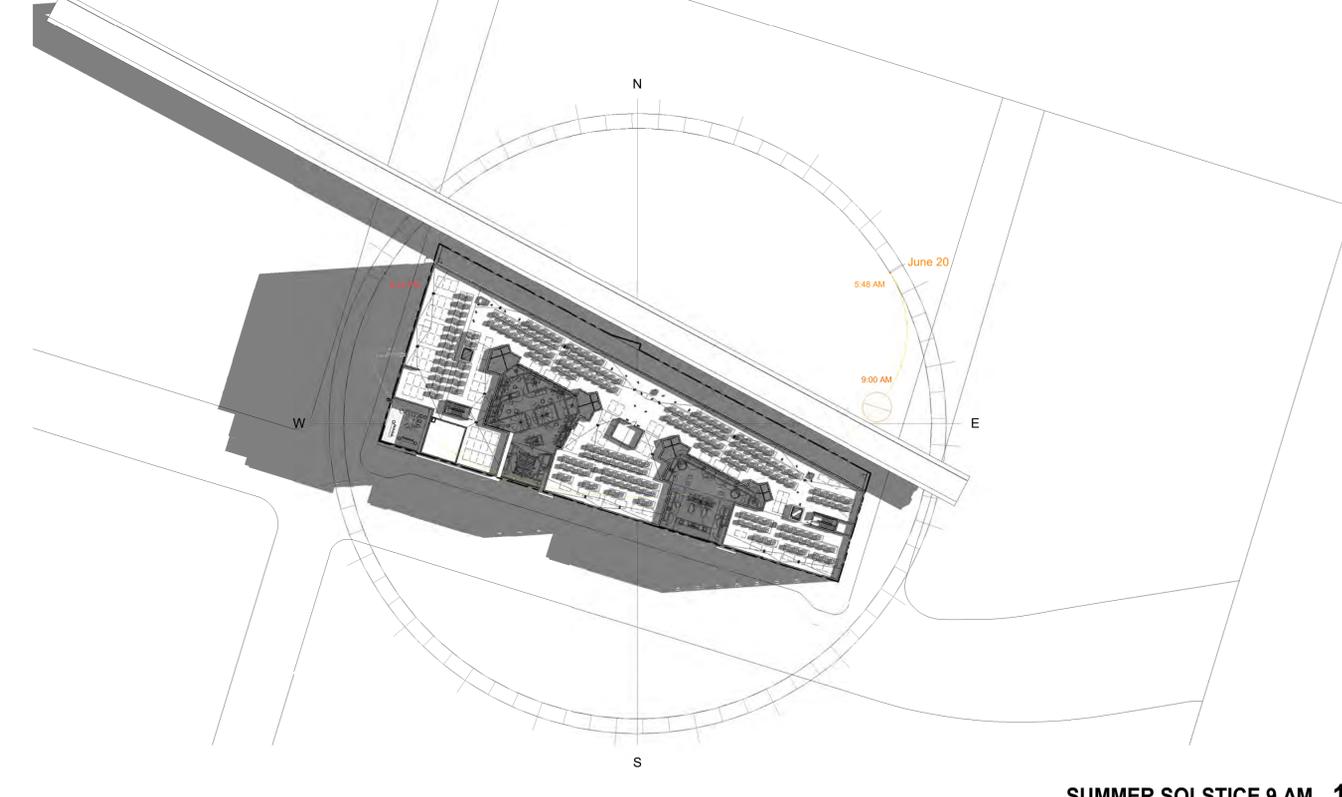
**SUMMER SOLSTICE 6 PM 4**  
1" = 60'-0"



**SUMMER SOLSTICE NOON 2**  
1" = 60'-0"

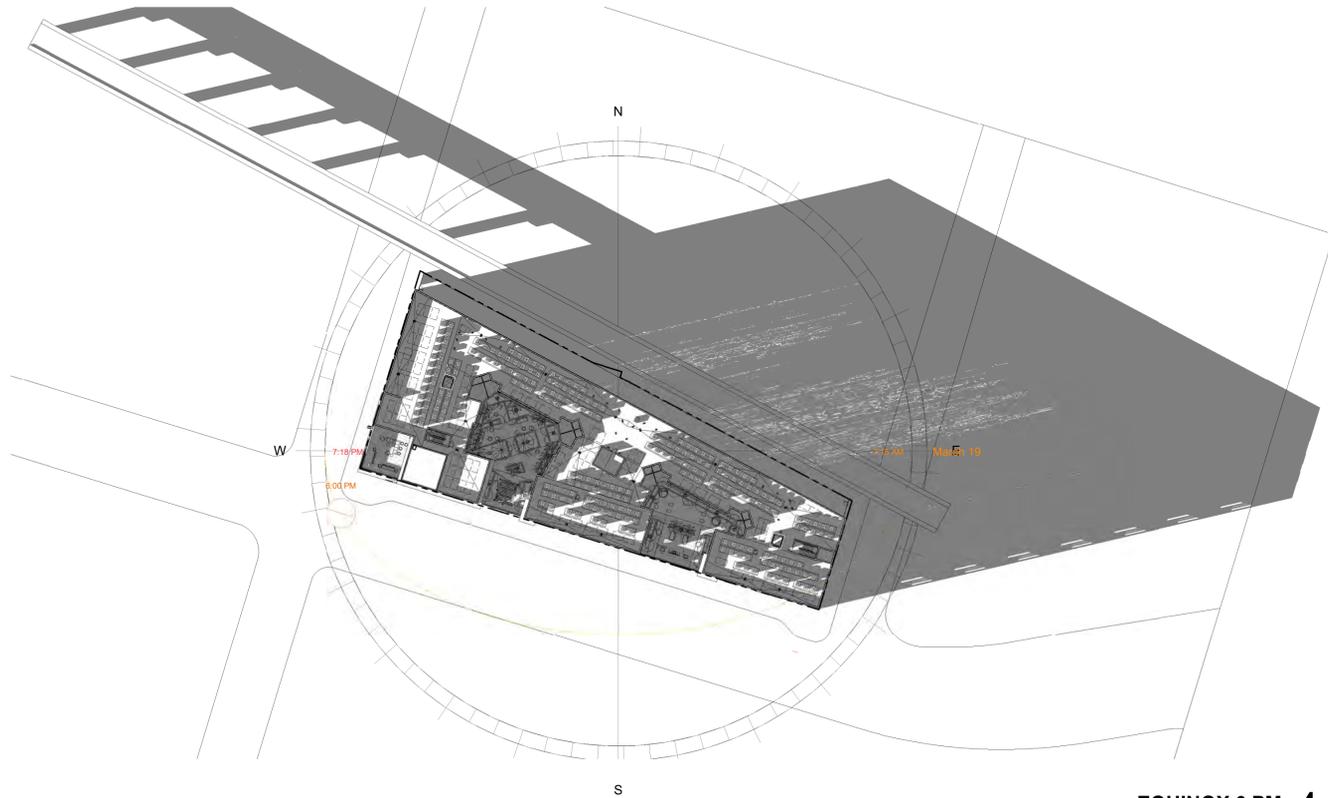


**SUMMER SOLSTICE 3 PM 3**  
1" = 60'-0"

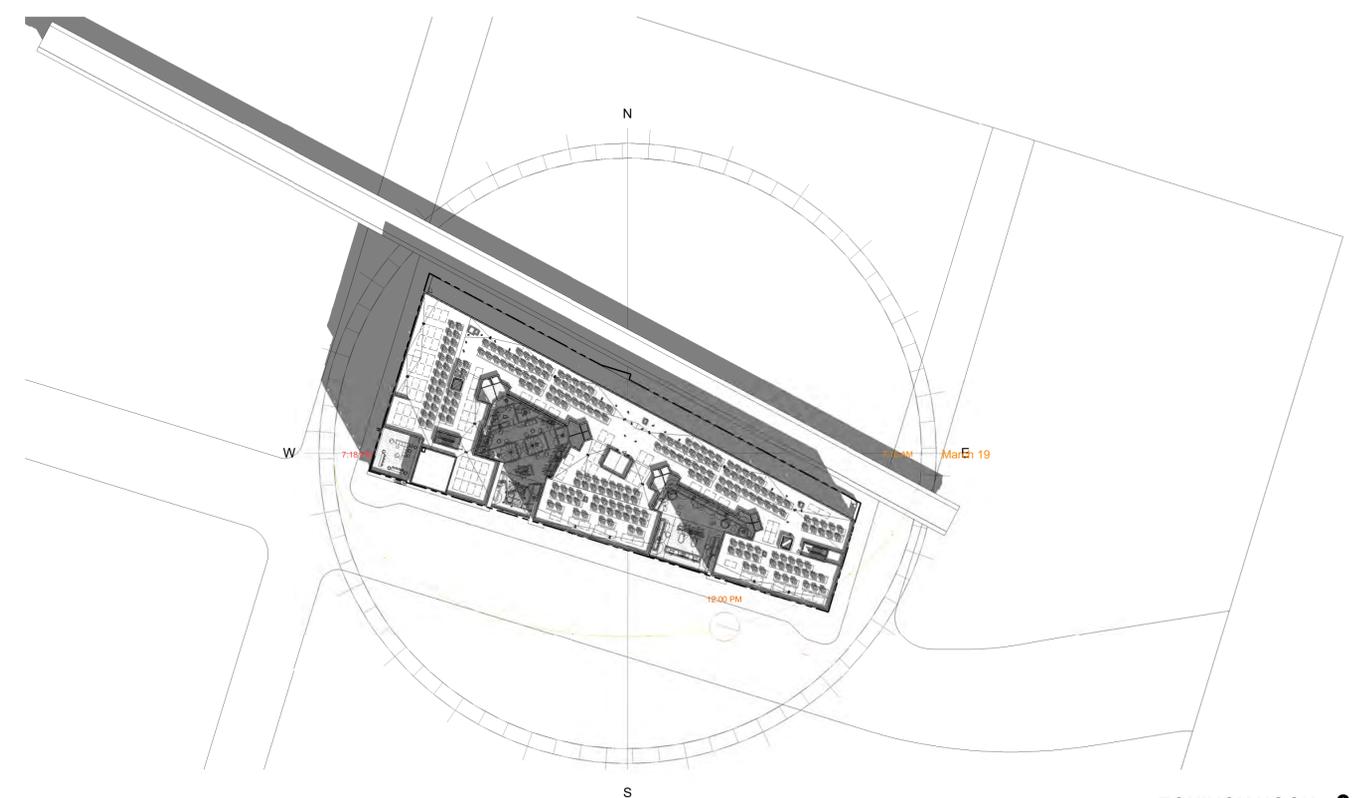


**SUMMER SOLSTICE 9 AM 1**  
1" = 60'-0"

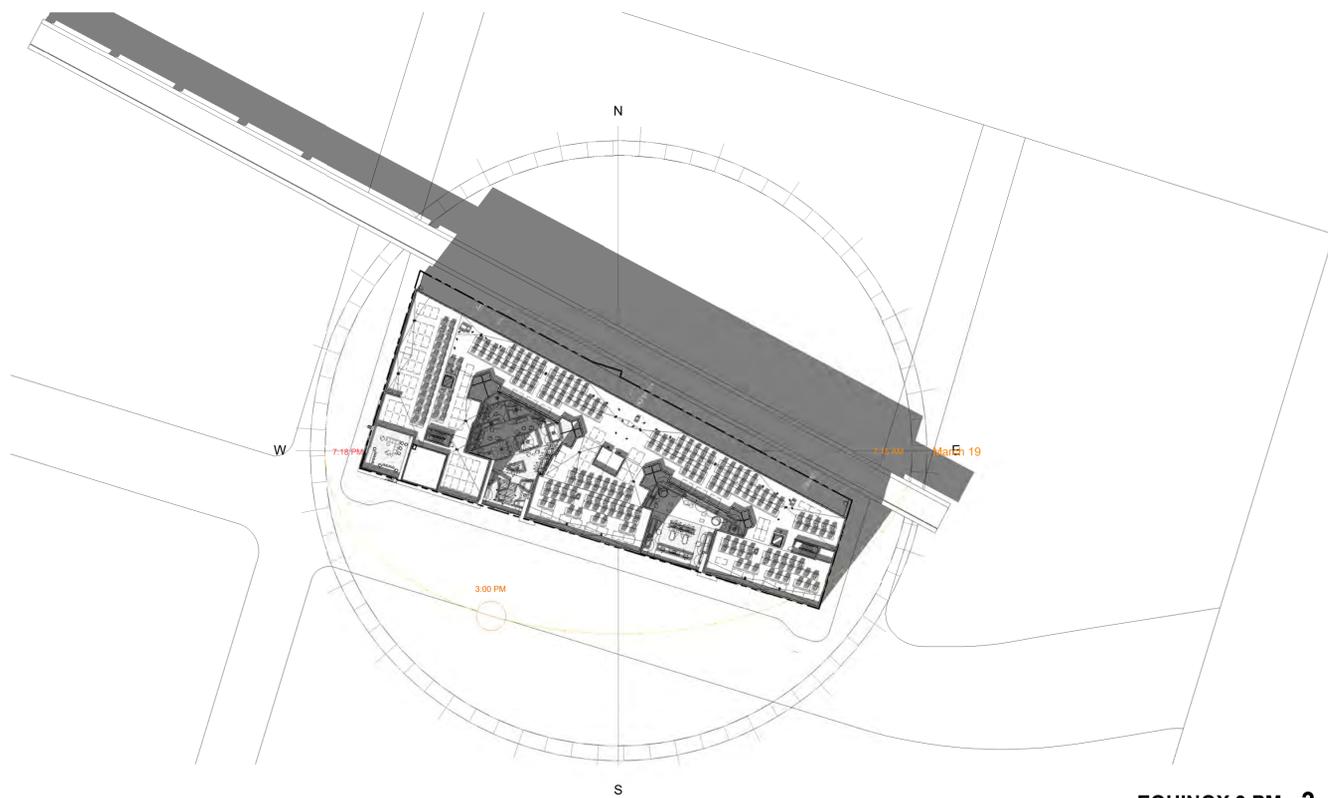




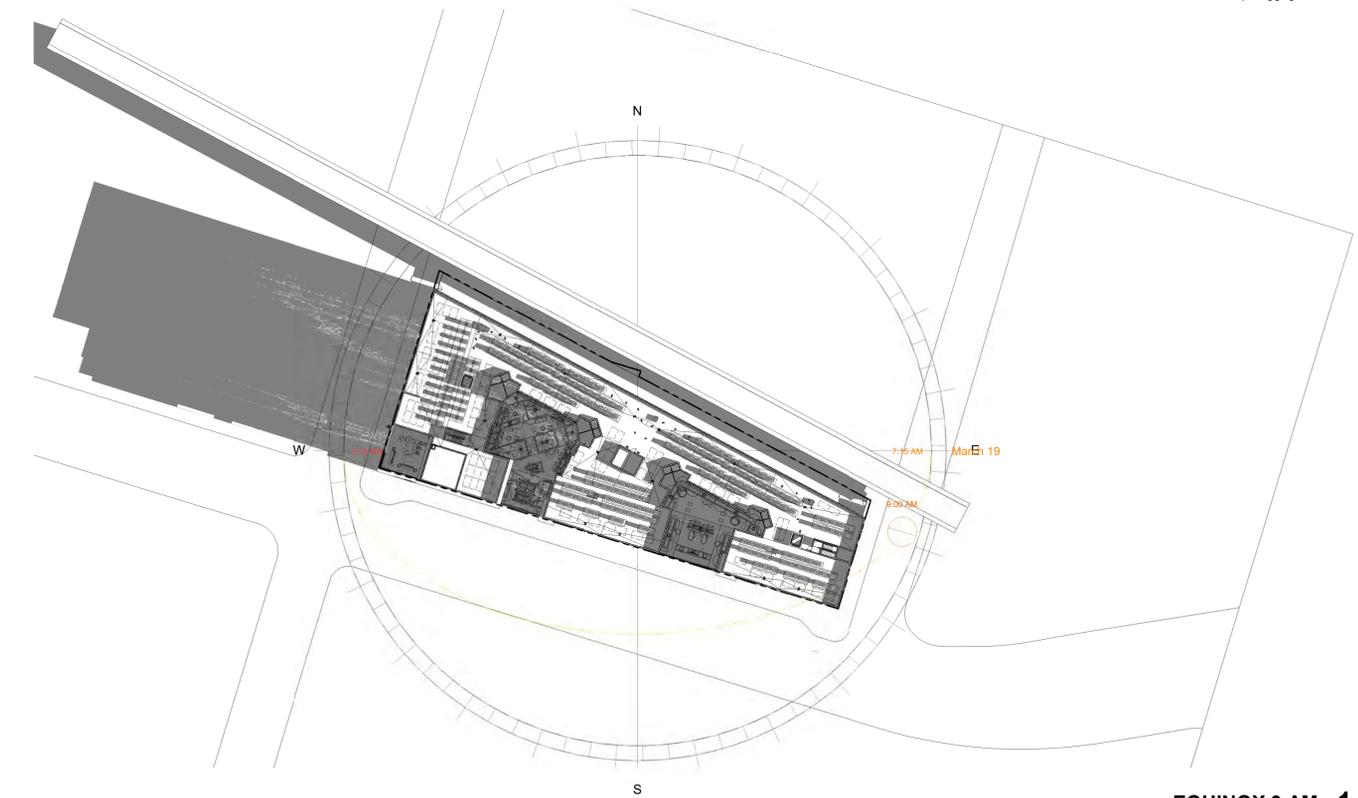
**EQUINOX 6 PM 4**  
1" = 60'-0"



**EQUINOX NOON 2**  
1" = 60'-0"

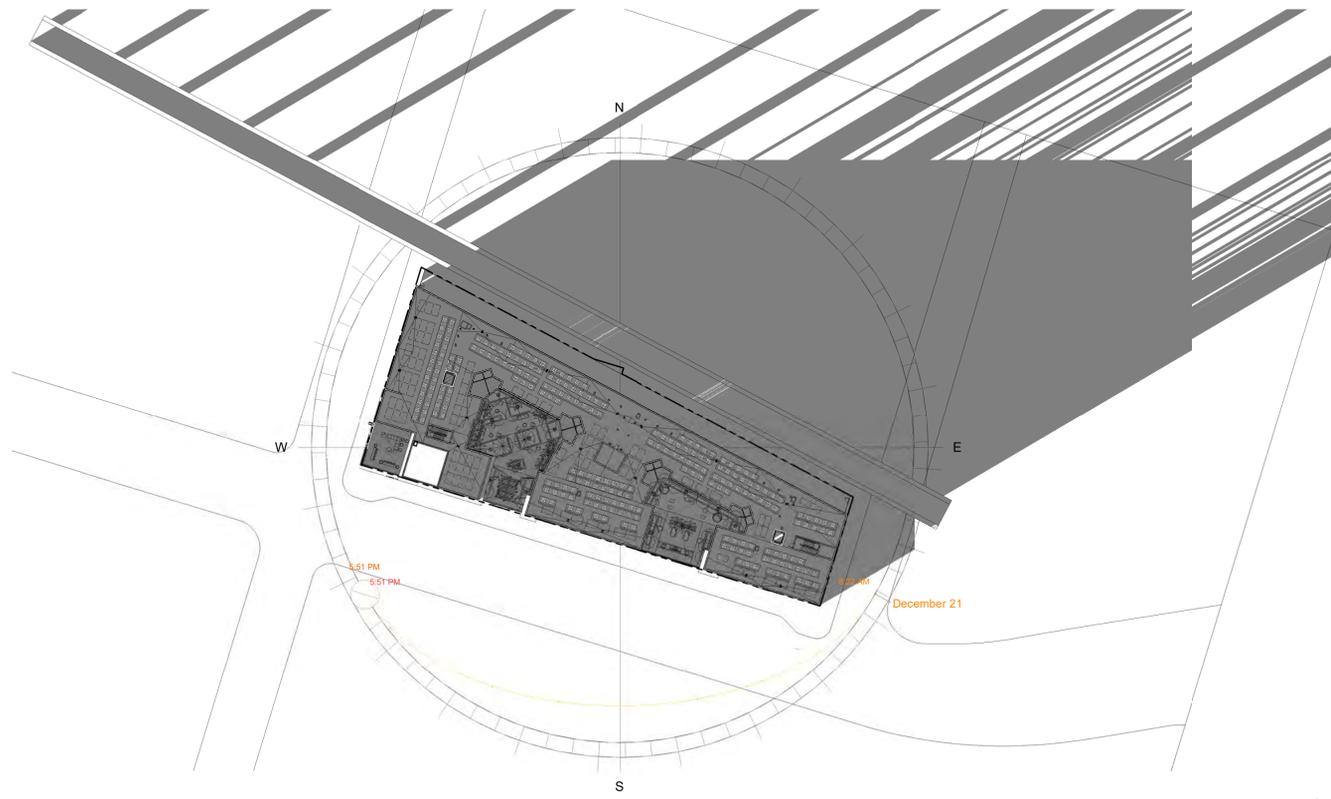


**EQUINOX 3 PM 3**  
1" = 60'-0"

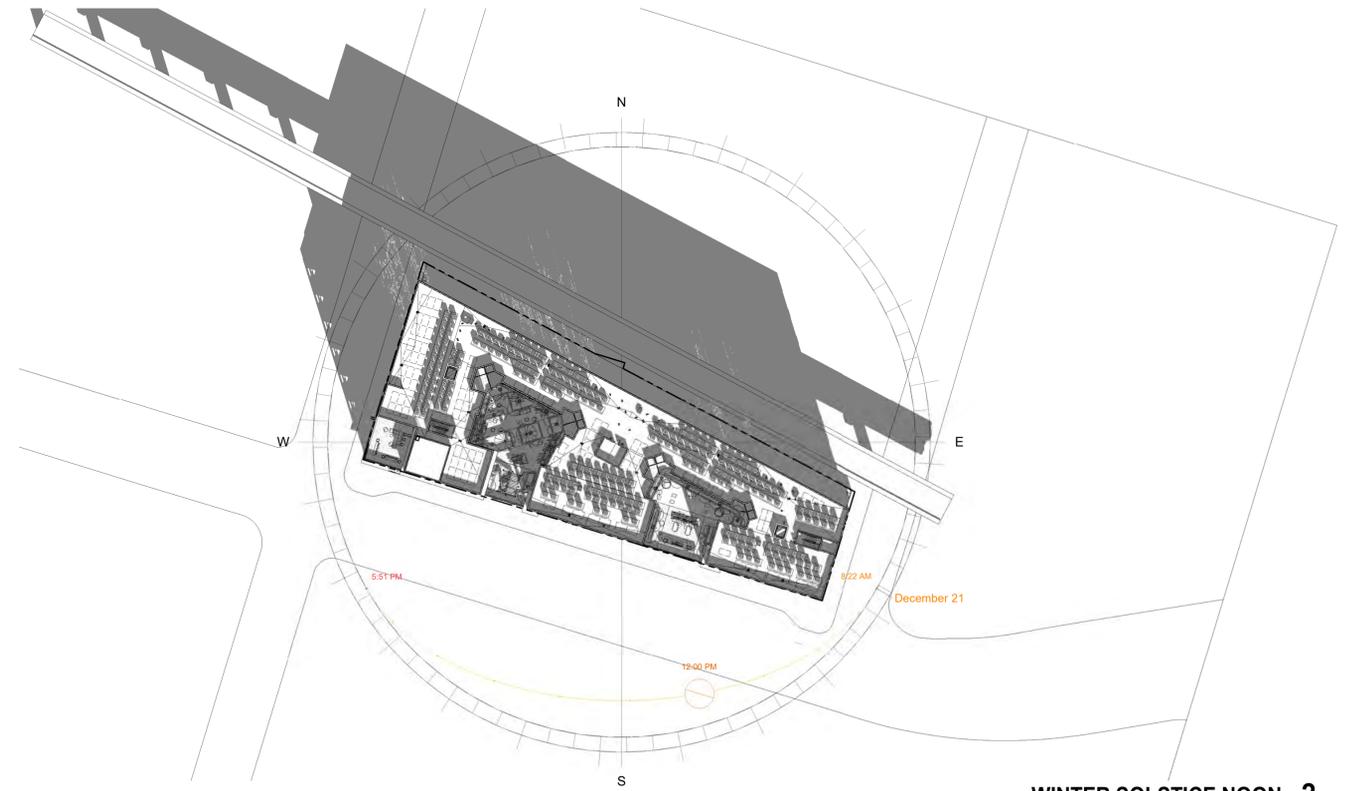


**EQUINOX 9 AM 1**  
1" = 60'-0"

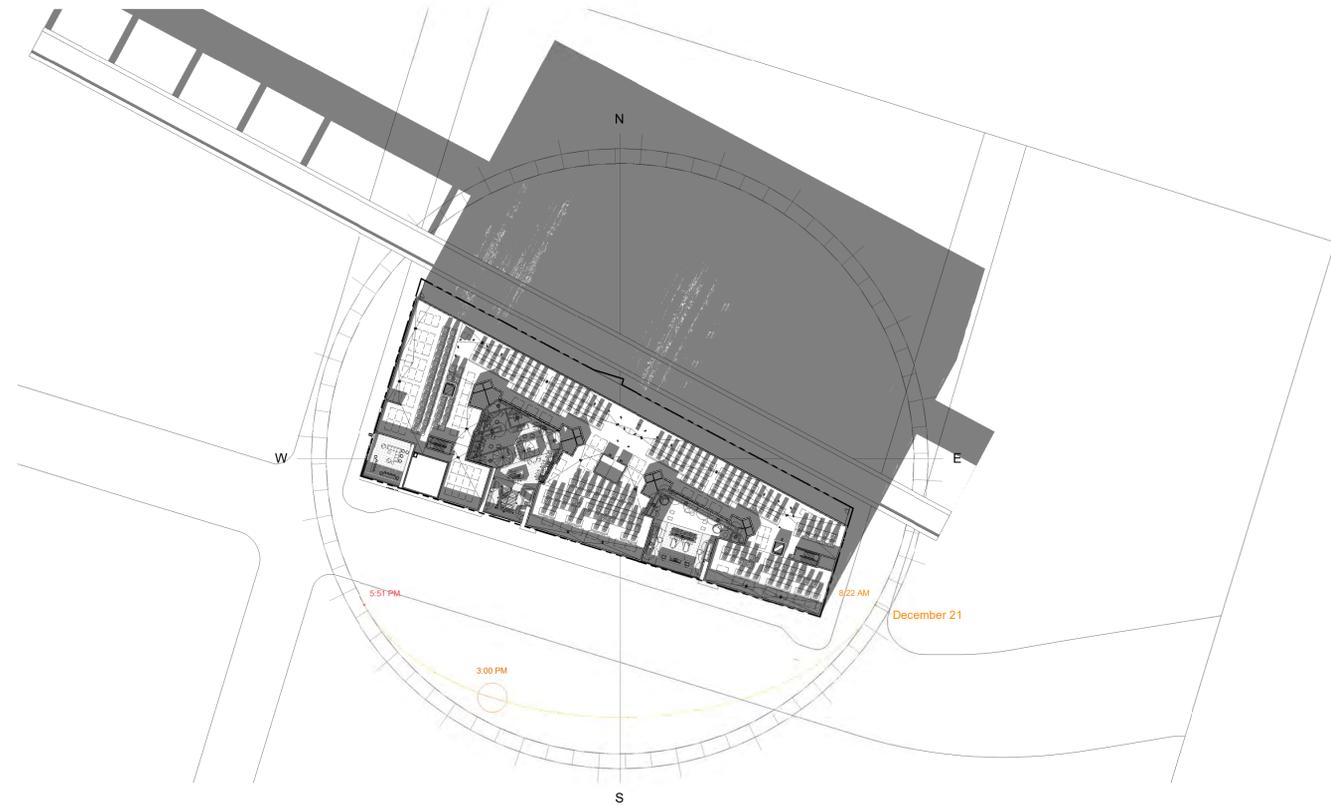




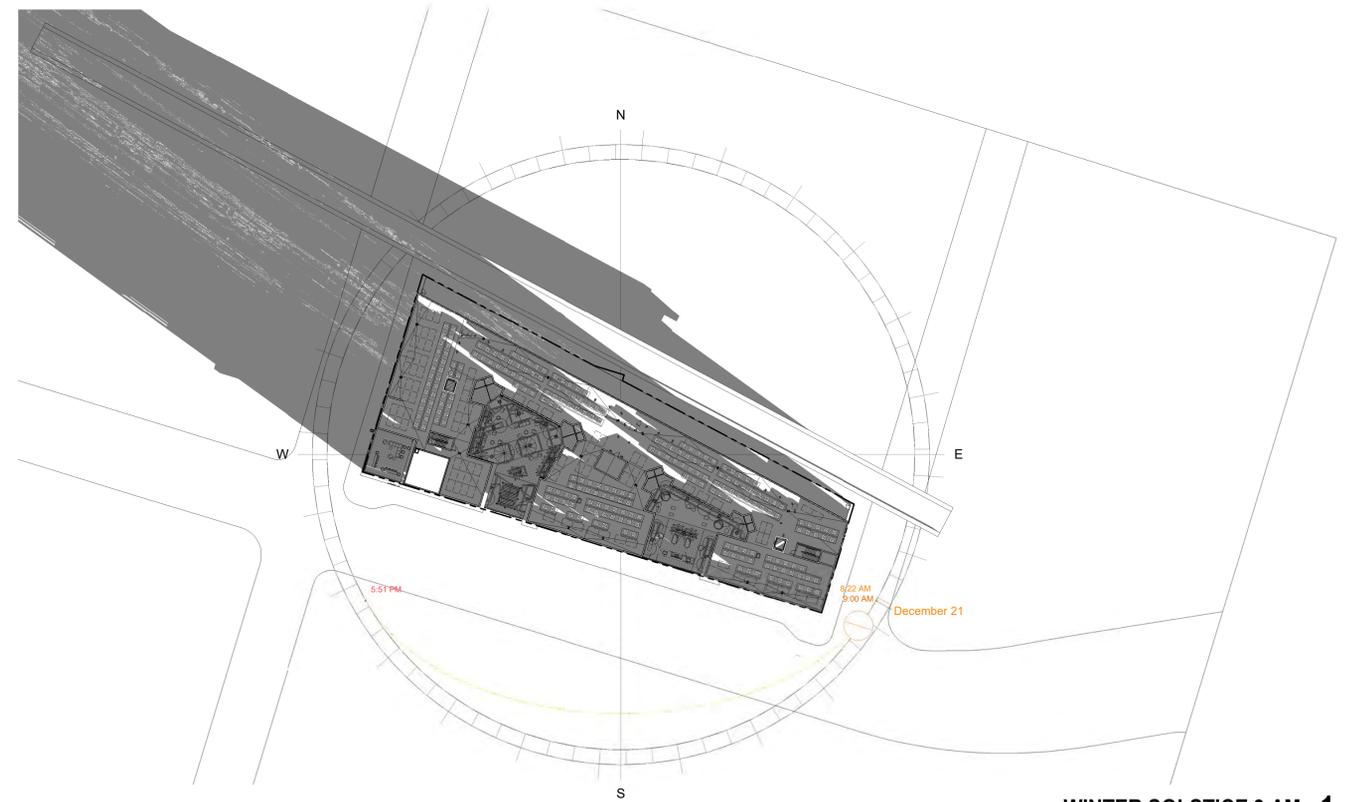
**WINTER SOLSTICE 6 PM 4**  
1" = 60'-0"



**WINTER SOLSTICE NOON 2**  
1" = 60'-0"

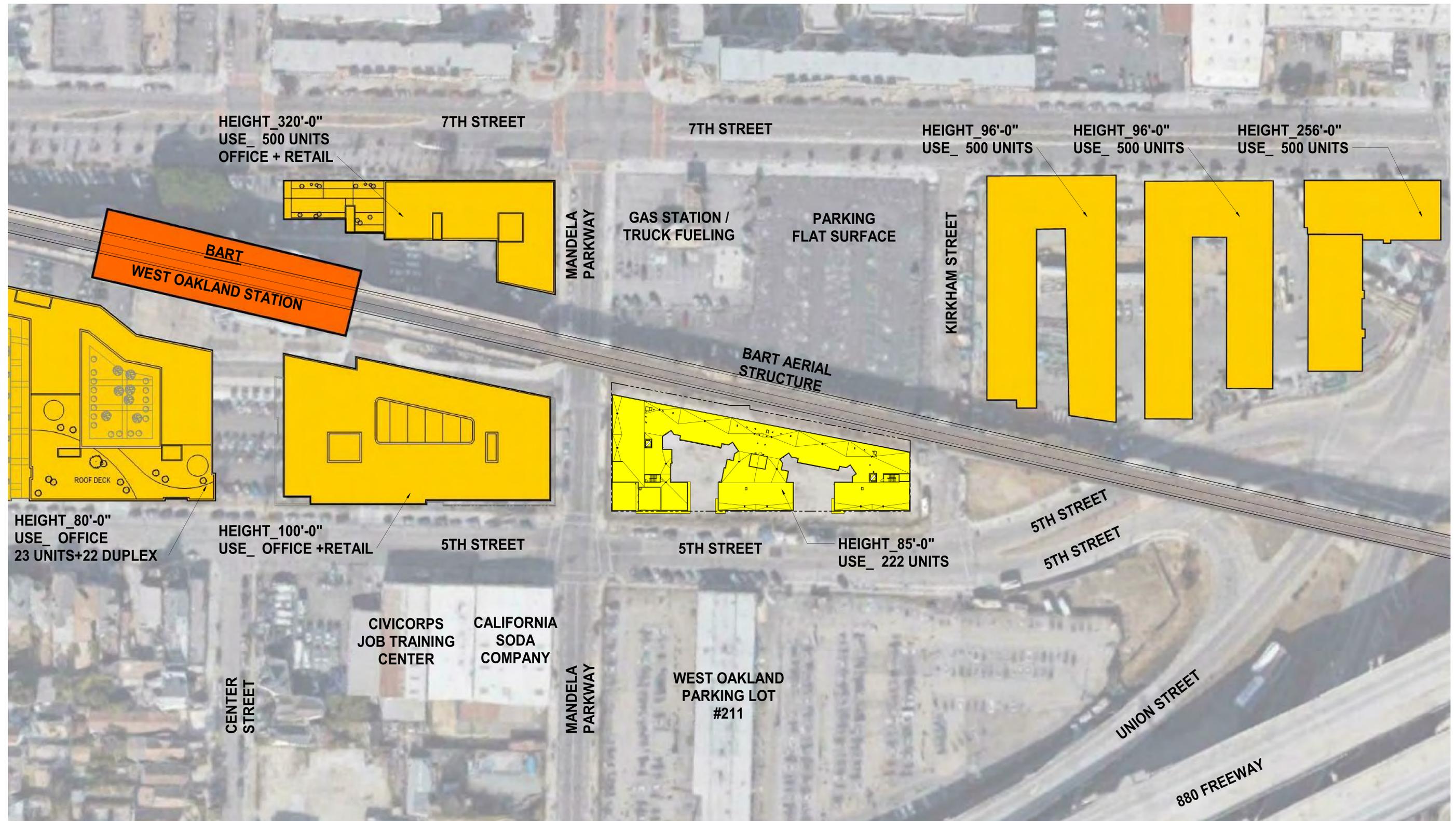


**WINTER SOLSTICE 3 PM 3**  
1" = 60'-0"



**WINTER SOLSTICE 9 AM 1**  
1" = 60'-0"



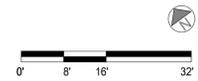




	GARAGE
	LOBBY
	NET UNIT AREA
	AMENITY
	COMMUNITY BENEFIT
	CORRIDORS, MISC, GROSS
	CIRCULATION
	LANDSCAPE
	PRIVATE DECKS



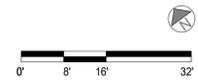
**FLOOR 2 1**  
1/16" = 1'-0"



	GARAGE
	LOBBY
	NET UNIT AREA
	AMENITY
	COMMUNITY BENEFIT
	CORRIDORS, MISC, GROSS
	CIRCULATION
	LANDSCAPE
	PRIVATE DECKS



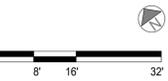
FLOORS 3-7 1  
1/16" = 1'-0"



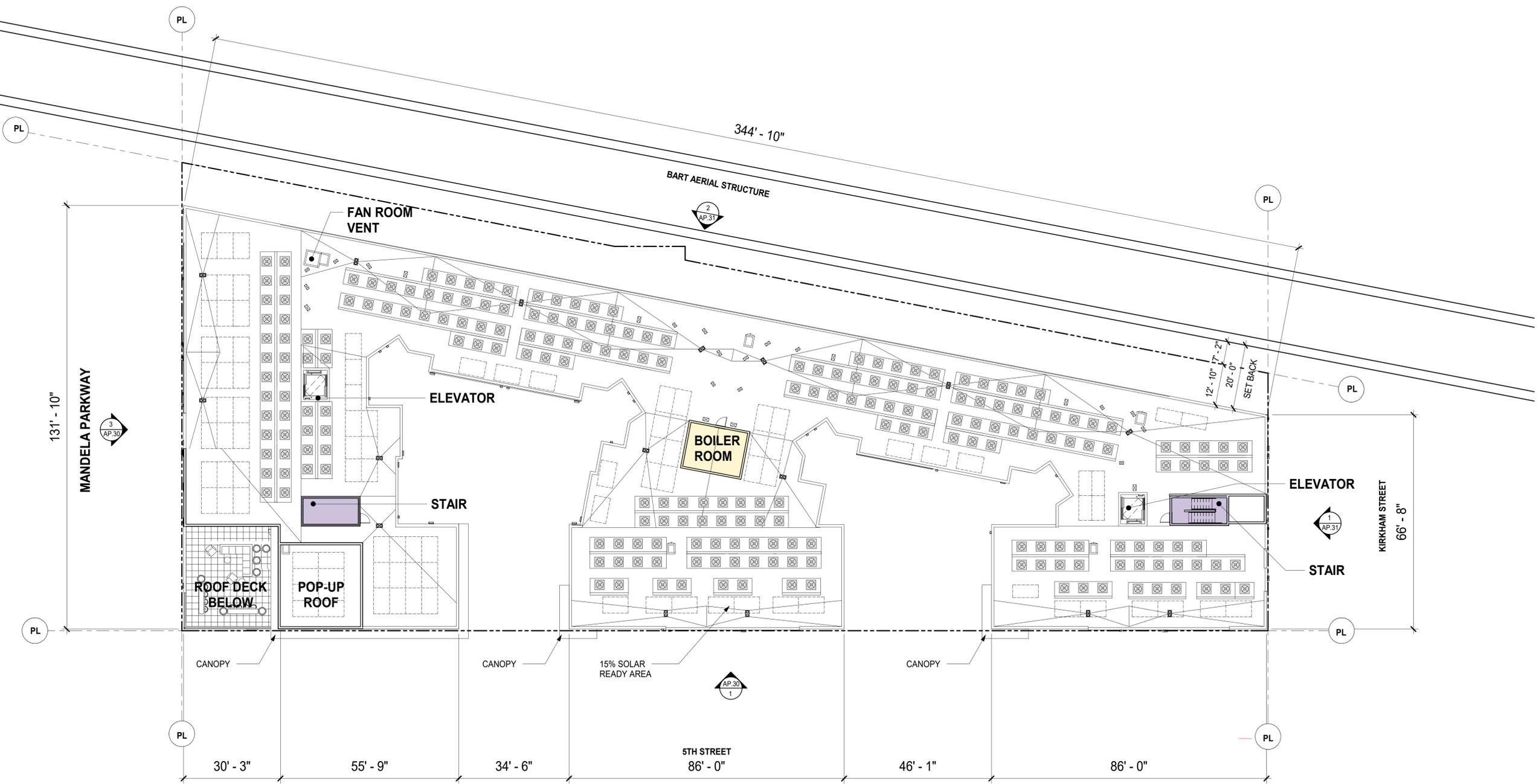
	GARAGE
	LOBBY
	NET UNIT AREA
	AMENITY
	COMMUNITY BENEFIT
	CORRIDORS, MISC, GROSS
	CIRCULATION
	LANDSCAPE
	PRIVATE DECKS



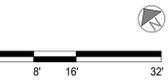
**FLOOR 8 1**  
1/16" = 1'-0"



	GARAGE
	LOBBY
	NET UNIT AREA
	AMENITY
	COMMUNITY BENEFIT
	CORRIDORS, MISC, GROSS
	CIRCULATION
	LANDSCAPE
	PRIVATE DECKS



PLANNING - SITE PLAN - ROOF Copy 1 1  
1/16" = 1'-0"







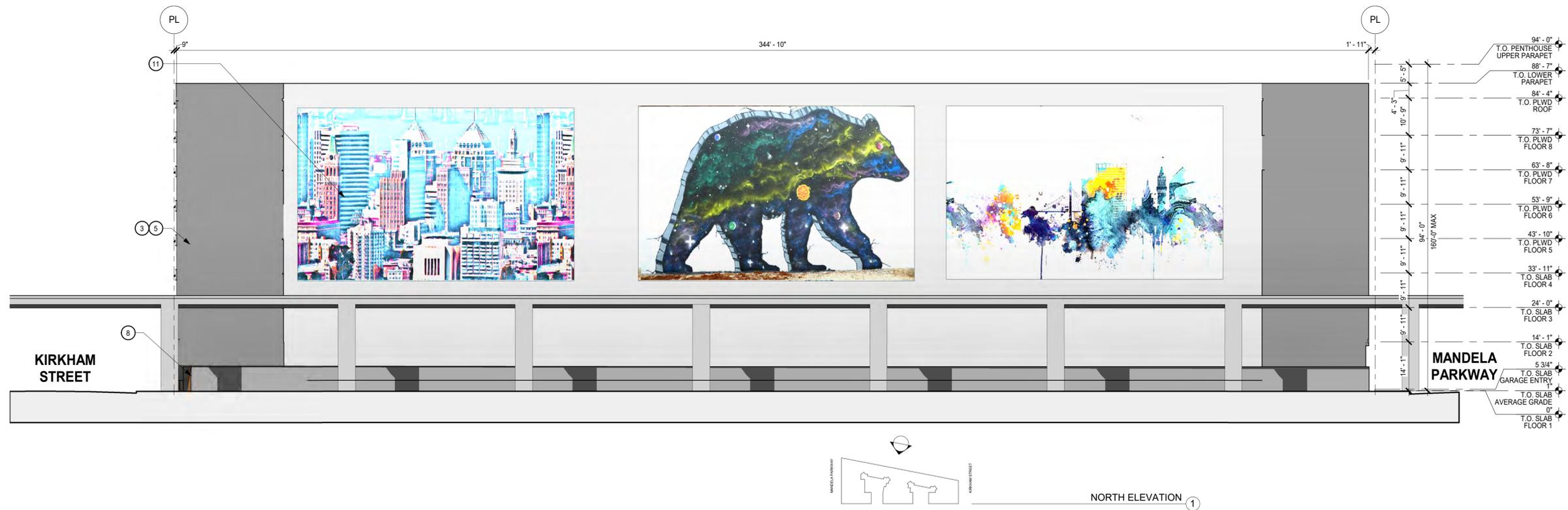








- ① PAINT - LIGHT COLOR
- ② PAINT - MED COLOR
- ③ PAINT DARK COLOR
- ④ FOAM TRIM
- ⑤ PLASTER PER CITY STANDARD
- ⑥ CAST STONE, STONE BASE OR SIM.
- ⑦ 43" GLASS RAIL
- ⑧ REDWOOD GOOD NEIGHBOR FENCE
- ⑨ 'VPI' VINYL WINDOWS
- ⑩ STOREFRONT TO MATCH VINYL WINDOWS
- ⑪ PUBLIC ART MURAL
- ⑫ EXTERIOR LIGHTING
- ⑬ BUILDING ADDRESS SIGNAGE
- ⑭ BUILDING SIGNAGE: DESIGN AND ILLUMINATION TO BE DETERMINED, FULLY-COMPLIANT WITH CITY CODES AND REGULATIONS
- ⑮ GARAGE DOOR
- ⑯ AWNING
- ⑰ OVERHEAD RECESSED LIGHT
- ⑱ METAL RAIL FENCE





AWNING (16)



EXTERIOR LIGHTING (12)



GLASS RAILING - (7)



PAINT - BM 1442 DEEP INDIGO (3)



BUILDING SIGNAGE (14)



VPI VINYL WINDOWS (9)



STONE BASE - (6)



PAINT - BM 1605 WINTER SOLSTACE (2)



REDWOOD FENCE (8)

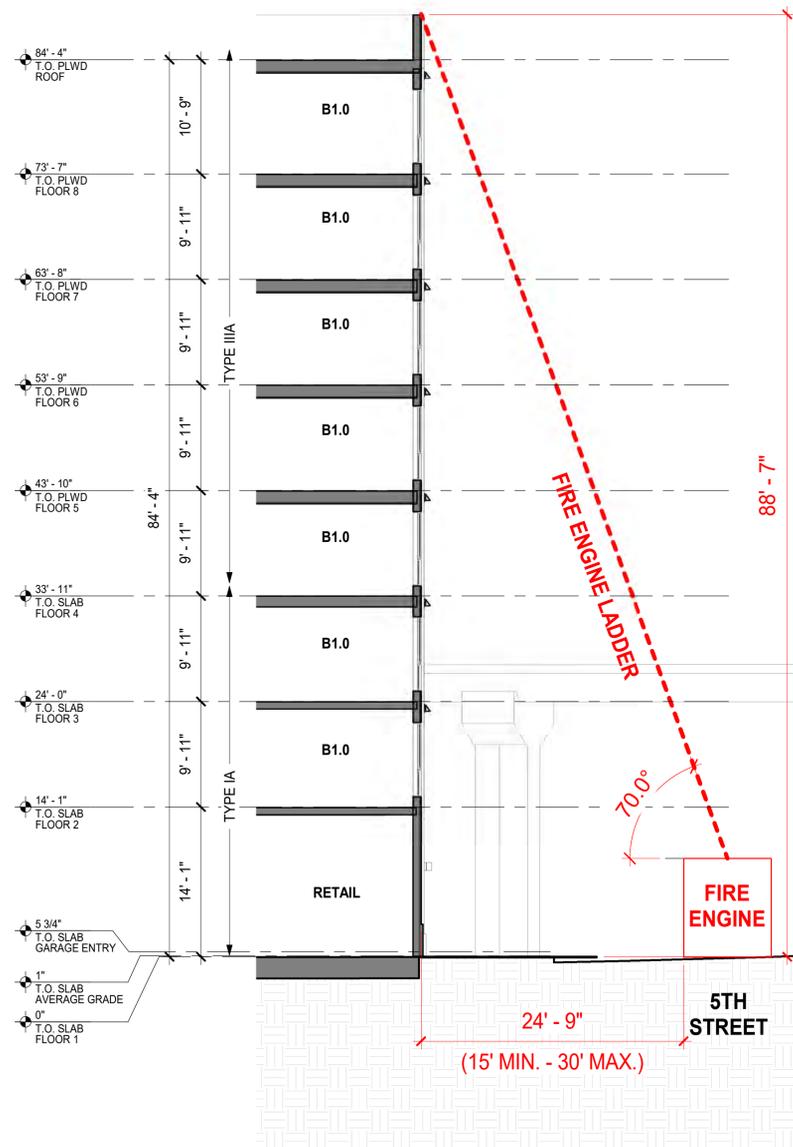


CEMENT PLASTER  
TEXTURE PER CITY STANDARD  
(SAMPLE PER REFERENCE ONLY) (5)

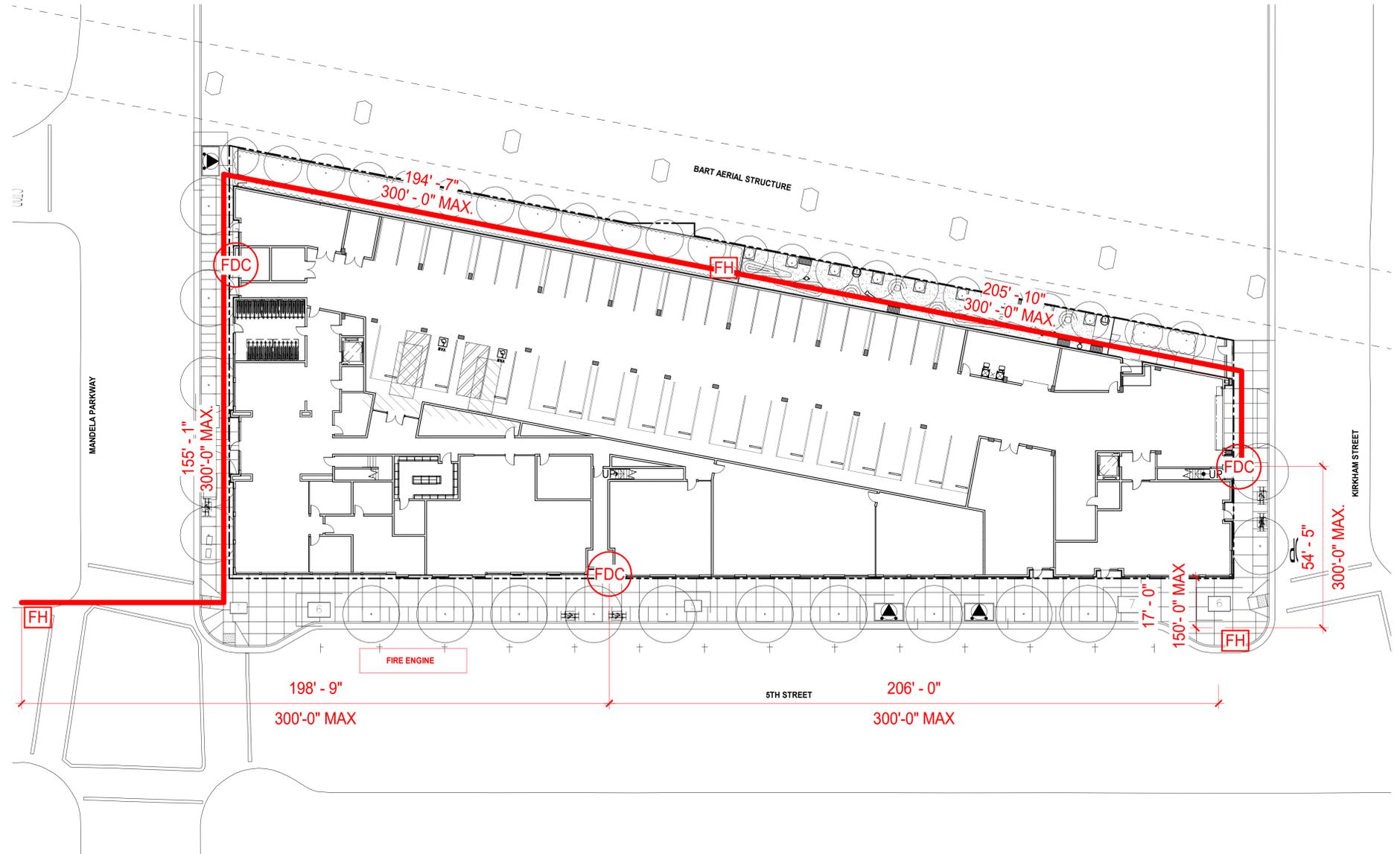


PAINT - BM 872 WHITE CHRISTMAS (1)

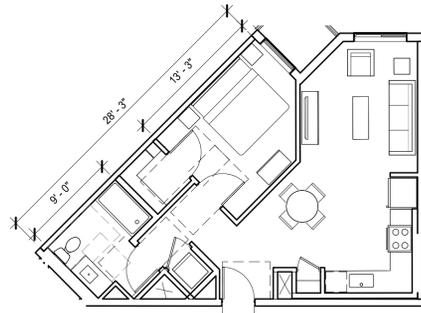




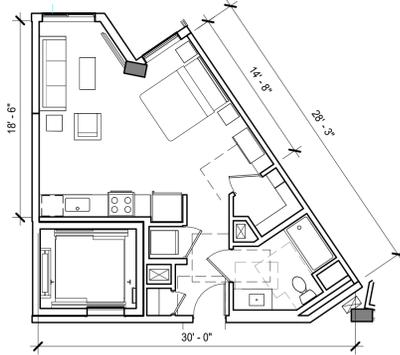
**FIRE AERIAL APPARATUS ACCESS 2**  
 1/8" = 1'-0"



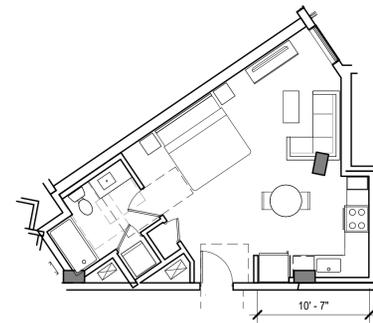
**FIRE AERIAL APPARATUS ACCESS 1**  
 3/64" = 1'-0"



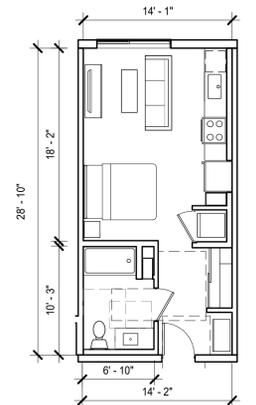
42 UNITS  
699 SF  
**UNIT A2 8**  
1/8" = 1'-0"



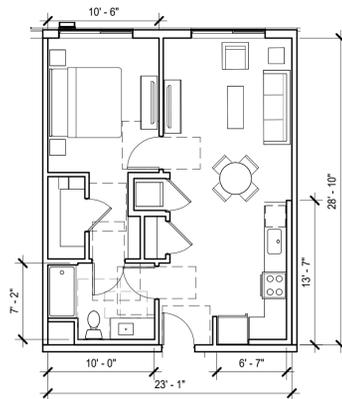
7 UNITS  
556 SF  
**UNIT S6 6**  
1/8" = 1'-0"



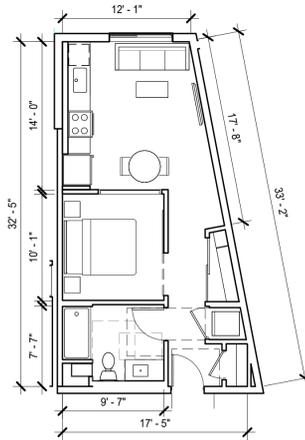
7 UNITS  
548 SF  
**UNIT S4 4**  
1/8" = 1'-0"



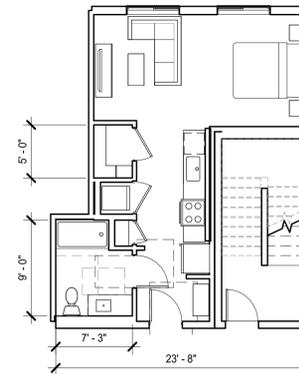
14 UNITS  
454 SF  
**UNIT S2 2**  
1/8" = 1'-0"



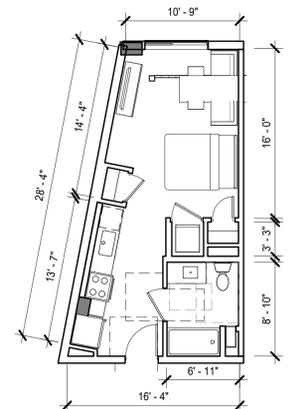
35 UNITS  
726 SF  
**UNIT A1 7**  
1/8" = 1'-0"



7 UNITS  
550 SF  
**UNIT S5 5**  
1/8" = 1'-0"

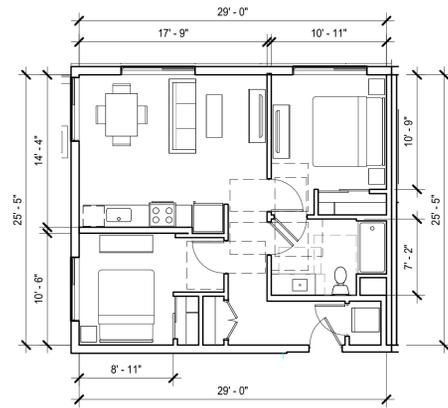


7 UNITS  
518 SF  
**UNIT S3 3**  
1/8" = 1'-0"

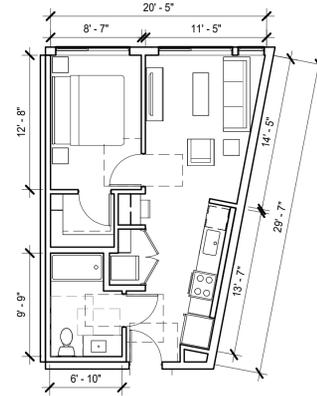


7 UNITS  
442 SF  
**Unit S1 1**  
1/8" = 1'-0"

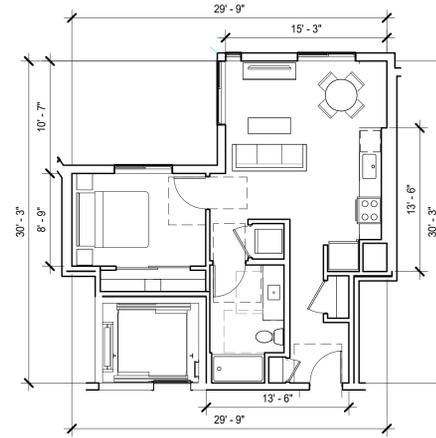




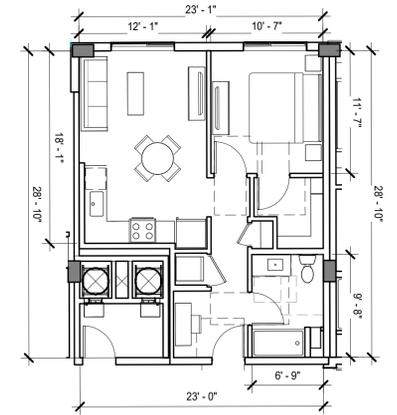
2 UNITS **Unit B2 9**  
812 SF  $1/8" = 1'-0"$



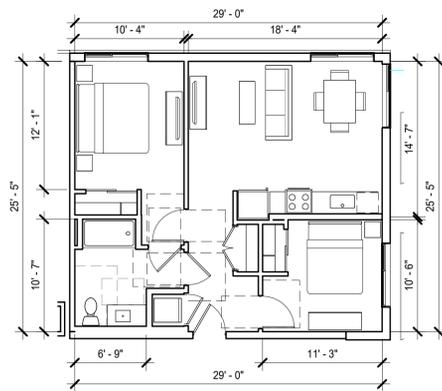
7 UNITS **UNIT A8 6**  
567 SF  $1/8" = 1'-0"$



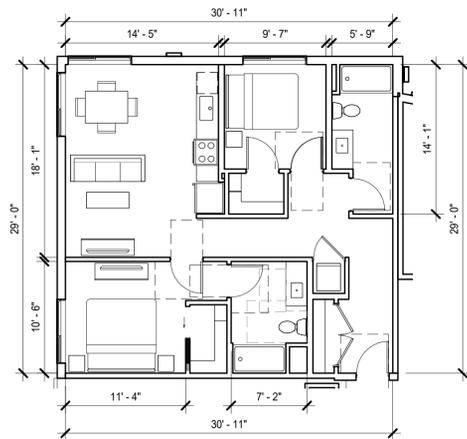
7 UNITS **UNIT A6 4**  
663 SF  $1/8" = 1'-0"$



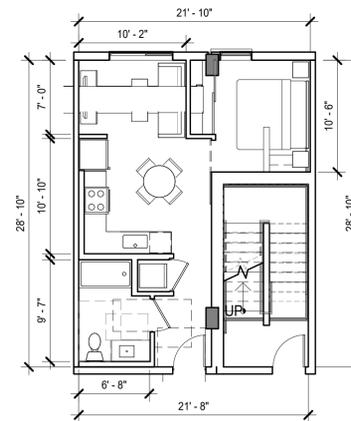
7 UNITS **UNIT A4 2**  
727 SF  $1/8" = 1'-0"$



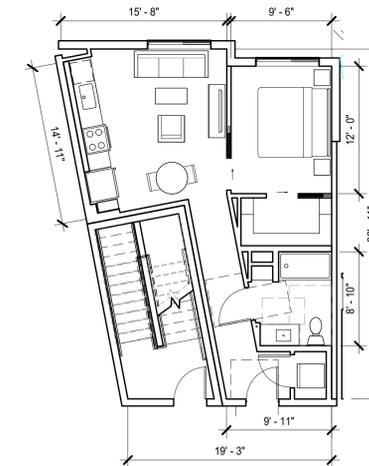
2 UNITS **UNIT B3 11**  
812 SF  $1/8" = 1'-0"$



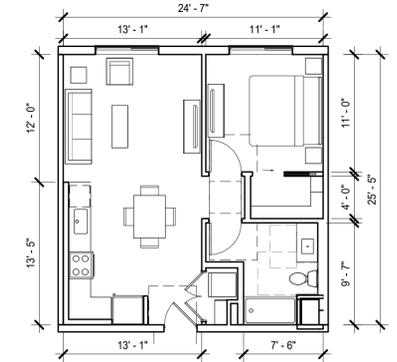
37 UNITS **UNIT B1 7**  
976 SF  $1/8" = 1'-0"$



7 UNITS **UNIT A7 5**  
502 SF  $1/8" = 1'-0"$



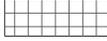
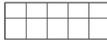
7 UNITS **UNIT A5 3**  
625 SF  $1/8" = 1'-0"$



20 UNITS **UNIT A3 1**  
684 SF  $1/8" = 1'-0"$



## LAYOUT LEGEND

	Pedestrian Concrete Paving Type 1		Porcelain Paver Type 1
	Porcelain Paver Type 2		Porcelain Decking Type 1
	Artificial Turf		Gravel Mulch
	E.J. Expansion Joint		S.M.D. See Mechanical Engineer's Drawings
	Center Line		S.P.D. See Plumbing Engineer's Drawings
	Align		S.I.D. See Interior Designer's Drawings
	Utility Boxes S.C.D./S.A.D.		S.C.F.S. See Color and Finish Schedule
	Planter Pots, S.C.F.S.		

## LANDSCAPE BIDDING NOTES

THE FOLLOWING NOTES ARE FOR BIDDING PURPOSES ONLY, SUBJECT TO SITE SOIL TEST RECOMMENDATIONS IN NOTES #7.

- The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
- Assume 24" box plant for any un-labelled or un-sized tree; 5 gallon plant for any un-labelled or un-sized shrub; and 1 gallon @ 18" o.c. for any un-labelled ground cover.
- Assume 5 gallon plant size at 30" o.c. for all planting beds not provided with planting callouts or planting information.
- The planting areas on grade shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
- All planting areas on grade are to receive Vision Comp OMRI Listed Compost by Vision Recycling, (510) 429-1300, or approved equal, at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
- Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil per note #5 above.
- The General Contractor is to provide an agricultural suitability analysis for representative samples of on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
- The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
- For built in place planters on structure, use imported regular weight soil mix.
- For planter pots, use lightweight soil mix.

## LAYOUT NOTES

- The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
- Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
- All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
- Decking and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects.
- All building information is based on drawings prepared by:  
BDE Architecture  
950 Howard Street  
San Francisco, CA 94103  
(t) 415.677.0966  
Contact: Kaid Alameri
- The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
- Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.

## DESIGN-BUILD METALWORK GENERAL NOTES

A.THE MISCELLANEOUS METALWORK, INCLUDING BUT NOT LIMITED TO THE HANDRAILS, GUARDRAILS, GATES, AWNINGS, AND SUNSHADES, SHALL BE DELIVERED ON A DESIGN-BUILD BASIS BY THE GENERAL CONTRACTOR. THE ARCHITECT'S DRAWINGS SHALL BE USED AS A DESIGN GUIDELINE FROM WHICH THE DESIGN-BUILD SUBCONTRACTOR CAN PREPARE A DESIGN-BUILD SUBMITTAL. THE DESIGN-BUILD SUBMITTAL SHALL INCLUDE 1) STRUCTURAL CALCULATIONS BY A LICENSED STRUCTURAL ENGINEER AND 2) A DETAILED SHOP DRAWING INCLUDING THE REQUIRED STEEL SECTIONS AND SHAPES (WALL THICKNESS) FOR STRUCTURAL INTEGRITY OF THE ITEM AND IN KEEPING WITH THE OVERALL DESIGN INTENT. THE ARCHITECT AND ENGINEER OF RECORD ARE RESPONSIBLE TO PROVIDE THE REQUIRED ENGINEERING FOR CONNECTING THE DESIGN BUILD ITEMS TO THE BUILDING AND FOR REVIEWING THE DESIGN-BUILD SUBMITTAL FOR COMPLIANCE WITH THE DESIGN INTENT AND FOR THE STRUCTURAL CONNECTION TO THE BUILDING.

B.STEEL SIZES CALLED OUT ON DRAWINGS ARE TO BE USE FOR DESIGN INTENT ONLY. STEEL SIZES HAVE NOT BE REVIEWED BY THE STRUCTURAL ENGINEER. STRUCTURAL CALCULATIONS SHALL BE PROVIDED TO CONFIRM THAT THE RAIL WILL RESIST A LOAD OF 50-PLF APPLIED IN ANY DIRECTION AT THE TOP RAIL, AND TO TRANSFER THE LOAD TO THE STRUCTURE PER SECTION 1607.8.1. GLASS HANDRAIL ASSEMBLIES AND GUARDS SHALL ASLO COMPLY WITH SECTION 2407. HANDRAILS AND GUARDS SHALL ALSO BE CONSTRUCTED TO RESIST A SINGLE CONCENTRATED LOAD OF 200-LBS. APPLIED AT ANY POINT ALONG THE TOP RAIL PER SECTION 1607.8.1.1. INTERMEDIATE RAILS, BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 50-PLF PER SECTION 1607.8.1.2

C.METALWORK COMPONENTS TO BE HOT-DIPPED, GALVANIZED STEEL AND PAINTED; NO FIELD WELDING WILL BE ACCEPTED; MECHANICAL CONNECTIONS ONLY.

D.VERIFY CLEARANCES & DIMENSIONS IN FIELD PRIOR TO FABRICATION & INSTALLATION.

E.UNLESS OTHERWISE NOTED, GENERAL CONTRACTOR SHALL INCLUDE PRICING FOR SIMILAR DETAILING AT ALL FENCES, GATES, AND ACCESSORIES THAT REQUIRE STEEL FABRICATION AS INDICATED IN LANDSCAPE DRAWINGS OR IN OTHER CONSULTANT DRAWINGS.

F.CAP ALL EXPOSED OPEN ENDS OF TUBE STEEL.

G.GRIND WELD JOINTS SMOOTH. ALL JOINTS AND CAPS TO BE FULLY WELDED.

H.USE ARCHITECTURAL DRAWINGS FOR DIMENSIONS REQUIRED FOR CONNECTION TO BUILDING STRUCTURES. GENERAL CONTRACTOR TO COORDINATE WITH OWNER FOR FINISHES AND COLORS.

I.NO SPACE BETWEEN RAILS SHALL BE OVER 3-3/4" WIDE. A SPHERE 4" IN DIAMETER SHALL NOT BE ABLE TO PASS THROUGH.

J.ALL DIMENSIONS TO BE VERIFIED IN THE FIELD BEFORE SUBMITTING DRAWINGS AND CALCULATIONS.

K.FOR WATERPROOFING DETAILS REFER TO ARCHITECTURAL & BE DRAWINGS.

L.EXTERIOR GATE HARDWARE TO BE SPECIFIED, ENGINEERED, FABRICATED, INSTALLED AND COORDINATED BY DESIGN/BUILD. GC TO INCLUDE IN BID, COST FOR ALL GATE HARDWARE REQUIRED FOR FULLY-FUNCTIONING GATES, INCLUDING CUSTOM DESIGNED HARDWARE AS REQUIRED (INCLUDING BUT NOT LIMITED TO HINGES, LATCHES, ETC.) AND ACCESSORIES (AUTO OPERATORS, CLOSERS, ETC.), WHERE NECESSARY FOR GATE TO MEET DESIGN INTENT AND CODE REQUIREMENTS (I.E. ACCESS CONTROL, OPERATING FORCE OF 8 LBS FOR PEDESTRIAN GATES, ETC.)

## COLOR AND FINISH SCHEDULE

### PEDESTRIAN CONCRETE PAVING

Natural grey concrete with light broom finish. Sweep perpendicular to path of travel.

### CONCRETE PAVERS

Porcelain Pavers by Ackerstone (T) (951).674.0047 www.ackerstone.com  
Type 1 24" x 24" Slab Paver. Color (Through Mix): Mesa Beige with Standard Finish

### PEDESTAL PAVER SYSTEM

Ultra Low Pedestal System: Adjustable Model L0-316, by Bison Innovative Products (T) (303)892.0400, or approved equal. Install Per Manufacturer Specifications

### PAVING EDGE

Geoege Paving Edge by Permaloc (T) (800) 356-9660. Type 1: Size: 6.5"x5.5". Type 2: Size: 8.5"x7.5"Install per manufacturers specifications, color to be Black.

### GRAVEL MULCH @ PLANTER POTS

All gravel by Lyngso Garden Materials (T) (650)364-1730, www.lyngsogarden.com. Gravel type and size to be 3/4" Black La Paz Pebbles.

### BIKE RACKS

WSWF02-SQ-IG-G Square tube, Galvanized, In-ground Mount by www.bikeparking.com Quantity: 6

### BARBEQUE

By Denver Stainless Outdoor Kitchens www.denver.com (T) (203)269.2300

Grill Base: OGB4202. Quantity: 2

Grill: \*\*A660i Built-in Grill for use with Natural Gas. By Firemagic Grills (T) (800)332.3972. Include automatic timed shutoff valve. Quantity: 2

Door/Drawer Combination Base: OBD2411-LH. Quantity: 2.  
OBD2411-RH. Quantity: 2.

Refrigerator: Liebherr 24" 3.7 cu. ft. Outdoor Rated Compact Refrigerator -R0-510. Available from www.bbqguys.com. Quantity: 1

Countertop: 2" Th. Polished Finish Granite by Belstone. Type: Creme Blue Bahia Granite. www.belstoneproducts.com

Submit Sample to Landscape Architect Prior to Acquisition.

\*\*NOTE: Provide 20 gauge GSM Roofing Protections, below paver/pedestals- on top of drain mat, extending 10' beyond BBQ in all directions.

### PERFORATED METAL FENCE PANELS

Laser Cut Metal Sheet -Morph Pattern. 3/16" Aluminum. Powdercoat White Sand. by MOZ Designs (T) (510)632-0853. Install per manufacturers recommendations.

### PERFORATED PANELS @ LOUNGE BAR

Laser Cut Metal Sheet -Ovals Pattern. 3/16" Aluminum. Powdercoat Rusted Copper by MOZ Designs (T) (510)632-0853. Install per manufacturers recommendations.

### WOOD FENCING / CLADDING / LOUNGE BAR

Keconomy Lumber, www.keconomy.com/us/products , K2226 Clear Radiata, Available in 5/4" Members

### LIGHT FIXTURES

Lounge Bar Perforated Metal LED Light Strip: Signwave 3 SW-3 Series by Kelvix. White (3500K). Side or End Feed. IP 67. SW-K-CH-AL-2M aluminum mounting channel. Contact David Miguelucci, Sixteen5hundred, (T)510.645.2573. S.E.D.

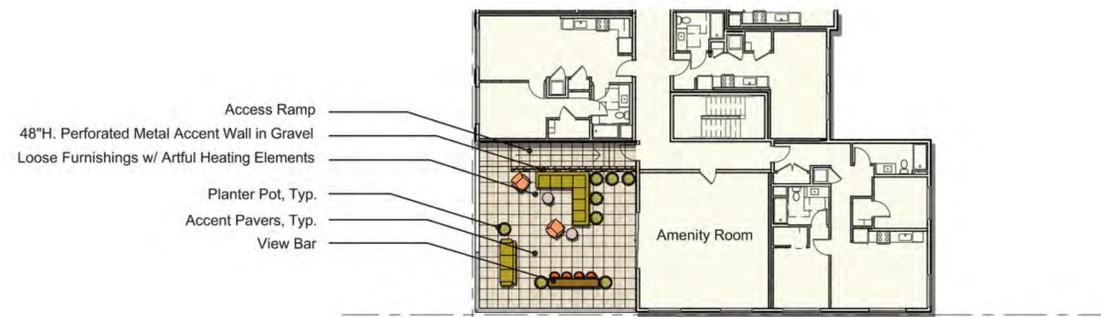
### LOUNGE BAR LED LIGHT STRIP

Performance 300 Series | Linear LED. Model# PH3K-24V  
Available from www.kelvix.com (T) (800)789.3810

## SHEET INDEX

L1.0	Notes and Legends
L2.0	Groundfloor Landscape Plan
L2.1	Floor 2 & Floor 8 Landscape Plan
L3.0	Water Use Plan
L4.0	Precedent Imagery





FLOOR 8



FLOOR 2



**WATER USE LEGEND**

-  WUCOLS Low: 1,817 SF
  -  WUCOLS Moderate: 1,041 SF
  -  WUCOLS High: 0 SF
- \* Based upon total landscape area of 2,858 SF





**CAUTION !! CAUTION !! CAUTION !!**  
 EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR OF ANY JOINT TRENCH CONSTRUCTION. POT HOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 2 WORKING DAYS IN ADVANCE.

CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

**JOINT TRENCH OCCUPANCY GUIDE**

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRL.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

\*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

**SERVICE TERMINATION LEGEND**

**[E.T.C.]** ELECTRIC, TELEPHONE, CATV CLOSET

**[G]** GAS CLOSET

NOTE: JOINT TRENCH CONTRACTOR TO TIE-IN TO CONDUIT STUBS INSTALLED BY THE BUILDING CONTRACTOR. ADJUST SERVICE TRENCH ROUTE AS NECESSARY.

**GAS LOAD BREAKDOWN FOR GAS METER #1**

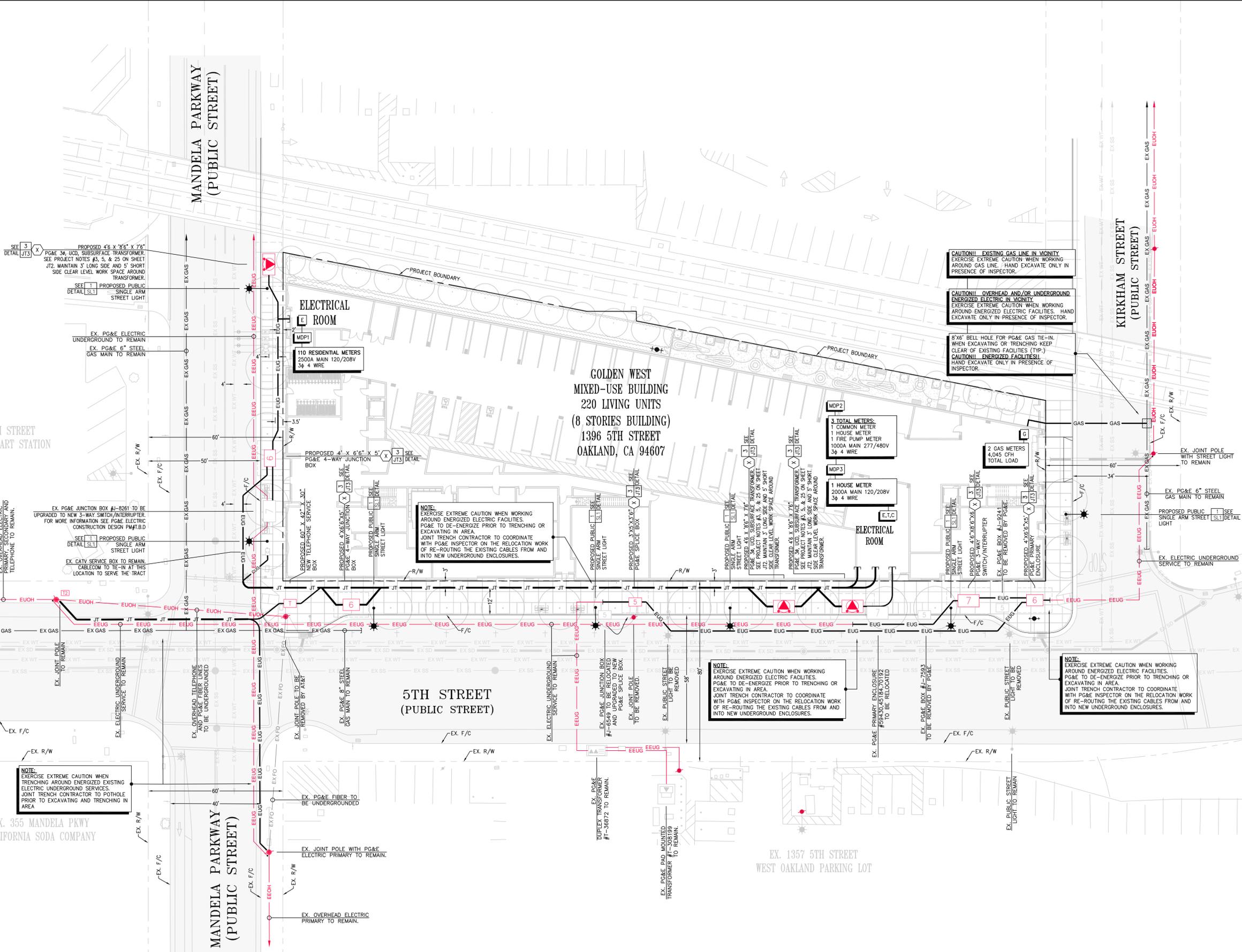
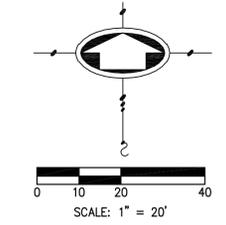
5 WATER HEATERS AT 399 CFH EACH  
 3 HVAC UNITS AT 150 CFH EACH  
 2 BARBEQUE AT 100 CFH EACH  
 3 FIRE PIT AT 300 CFH EACH

3,545 CFH TOTAL CONNECTED LOAD AT 2 PSI ELEVATED DELIVERY GAS PRESSURE.

**GAS LOAD BREAKDOWN FOR GAS METER #2**

WATER HEATERS AT 200 CFH  
 2 HVAC UNITS AT 50 CFH EACH  
 2 GAS OVEN AT 100 EACH

3,545 CFH TOTAL CONNECTED LOAD AT 2 PSI ELEVATED DELIVERY GAS PRESSURE.



NOTE: EXERCISE EXTREME CAUTION WHEN TRENCHING AROUND ENERGIZED EXISTING ELECTRIC UNDERGROUND SERVICES. JOINT TRENCH CONTRACTOR TO POT HOLE PRIOR TO EXCAVATING AND TRENCHING IN AREA.

NOTE: EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. PG&E TO DE-ENERGIZE PRIOR TO TRENCHING OR EXCAVATING IN AREA. JOINT TRENCH CONTRACTOR TO COORDINATE WITH PG&E INSPECTOR ON THE RELOCATION WORK OF RE-ROUTING THE EXISTING CABLES FROM AND INTO NEW UNDERGROUND ENCLOSURES.

NOTE: EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. PG&E TO DE-ENERGIZE PRIOR TO TRENCHING OR EXCAVATING IN AREA. JOINT TRENCH CONTRACTOR TO COORDINATE WITH PG&E INSPECTOR ON THE RELOCATION WORK OF RE-ROUTING THE EXISTING CABLES FROM AND INTO NEW UNDERGROUND ENCLOSURES.

NOTE: EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. PG&E TO DE-ENERGIZE PRIOR TO TRENCHING OR EXCAVATING IN AREA. JOINT TRENCH CONTRACTOR TO COORDINATE WITH PG&E INSPECTOR ON THE RELOCATION WORK OF RE-ROUTING THE EXISTING CABLES FROM AND INTO NEW UNDERGROUND ENCLOSURES.

CAUTION!! EXISTING GAS LINE IN VICINITY. EXERCISE EXTREME CAUTION WHEN WORKING AROUND GAS LINE. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

CAUTION!! OVERHEAD AND/OR UNDERGROUND ENERGIZED ELECTRIC IN VICINITY. EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

5'x6' BELL HOLE FOR PG&E GAS TIE-IN. WHEN EXCAVATING OR TRENCHING KEEP CLEAR OF EXISTING FACILITIES (TYP.) CAUTION!! ENERGIZED FACILITIES!! HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

813 First Street  
 Brentwood, CA 94513  
 (925) 240-2595  
 (925) 240-7013 fax  
 www.tarrar.com



- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec. Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

**JOINT TRENCH COMPOSITE PLAN**  
 MICHAELS DEVELOPMENTS  
 GOLDEN WEST  
 OAKLAND CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: MAY 2020	DATE LAST WORKED ON: 8/14/2020
SCALE: 1" = 20'	DRAWN: HK CHECKED: KT
JOB NO: 219090	PRELIMINARY NOT FOR CONSTRUCTION
INTENT TO CONSTRUCT	



SHEET **JT5** OF **JT5** SHEETS

# 1396 5TH STREET

## CITY OF OAKLAND, ALAMEDA COUNTY, CALIFORNIA

### PROJECT INFORMATION:

PROPERTY ADDRESS: 1396 5TH STREET, OAKLAND, CA 94607  
 ASSESSOR'S PARCEL NO.: 004-0069-004  
 OWNER/DEVELOPER: OAKLAND HOUSING INVESTORS, LP  
 PO BOX 90708  
 CAMDEN, NJ 08101  
 PHONE: (310) 709-1887  
 CONTACT: SCOTT COOPER  
 ARCHITECT: BDE ARCHITECTURE  
 934 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 PHONE: (415) 677-0966  
 CONTACT: NATHAN SIMPSON  
 CIVIL ENGINEER: BKF ENGINEERS  
 1730 N. FIRST STREET, SUITE 600  
 SAN JOSE, CA 95112  
 PHONE: (408) 467-9100  
 CONTACT: PHONG KIET

### STATEMENT OF RESPONSIBILITY:

- THE LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO ANY EXCAVATION OR IMPROVEMENT.
- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION- PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.
- THESE DRAWINGS DO NOT ADDRESS CONTRACTOR MEANS, METHODS OR PROCESSES THAT MAY BE ASSOCIATED WITH ANY TOXIC SOILS IF FOUND ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL CITY AND COUNTY STANDARDS AND APPROPRIATE REGULATIONS IF TOXIC SOILS ARE ENCOUNTERED. CONTRACTOR MUST NOTIFY THE CONSTRUCTION PROJECT MANAGER IMMEDIATELY IF ANY SOILS ARE EVEN SUSPECTED OF BEING CONTAMINATED.
- CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CONSULTING ENGINEER.
- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES. CONTRACT UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST TWO (2) WORKING DAYS PRIOR TO EXCAVATION. THE UTILITIES SHOWN ON THE PLANS ARE BASED UPON RECORD INFORMATION. HOWEVER, THE CIVIL DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR ACTUAL LOCATIONS.
- CONTRACTOR SHALL COMPLY WITH STATE, COUNTY AND CITY LAWS AND ORDINANCES; AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.

### GENERAL NOTES:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED BY BKF ENGINEERS IN JULY 2016 UNDER THE DIRECTION OF DAVID DARLING (L.S. #7625). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.

### UTILITY NOTE:

- THE UTILITY LINES SHOWN ON THIS PLAN ARE DERIVED FROM SURFACE OBSERVATIONS AND RECORD MAPS, AND ARE APPROXIMATE ONLY. NO WARRANTY IS IMPLIED AS TO THE ACTUAL LOCATION, SIZE OR PRESENCE OF ANY LINES SHOWN HEREON OR ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN.

### BENCHMARK:

A CITY OF OAKLAND BENCHMARK #16NW4 (AKA B-20-E) DESCRIBED AS: A PIN IN MONUMENT AT INTERSECTION OF CENTER STREET AND 5TH STREET.  
 ELEV=4.256 FEET (CITY OF OAKLAND DATUM)

### BASIS OF BEARING:

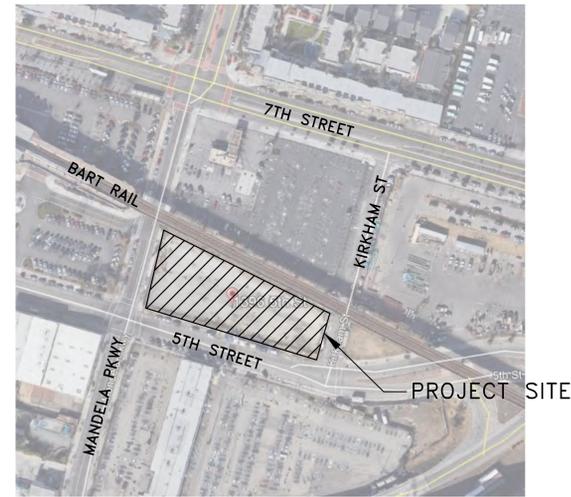
THE BEARING N13°04'10"E ALONG THE MONUMENT LINE BETWEEN MONUMENT, "9 SW 6" (A MONUMENT PIN IN A MONUMENT BOX LOCATED IN THE NW QUADRANT OF THE INTERSECTION OF 23TH STREET AND WAVERLY STREET) AND MONUMENT, "9 SW 9" (A MONUMENT PIN IN A MONUMENT BOX LOCATED IN THE NW QUADRANT OF 24TH STREET AND WAVERLY STREET) AS SAID MONUMENT LINE IS SHOWN AND CALCULATED FROM MONUMENT SHEETS PROVIDED BY THE CITY OF OAKLAND, AND AS SHOWN HEREON.

### SURVEYOR'S NOTES:

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- ENCROACHMENT OF 5' SSE AS SHOWN ON PREVIOUS ALTA SURVEY BY BKF ENGINEERS.
- SOUTHERLY AND SOUTHEASTERLY FACE OF BUILDING AT 2359 HARRISON ENCLOSES INTO NEIGHBORING PARCEL AND STREET RIGHT OF WAY AS SHOWN.
- SCREENED, BACKGROUND DATA IS AERIAL MAPPING FROM 2016.

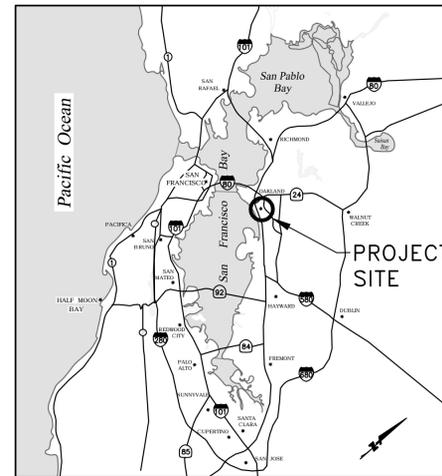
### TREE/PLANT PROTECTION NOTES:

- PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROVIDE 6 FOOT TALL TREE PROTECTION FENCE WITH DISTINCTIVE MARKING VISIBLE TO CONSTRUCTION EQUIPMENT, ENCLOSED DRIP LINES OF TREES DESIGNATED TO REMAIN OR TO THE SATISFACTION OF THE CITY ENGINEER/ARBORIST.
- WORK REQUIRED WITHIN FENCE LINE SHALL BE HELD TO A MINIMUM, AVOID UNNECESSARY MOVEMENT OF HEAVY EQUIPMENT WITHIN FENCED AREA AND DO NOT PARK VEHICLES UNDER DRIP LINE OF TREES.
- PRIOR TO REMOVING ROOTS AND BRANCHES LARGER THAN 2" IN DIAMETER OF TREES OR PLANTS THAT ARE TO REMAIN, CONSULT WITH THE CONSTRUCTION PROJECT MANAGER.
- ANY GRADE CHANGES GREATER THAN 6" WITHIN THE DRIPLINE OF EXISTING TREES SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT/CIVIL ENGINEER.
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL; AS WELL AS FROM PUDDLING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- PROVIDE TEMPORARY IRRIGATION TO ALL TREES AND PLANTS THAT ARE IN OR ADJACENT TO CONSTRUCTION AREAS WHERE EXISTING IRRIGATION SYSTEMS MAY BE AFFECTED BY THE CONSTRUCTION. ALSO PROVIDE TEMPORARY IRRIGATION TO RELOCATED TREES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.



### LOCATION MAP

NTS



### VICINITY MAP

NTS

### ENGINEER'S STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

*Phong Kiet*  
 PHONG KIET, PE  
 PROJECT MANAGER  
 BKF ENGINEERS

6/4/2020  
 DATE



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SHEET	TITLE
C0.0	TITLE SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	EROSION CONTROL PLAN
C5.1	BEST MANAGEMENT PRACTICES
C6.0-C6.1	STORMWATER CONTROL PLAN

### UTILITY INFORMATION

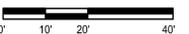
WATER SUPPLY: EAST BAY MUNICIPAL UTILITY DISTRICT  
 STORM DRAINAGE: CITY OF OAKLAND  
 SEWAGE DISPOSAL: CITY OF OAKLAND  
 GAS: PACIFIC GAS & ELECTRIC  
 ELECTRIC: PACIFIC GAS & ELECTRIC  
 TELEPHONE: AT&T  
 CABLE: COMCAST

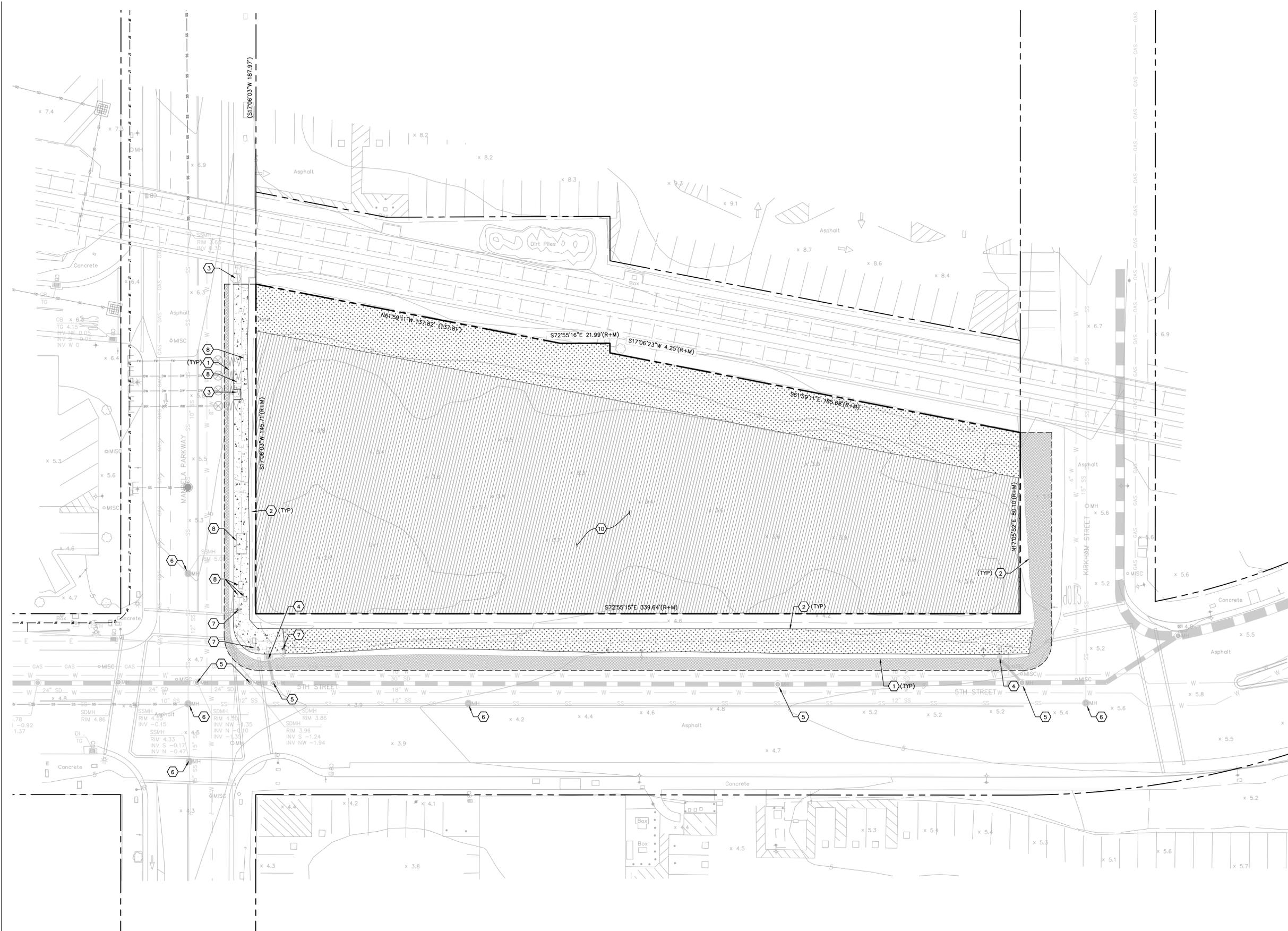
### ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AB	AGGREGATE BASE	MAX	MAXIMUM
AC	ASPHALT CONCRETE	MEP	MECHANICAL/ELECTRICAL/PLUMBING
AD	AREA DRAIN	MH	MANHOLE
AGG	AGGREGATE	MIN	MINIMUM
APPROX	APPROXIMATE	MON	MONUMENT
BB	BUBBLER BOX	OD	OVERFLOW DRAIN
BC	BEGINNING OF CURVE	OR	ORIFICE
BCR	BEGIN CURB RETURN	(N)	NORTH/NEW
BLDG	BUILDING	N.A.P.	NOT A PART
BM	BENCH MARK	N.D.P.E.S.	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM
BO	BLOWOFF VALVE	NO., #	NUMBER
BVC	BEGIN VERTICAL CURVE	NTS	NOT TO SCALE
BW	BACK OF WALK/BOTTOM OF WALL	P.A.E.	PUBLIC ACCESS EASEMENT
CB	CATCH BASIN	PCC	POINT OF COMPOUND CURVE or PORTLAND CEMENT CONCRETE
CDS	CUL-DE-SAC	PE	POP-UP EMITTER
C&G	CURB & GUTTER	PG&E	PACIFIC GAS AND ELECTRIC
C, CL	CENTERLINE	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	P.O.C.	POINT OF CONNECTION
CO	CLEANOUT	PRC	POINT OF REVERSE CURVE
CONC	CONCRETE	PROP	PROPOSED
CR	CURB RETURN	P.S.D.E.	PRIVATE STORM DRAIN EASEMENT
CVC	CENTER OF VERTICAL CURVE	P.S.E.	PUBLIC SERVICE EASEMENT
DEFL	DEFLECTION	PT	POINT
DI	DROP INLET	P.U.E.	PUBLIC UTILITY EASEMENT
DIP	DUCTILE IRON PIPE	PW	PLANTER WALL
DIA	DIAMETER	PV	PAVEMENT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE
DW	DOMESTIC WATER	PVI	POINT OF VERTICAL INTERSECTION
D/W	DRIVEWAY	R	RADIUS
DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE
EBMUD	EAST BAY MUNICIPAL UTILITY DISTRICT	RES	RESIDENTIAL
ELEC	ELECTRIC	RET	RETAIL
(E)	EAST	RIM EL	RIM ELEVATION
EC	END OF CURVE	RP	REDUCED PRESSURE
ECR	END OF CURB RETURN	RPPA	PRINCIPAL ASSEMBLY
EL	ELEVATION	RT	RIGHT
EP	EDGE OF PAVEMENT	S	SLOPE
E.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT	(S)	SOUTH
EVC	END VERTICAL CURVE	SD	STORM DRAIN
EW	EACHWAY	S.D.E.	STORM DRAIN EASEMENT
EX	EXISTING	SDMH	STORM DRAIN MANHOLE
(F)	FUTURE	SHT.	SHEET
F/C	FACE OF CURB	SS	SANITARY SEWER
FF	FINISHED FLOOR ELEVATION	SSMH	SANITARY SEWER MANHOLE
FG	FINISHED GRADE	ST.	STREET
FH	FIRE HYDRANT	STA	STATION
FL	FLOW LINE	STD	STANDARD
FM	FORCE MAIN	S/W	SIDEWALK
FOB	FACE OF BUILDING	T OR TELE	TELEPHONE
FP	FINISHED PAVEMENT	TBD	TO BE DETERMINED
FT	FEET	T&B	TOP AND BOTTOM
G	GAS	TC	TOP OF CURB
GB	GRADE BREAK	TEMP	TEMPORARY
GE	GARAGE ELEVATION	TG	TOP OF GRATE
GM	GAS METER	TP	TOP OF PAVEMENT
HI	HOODED INLET	TYP.	TYPICAL
HV	HIGH POINT	VC	VERTICAL CURVE
HV	HIGH VOLTAGE	VERT.	VERTICAL
I.E.E.	INGRESS/EGRESS EASEMENT	W	WEST
INV	INVERT	(W)	WITH
IRR	IRRIGATION	W	WEST
JT	JOINT TRENCH	WM	WATER METER
LAT	LATERAL	WV	WATER VALVE
L	LENGTH	1/2 PT	HALF POINT OF CURB
LF	LINEAR FEET		RETURN AT F/C
LG	LIP OF GUTTER		
LP	LOW POINT		
LS	LANDSCAPE		
LT	LEFT		



below.  
before you dig.





### LEGEND

	REMOVE EXISTING CONCRETE PAVEMENT SECTION
	REMOVE EXISTING ASPHALT CONCRETE PAVEMENT SECTION
	CLEAR AND GRUB EXISTING LANDSCAPING
	PROTECT EXISTING CONCRETE SLAB
	CURB AND GUTTER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	WATER LINE
	GAS LINE
	CATCH BASIN
	COMMUNICATION MANHOLE
	COMMUNICATION PULLBOX
	ELECTRIC MANHOLE
	ELECTRIC PULLBOX
	PARKING METER
	SIGNS
	STORM/SANITARY MANHOLE
	WATER METER

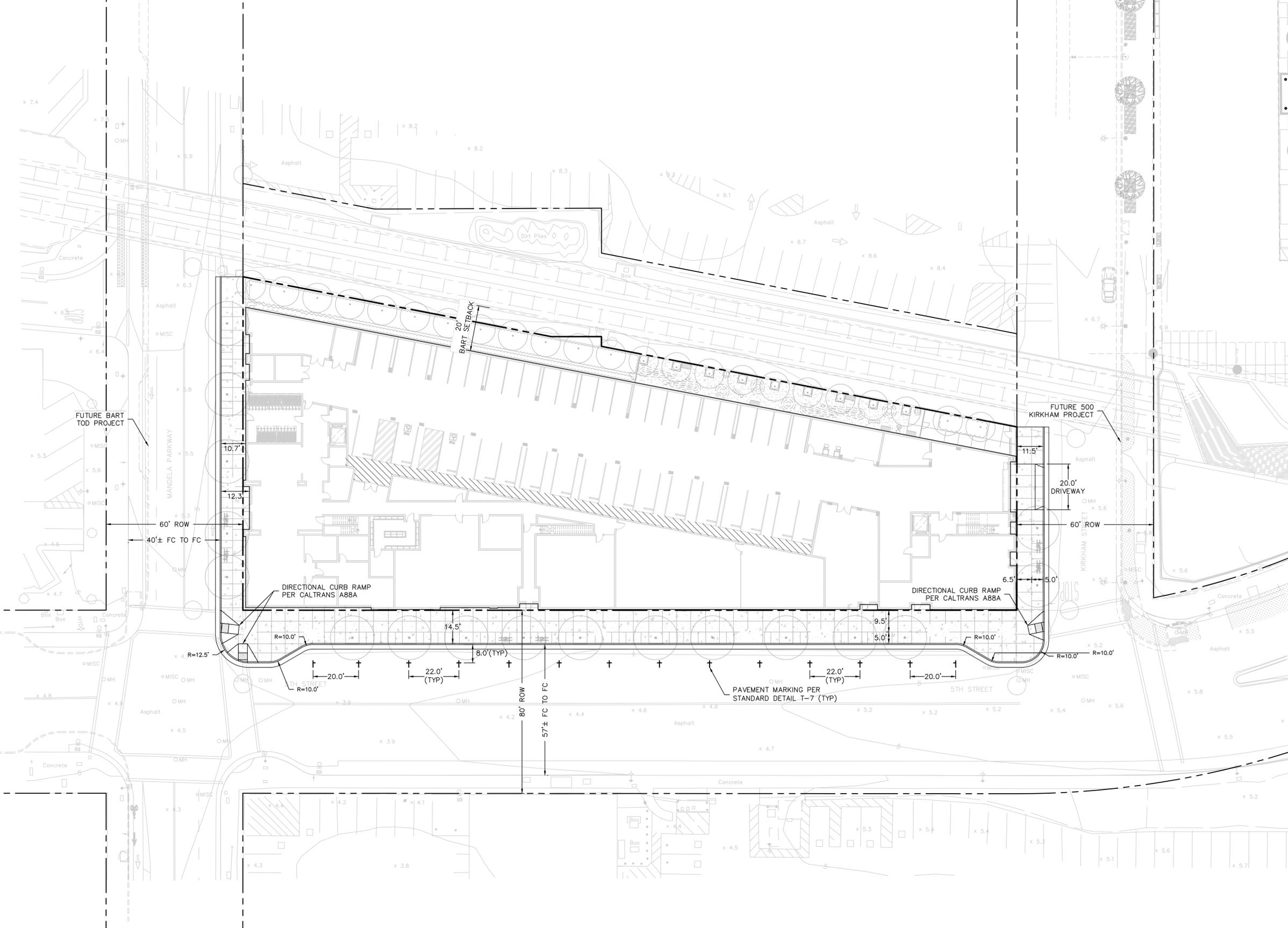
### KEYNOTES

- 1 REMOVE EXISTING CURB AND GUTTER
- 2 REMOVE EXISTING CHAINLINK FENCE
- 3 PROTECT EXISTING TREE IN PLACE
- 4 PROTECT EXISTING STORM DRAIN CATCH BASIN IN PLACE
- 5 PROTECT EXISTING STORM DRAIN MANHOLE IN PLACE
- 6 PROTECT EXISTING SANITARY SEWER MANHOLE IN PLACE
- 7 PROTECT EXISTING ELECTRIC POLE IN PLACE
- 8 PROTECT EXISTING ELECTRICAL VAULT AND ASSOCIATED UTILITIES IN PLACE. ADJUST TO GRADE WHERE APPLICABLE
- 9 PROTECT EXISTING MONUMENT IN PLACE
- 10 PROTECT EXISTING CONCRETE SLAB



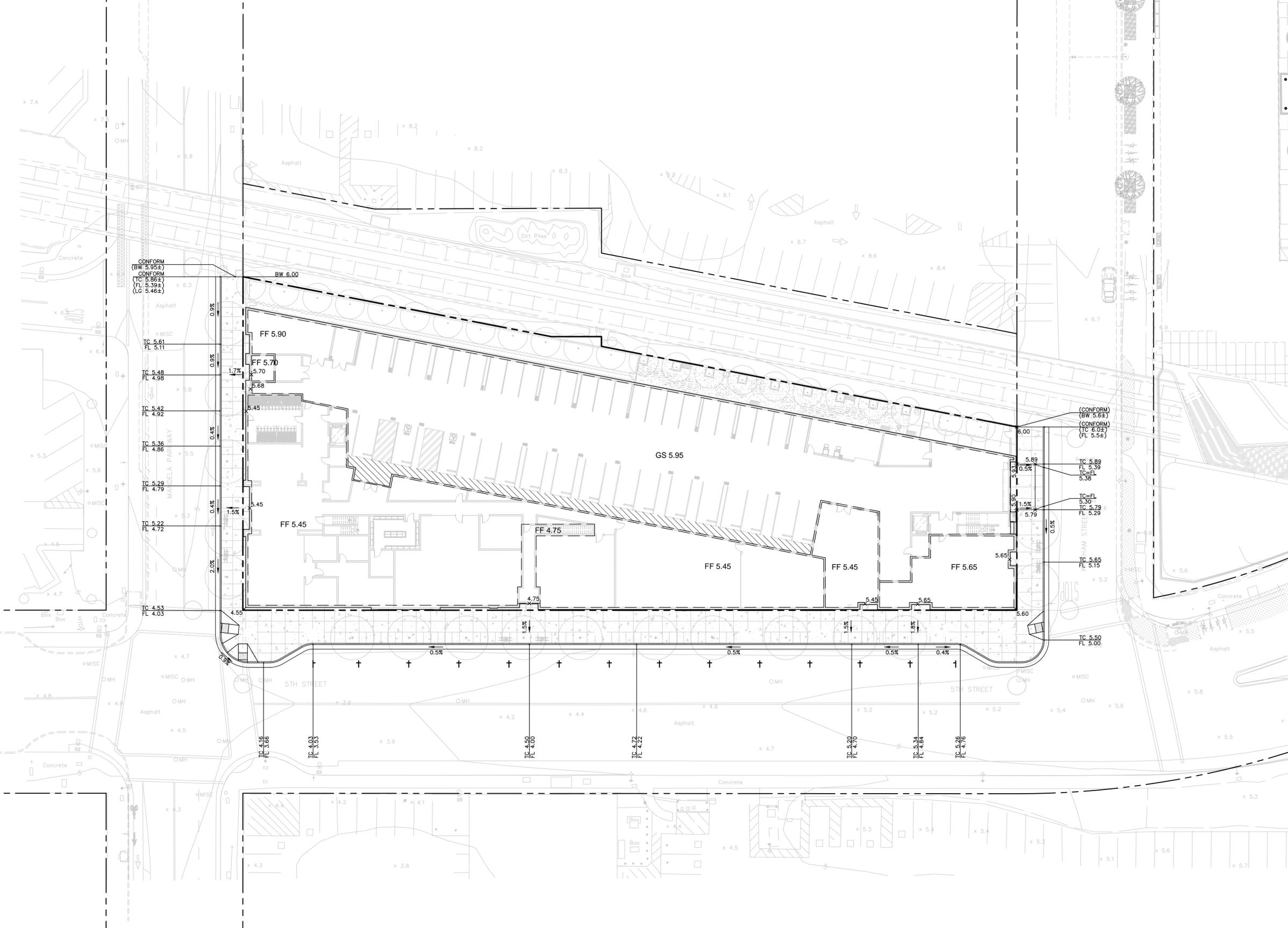
### LEGEND

PROPERTY LINE	
ADJACENT LOT LINE	
CONCRETE SIDEWALK	
VERTICAL CURB & GUTTER (PER CITY DETAIL S-1, TYPE A)	
CONCRETE DRIVEWAY (PER CITY DETAIL S-2)	

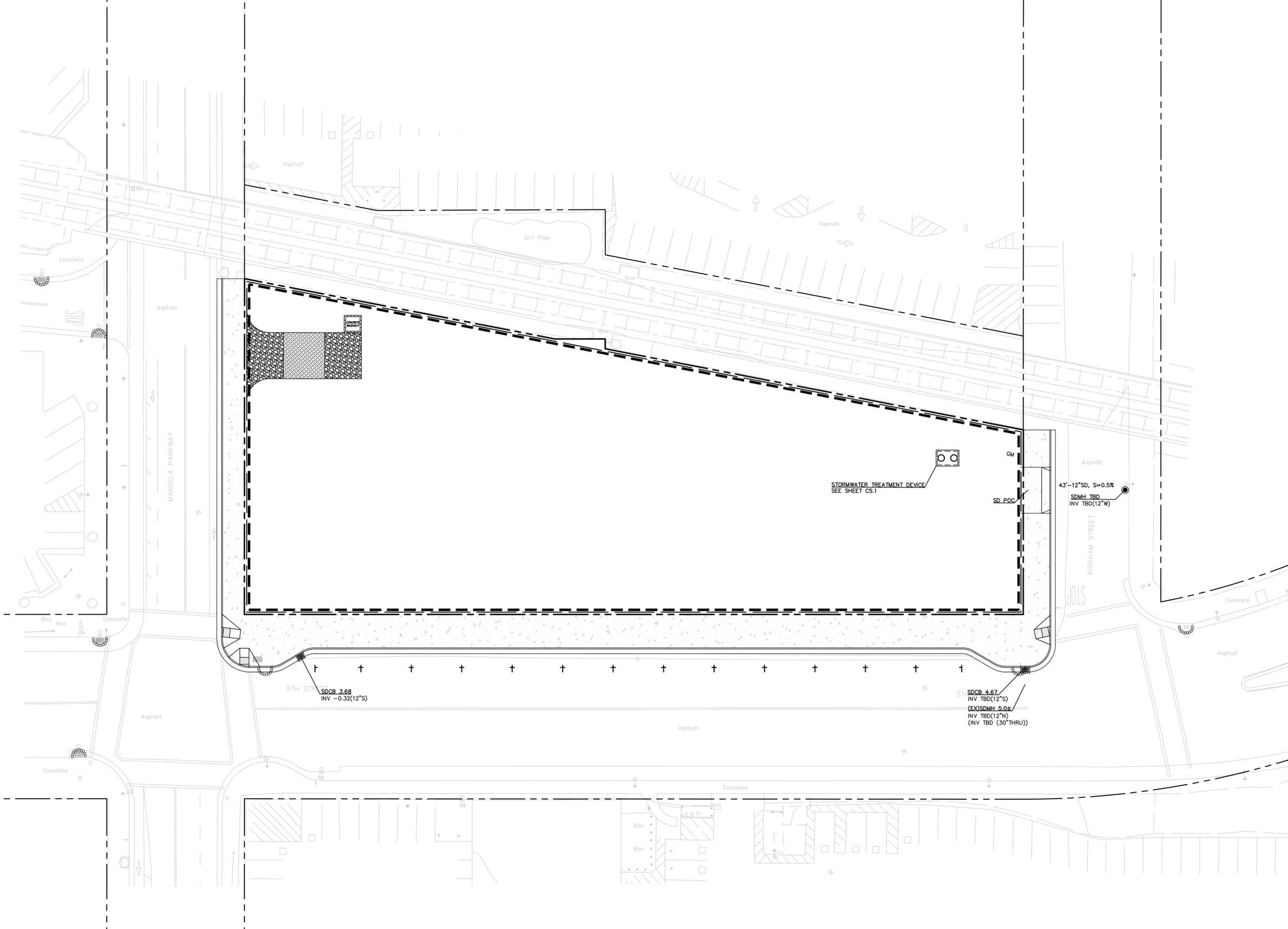


### LEGEND

- PROPERTY LINE
- ADJACENT LOT LINE
- CONCRETE SIDEWALK
- VERTICAL CURB & GUTTER (PER CITY DETAIL S-1, TYPE A)
- CONCRETE DRIVEWAY (PER CITY DETAIL S-2)
- PROPOSED GRADE TC 15.00  
FL 14.50
- SLOPE TO DRAIN 1.5%





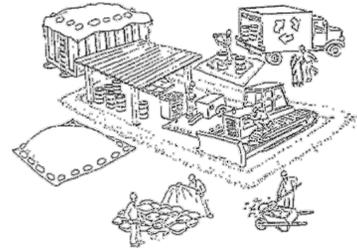


### LEGEND

- FIBER ROLL
- TEMPORARY 6' CONSTRUCTION FENCE
- STORM DRAIN INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE/EXIT (APPROXIMATE LOCATION SHOWN)
- ENTRANCE/EXIT TIRE WASH (APPROXIMATE LOCATION SHOWN)
- CONCRETE WASTE MANAGEMENT (APPROXIMATE LOCATION SHOWN)

- ### NOTES
1. THIS SHEET IS INTENDED FOR EROSION CONTROL ONLY.
  2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL REQUIREMENTS SET FORTH IN THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) ORDER NO. R2-2009-0009-DWQ, NPDES GENERAL PERMIT NO. CAS000002, STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES, SEPTEMBER 2, 2009, ALSO KNOWN AS THE CONSTRUCTION GENERAL PERMIT (CGP).
  3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETAIN A QUALIFIED STORM WATER POLLUTION PREVENTION PLAN PRACTITIONER (QSP) THAT WILL MONITOR THE SITE, IN ACCORDANCE WITH THE CGP.
  4. SEE BEST MANAGEMENT PRACTICES ON SHEET C4.1.
  5. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ANY SEDIMENT FROM LEAVING THE SITE, FIBER ROLLS, SAND BAGS AND ADDITIONAL SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. ALL EXISTING, TEMPORARY OR PERMANENT CATCH BASINS SHALL USE THE SEDIMENT BARRIERS SHOWN ON THIS PLAN.
  6. PROTECT ALL INLETS WITHIN 150' OF PROJECT SITE.

# Pollution Prevention - It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with County of Alameda requirements.

### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✔ Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✔ Use (but don't overuse) reclaimed water for dust control as needed.
- ✔ Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✔ Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with Alameda County Ordinances for recycling construction materials, wood, gyp board, pipe, etc.
- ✔ Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- ✔ Cover all dumpsters with a tarp at the end of every work day or during wet weather.

#### Hazardous materials management

- ✔ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- ✔ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- ✔ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✔ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✔ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✔ Dispose of all containment and cleanup materials properly.
- ✔ Report any hazardous materials spills immediately! Dial 911 or Alameda County Public Works Agency dispatch at (510) 670-5500

#### Construction Entrances and Perimeter

- ✔ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ✔ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

### Vehicle and equipment maintenance & cleaning

#### Inspect vehicles and equipment for leaks

frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.

- ✔ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✔ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- ✔ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- ✔ Keep excavated soil on the site where it will not collect in the street.
- ✔ Transfer to dump trucks should take place on the site, not in the street.
- ✔ Use fiber rolls, silt fences, or other control measures to minimize the flow of silt off the site.



- ✔ Earth moving activities are only allowed during dry weather by permit and as approved by the County Inspector in the Field.
- ✔ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✔ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- ✔ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

### Dewatering operations

- ✔ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.



- ✔ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.

- ✔ Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.

- ✔ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

### Saw cutting

- ✔ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- ✔ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✔ If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work



- ✔ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✔ Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- ✔ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✔ Do not use water to wash down fresh asphalt concrete pavement.

### Concrete, grout, and mortar storage & waste disposal

- ✔ Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- ✔ Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.



- ✔ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.

### Painting



- ✔ Never rinse paint brushes or materials in a gutter or street!
- ✔ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- ✔ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✔ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

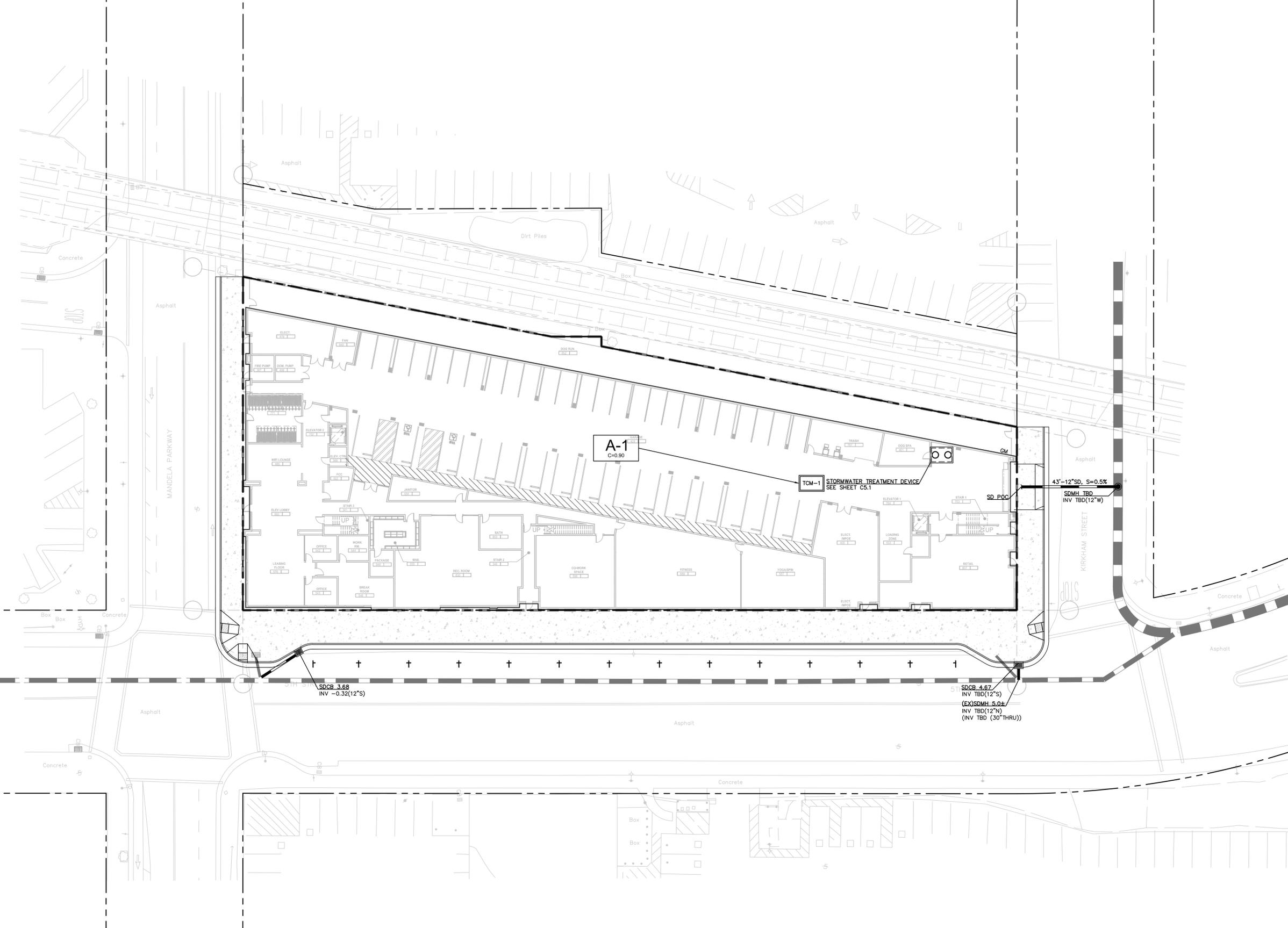
### Landscape Materials

- ✔ Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- ✔ Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:  
[www.cleanwaterprogram.org](http://www.cleanwaterprogram.org)  
[www.cabmphandbooks.com](http://www.cabmphandbooks.com)





### LEGEND

**A-X**  
 C=X.X  
 DRAINAGE MANAGEMENT AREA

**TCM-X**  
 TREATMENT CONTROL MEASURE

### NOTES



TREATMENT CONTROL MEASURE SUMMARY (BUILDING A)								
AREAS DRAINAGE	DRAINAGE AREA SIZE (SF)	PERVIOUS SURFACE (SF)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SF)	TYPE OF IMPERVIOUS SURFACE	NON-LID TREATMENT REQUIRED (CFS) PROVIDED (CFS)		PROPOSED TREATMENT CONTROLS
A-1	38,393	0	Landscape	38,393	Roof	0.160	0.182	BR-1/SDTD-1
	38,393	0		38,393				

FILTER SIZING CALCULATION							
C	I(S)	I(F)	A	Q(M)	Q(T)	FILTER	
SDTD-1	0.9	2.2	0.2	38,393	1.756	0.160	Perk Filter 4" Wide Concrete Vault (18" - 7 Cartridges)

C - COEFFICIENT OF RUNOFF  
I(S) - INTENSITY OF STORM (IN/HR)  
I(F) - FILTRATION RATE (IN/HR)  
A - AREA (SQ. FT)  
Q(M) - MAXIMUM FLOW RATE (CFS)  
Q(T) - TREATMENT FLOW RATE (CFS)

**Washington GULD\***

2X #36.00" BOLTED & GASKETED ACCESS COVERS, RISERS & SLAB T&G IMPRESSIONS AS REQUIRED. FIELD Poured CONCRETE COLLAR REQUIRED, BY OTHERS. SEE NOTE 2.

VENTED OUTLET HOOD.

TOP SLAB RISER T&G IMPRESSION, AS REQUIRED.

BASE.

PERK FILTER™ CARTRIDGES.

CONCRETE FALSE FLOOR.

OUTLET CHAMBER.

CONCRETE DIVIDER WALL.

2X INLET WEIR/BYPASS ASSEMBLY.

INLET GALLERY.

BASE SECTION.

PERK FILTER™ CARTRIDGE/STACKS.

CONCRETE FALSE FLOOR.

OUTLET CHAMBER.

CONCRETE DIVIDER WALL.

2X INLET WEIR/BYPASS ASSEMBLY.

INLET GALLERY.

Notes:

- Precast concrete structure shall be manufactured in accordance with ASTM Designation C857 and C858.
- Filter system shall be supplied with traffic rated (H20) bolted & gasketed Ø36" circular access covers with risers as required. Shallow applications may require configurations with (H20) bolted & gasketed square/rectangular access hatches. Field poured concrete collars required, by others.
- Inlet & outlet pipe(s) (Ø 24" maximum) may enter device on all three sides of the inlet & outlet chambers respectively.
- Inlet chamber shall be supplied with a drain-down device designed to remove standing water between storm events.
- For depths less than specified minimums contact Oldcastle® Stormwater Solutions for engineering assistance.

★ Treatment Flow Rates shown conform to Washington State GULD Specifications

**Perk Filter™**  
6" Wide Concrete Vault  
Washington State GULD  
Four to Eleven Cartridges / Stacks

**Oldcastle®**  
Stormwater Solutions  
7521 Southpark Plaza, Suite 200 | Littleton, CO | 80120 | Ph: 800.579.8819 | oldcastestormwater.com  
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DRAWING NO. PF-V-6-WA-0001 E REV. ECD-0122 DATE JPR 10/3/14 JPR 3/2/11 SHEET 1 OF 2

**Washington GULD\***

FLOATABLES WEIR.

PRIMARY BYPASS BETWEEN FLOW THRU TUBES.

PERFORATED DRAIN-DOWN FEED-THRU TUBES INTO FILTER CHAMBER.

2X INLET WEIR/BYPASS ASSEMBLY.

PERK FILTER™ CARTRIDGE/STACKS.

CARTRIDGE BYPASS PORT.

VENTED OUTLET HOOD.

MINIMUM DEPTH. SEE CHART & NOTE 6.

CONCRETE FALSE FLOOR.

TREATED OUTLETS.

CONCRETE FALSE FLOOR.

DETAIL A  
INLET WEIR/BYPASS ASSEMBLY & DRAIN-DOWN. SCALE: NONE

2X #36.00" BOLTED & GASKETED ACCESS COVERS, RISERS & SLAB T&G IMPRESSIONS AS REQUIRED. FIELD Poured CONCRETE COLLAR REQUIRED, BY OTHERS. SEE NOTE 2.

SEE DETAIL A.

INLET WEIR/BYPASS ASSEMBLY. Ø24" MAXIMUM. SEE NOTE 3.

DRAIN-DOWN DEVICE. SEE NOTE 4.

SECTION A-A

**MINIMUM DEPTH - RIM TO OUTLET INVERT - CARTRIDGE STACK CONFIGURATION**

12"	18"	12" + 12"	12" + 18"
4.25' [51.00"]	5.00' [60.00"]	5.92' [71.00"]	6.67' [80.00"]

**6" VAULT**

TREATMENT FLOW RATES, TOTAL FLOW CAPACITIES & MAXIMUM HEAD LOSS

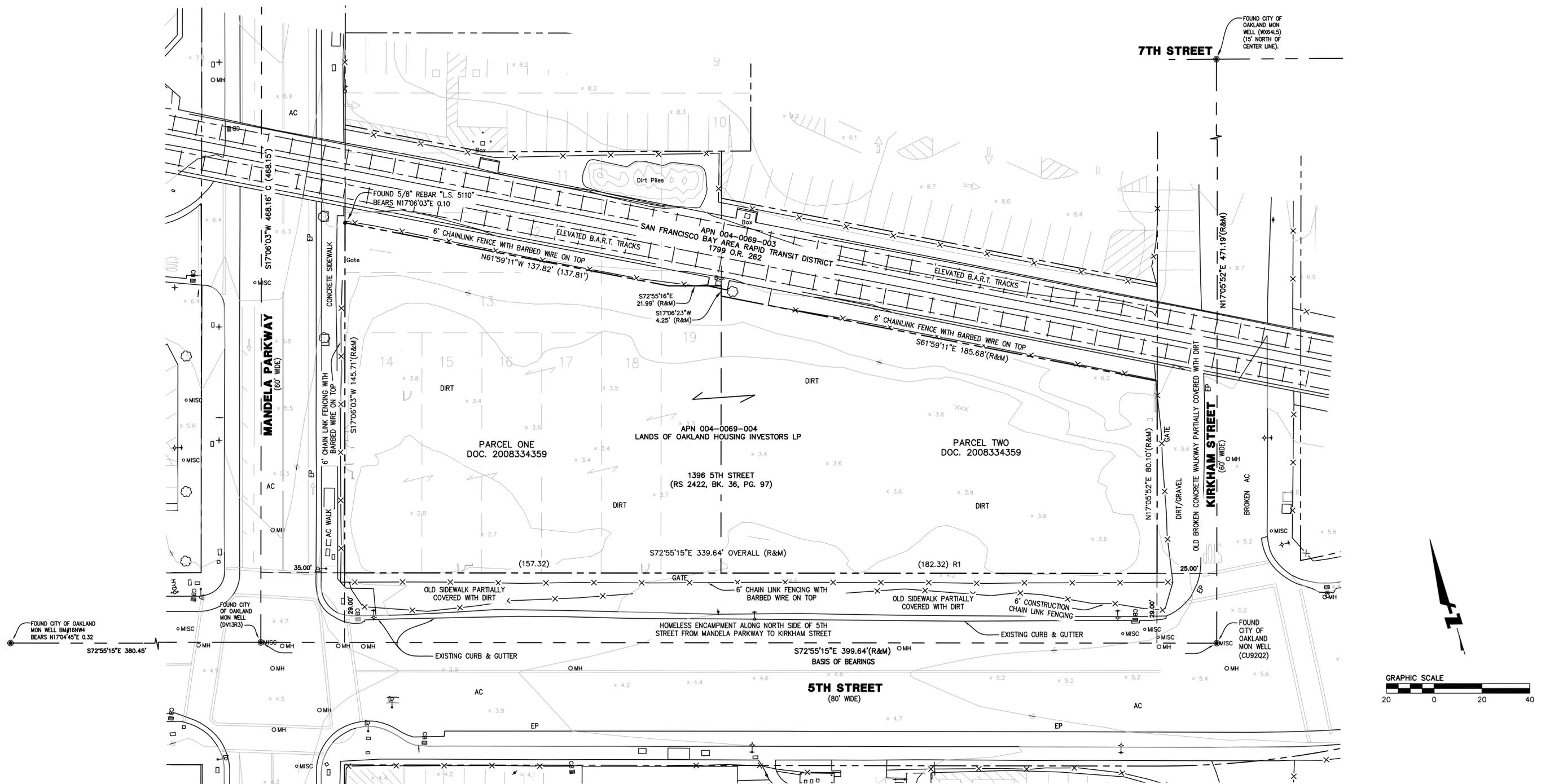
CARTRIDGE STACK QUANTITY	DIMENSION (ID-FEET)	CARTRIDGE STACK CONFIGURATION							
		12"		18"		12" & 12"		12" & 18"	
		TREATMENT FLOW RATE (GPM / CFS)	TOTAL FLOW CAPACITY (CFS)	TREATMENT FLOW RATE (GPM / CFS)	TOTAL FLOW CAPACITY (CFS)	TREATMENT FLOW RATE (GPM / CFS)	TOTAL FLOW CAPACITY (CFS)	TREATMENT FLOW RATE (GPM / CFS)	TOTAL FLOW CAPACITY (CFS)
4	7	27.2 / 0.081	5.7	40.8 / 0.091	8.5	54.4 / 0.121	9.7	68.0 / 0.152	13.0
5	7	34.0 / 0.079	5.7	51.0 / 0.114	8.6	68.0 / 0.152	9.7	85.0 / 0.190	13.0
6	9	40.8 / 0.091	5.8	61.2 / 0.136	8.6	81.0 / 0.182	9.8	102.0 / 0.227	13.1
7	9	47.6 / 0.106	5.8	71.4 / 0.159	8.6	95.2 / 0.212	9.9	119.0 / 0.265	13.2
8	9	54.5 / 0.121	5.8	81.6 / 0.182	8.7	108.8 / 0.243	9.9	136.0 / 0.303	13.2
9	11	61.2 / 0.136	5.8	91.8 / 0.205	8.7	122.4 / 0.273	10.0	153.0 / 0.341	13.3
10	11	68.0 / 0.152	5.9	102.0 / 0.227	8.8	136.0 / 0.303	10.0	170.0 / 0.379	13.4
11	11	74.8 / 0.167	5.9	112.2 / 0.250	8.8	148.8 / 0.334	10.1	187.0 / 0.417	13.4

MAXIMUM HEAD LOSS: 1.7 FEET, 2.3 FEET, 2.9 FEET, 3.5 FEET

★ Treatment Flow Rates shown conform to Washington State GULD Specifications.

**Perk Filter™**  
6" Wide Concrete Vault  
Washington State GULD  
Four to Eleven Cartridges / Stacks

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**SURVEY NOTES**

- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- DATES OF FIELD SURVEY: JANUARY AND FEBRUARY, 2020.
- BOUNDARY NOTE: THE PARCEL LINES SHOWN HEREON ARE THE RESULT OF A BOUNDARY SURVEY MADE IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT.
- RECORD DIMENSIONS ARE SHOWN PER RECORD OF SURVEY FILED IN ALAMEDA COUNTY RECORDS ON OCTOBER 6, 2011 IN BOOK 36 ON PAGE 97.
- AERIAL TOPOGRAPHIC SURVEY WAS PROVIDED BY 360 AERIAL SURVEYS, DATE OF SURVEY: JANUARY 29, 2020.

**BASIS OF BEARINGS**

THE BEARING S72°55'15"W ALONG THE MONUMENT LINE BETWEEN MONUMENT, "DV13R3" (A MONUMENT PIN IN A MONUMENT BOX LOCATED IN THE NW QUADRANT OF THE INTERSECTION OF MANDELA PARKWAY AND 5TH STREET) AND MONUMENT, "CU92Q2" (A MONUMENT PIN IN A MONUMENT BOX LOCATED IN THE NW QUADRANT OF KIRKHAM STREET AND 5TH STREET) AS SAID MONUMENT LINE OF 5TH STREET IS SHOWN ON RECORD OF SURVEY NO. 2422, RECORDED IN BOOK 36 OF MAPS, PAGE 97, FILED IN ALAMEDA COUNTY RECORDS, AND AS SHOWN HEREON.

**BENCHMARK**

A CITY OF OAKLAND BENCHMARK #16NW4 (AKA B-20-E) DESCRIBED AS: A PIN IN MONUMENT AT INTERSECTION OF CENTER STREET AND 5TH STREET.  
ELEV=4.256 FEET (CITY OF OAKLAND DATUM)

**SURVEYOR STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA LAND SURVEYORS ACT AT THE REQUEST OF THE OAKLAND HOUSING INVESTORS, L.P., ON 1/16/2020.

I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS ARE BASED UPON CITY OF OAKLAND DATUM.

I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN FULLY SATISFIED.

I HEREBY FURTHER STATE THAT THE PARCELS DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS THAT SHOWN ON:

- THAT (THOSE) CERTAIN DEED(S), RECORDED DATE 11/17/2008 IN DOCUMENT NO. 2008334359 IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO.: 004-0069-004.
- PARCEL MAP WAIVER, RECORDED ON \_\_\_\_\_ DOC. NO. \_\_\_\_\_ IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER. (A PARCEL MAP WAIVER AND LOT MERGER HAVE BEEN SUBMITTED AND ARE CURRENTLY PENDING).

I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE A PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.

*David Darling* MAY 26, 2020  
SIGNATURE DATE

SURVEYOR L.S. 7625  
TITLE LICENSE #



**LEGEND**

- SUBJECT PARCEL, PROPERTY LINE
- STREET MONUMENT LINE
- ADJACENT LOT LINE
- TIE LINE
- OLD LOT LINE
- CHAINLINK FENCE LINE
- TREE DRIP LINE PER AERIAL MAPPING
- FOUND BRASS PIN IN CONCRETE IN MONUMENT WELL. (ALPHANUMERIC NUMBER PER CITY OF OAKLAND CODES).
- FOUND FOUND 5/8" REBAR, TAGGED L.S. 5110.
- RECORD INFORMATION PER RECORD OF SURVEY NO. 2422, IN MAP BOOK 36, PAGE 97.
- ASPHALTIC CONCRETE
- EDGE OF PAVEMENT

**SYMBOL LEGEND**

- TRAFFIC SIGNAL
- STREET LIGHT
- WATER METER
- JOINT UTILITY POLE
- SIGN
- MANHOLE PER AERIAL MAPPING
- FIRE HYDRANT
- CATCH BASIN
- TREE
- UTILITY VAULT

Revisions	No.	Date	Scale	Design	Drawn	Approved	Job No.
		08-08-2020	1" = 20'				20191165

Drawn: DPH  
Approved: DSD  
Job No: 20191165

TOPO  
1 OF 1

DRAWING NAME: 1396 W. 5TH STREET TOPO AND BOUNDARY SURVEY  
 DATE: 05/26/2020  
 PROJECT NO: 20191165

**PARCEL MAP WAIVER  
FOR LOT MERGER PURPOSES  
BETWEEN RECORD OWNERS**  
TO COMBINE PARCELS AS SHOWN IN THE GRANT DEED RECORDED IN  
DOCUMENT NUMBER 2008334359, ALAMEDA COUNTY RECORDS  
ALSO BEING THE LANDS KNOWN AS 1396 5TH STREET, OAKLAND, CA 94607

CONSISTING OF 1 SHEET

\*\*\*\*\*

SCALE: 1" = 30'

DATE: MARCH 2020



ENGINEERS-SURVEYORS-PLANNERS  
1730 NORTH FIRST STREET, SUITE 600  
SAN JOSE, CALIFORNIA 95112

**LEGEND**

DOC. DOCUMENT NUMBER  
(R&M) RECORD DATA (PER RS NO. 2422) & MEASURED  
( ) DIMENSIONS PER RECORD OF SURVEY NO. 2422  
( ) R1 DIMENSIONS PER DOCUMENT NO. 2008334359

**SURVEYOR'S NOTES**

1. ALL DISTANCES ARE IN FEET AND DECIMALS OF A FOOT.
2. BOUNDARY INFORMATION AS SHOWN HEREON IS BASED ON A BOUNDARY SURVEY COMPLETED ON FEBRUARY 4 2020.

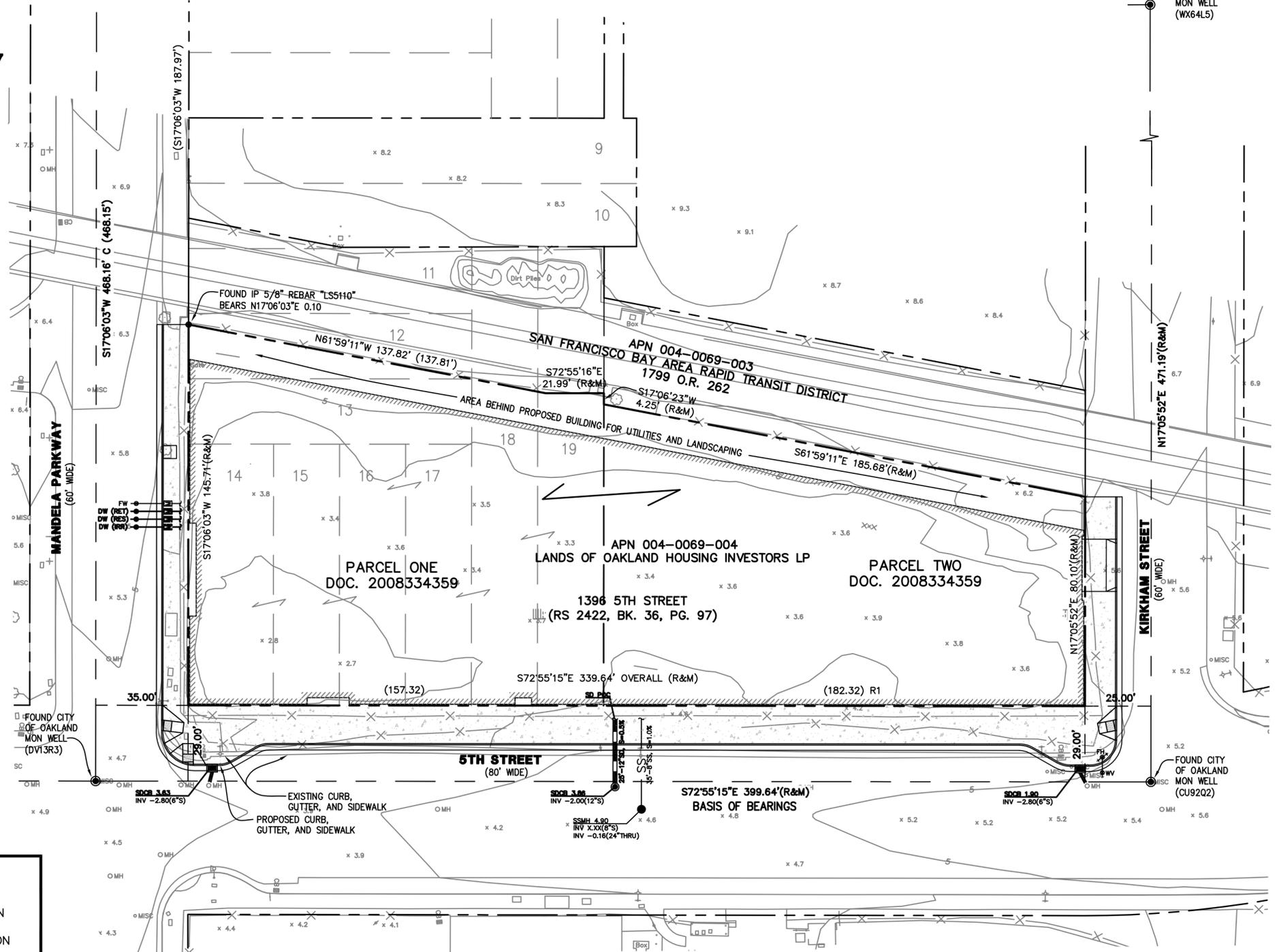
**BASIS OF BEARING**

THE BEARING S72°55'15"E ALONG THE MONUMENT LINE BETWEEN MONUMENT, "DV13R3" (A MONUMENT PIN IN A MONUMENT BOX LOCATED AT THE INTERSECTION OF 5TH STREET AND MANDELA PARKWAY) AND MONUMENT, "CU92Q2" (A MONUMENT PIN IN A MONUMENT BOX LOCATED AT THE INTERSECTION OF 5TH STREET AND KIRKHAM STREET) AS SAID MONUMENT LINE IS SHOWN ON THE RECORD OF SURVEY NO. 2422, AND RECORDED IN BOOK 36 OF MAPS, PAGE 97.

**SURVEYOR'S STATEMENT**

THIS PARCEL MAP WAIVER SHEET HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD SURVEYING PRACTICE.

DAVE DARLING, PLS 7625 DATE  
PROJECT MANAGER  
BKF ENGINEERS



**APPLICATION TO WAIVE PARCEL MAP**

PARCEL NO. \_\_\_\_\_

I CERTIFY THAT I AM THE APPLICANT NAMED HEREIN AND THAT THE INFORMATION GIVEN ON ANY SUBMISSION HERewith IS IN ALL RESPECTS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT I AM THE OWNER OR PURCHASER (OPTION HOLDER) OF THE PROPERTY INVOLVED IN THIS APPLICATION.

I UNDERSTAND THAT ANY MAPS OR EXHIBITS FILED BECOME A PERMANENT PART OF THE FILE AND MAY NOT BE RETURNED TO ME.

SIGNATURE [Signature] I AM THE:  PROPERTY OWNER  
ADDRESS 1045 Bridle Way PURCHASER  
Hillsborough, CA 94010 (INCLUDE COPY OF CONTRACT)  
TELEPHONE NO. 310.709.1887  
OWNER'S NAME Oakland Housing Investors, LP (IF OTHER THAN APPLICANT)  
OWNER'S ADDRESS PO Box 90708 TELEPHONE NO. 858.596.0500  
Camden, NJ 08101



**LINETYPE LEGEND**

- SUBJECT PARCEL, PROPERTY LINE
- - - STREET MONUMENT LINE
- - - ADJACENT LOT LINE
- - - LOT LINE TO BE REMOVED
- ▨ PROPOSED BUILDING

**SYMBOL LEGEND**

- CITY STREET MONUMENT, BRASS PIN IN CONC. IN MONUMENT WELL (ALPHANUMERIC NUMBER PER CITY OF OAKLAND CODES.)
- FOUND IRON PIPE AS STATED ON THE MAP.