

Case File Number PLN20153

May 5, 2021

Location:	3855 West Street, Oakland, CA 94608; APN: 012 096001700 (See map on the reverse)
Proposal:	To create a six-lot mini-lot development served by a Shared Access Facility and construct six residential units on a vacant lot
Applicant:	Will Mollard
Phone Number:	(415) 523-0304 Ext. 1
Owner:	3855 West Street, LLC
Case File Number:	PLN20153
Planning Permits Required:	Vesting Tentative Tract Map (VTTM8571) for a six-lot subdivision; Minor Conditional Use Permits, for a Mini-Lot Development, a Shared Access Facility, and five or more units in the RM-4 Zone; Regular Design Review for construction of six new townhouse-style dwelling units; and Minor Variances, to allow private open space to be substituted for group open space, and allow front entry stairs to project 7.5 feet into the front yard setback, where 4 feet maximum is allowed.
General Plan:	Mixed Housing Type Residential
Zoning:	RM-4/C – Mixed Housing Type Residential Zone-4/Commercial overly
Environmental Determination:	Exempt per CEQA Guidelines Sections 15332-Infill Development; Section 15315-Minor Land Divisions and 15183-Projects Consistent with a Community Plan, General Plan, or Zoning
Historic Status:	Non-Historic Property
City Council District:	1
Status:	Pending
Actions to be Taken:	Receive public comments and Planning Commission comments. Planning Commission action based on staff report.
Staff Recommendation:	Approval subject to the attached Conditions
Finality of Decision:	Appealable to the City Council within 10 days.
For Further Information:	Contact Case Planner Gregory Qwan at (510) 238-2958 or gqwan@oaklandca.gov

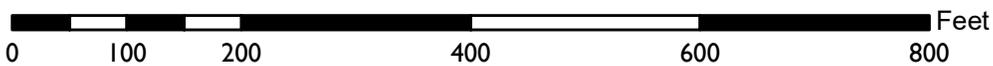
SUMMARY

The project sponsor is requesting approval of an application for a new Mini-Lot Development to create six mini-lots and construct six townhouse-style residential dwellings on a corner lot located at the northwest corner of Apgar and West Streets.

Requested permits include Minor Conditional Use Permits for a Mini-lot development, shared access facility, and five or more units in the RM-4 Zone, Design Review for construction of six townhouse-style dwelling units, a Tentative Tract Map to subdivide the site into six mini-lots, and Minor Variances to allow private open space to be substituted for group open space and for stairs to project 7.5 feet into the front yard where four feet is allowed. The proposed development is consistent with General Plan policies and Zoning standards, subject to approval of the requested permits and the attached conditions of approval (See "Findings" and "Conditions of Approval" sections of this report for details).

Staff believes that the project will further the goal of increasing the City’s housing stock and therefore recommend that the Commission confirm the environmental determination and approve the Minor Conditional Use Permits, Design Review, Variances and Tentative Tract Map application for the proposed

CITY OF OAKLAND PLANNING COMMISSION



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Applicant: Will Mollard
Address: 3855 West Street
Zone: Zoning: RM-4/C

project, subject to the attached Conditions of Approval.

It is worth noting that were it not for the creation of five or more lots, this project would normally require only staff level review, and is before the Planning Commission due to the proposed Tentative Tract Map. If the Commission identifies any significant design issues, the project could be referred to the City's Design Review Committee for further discussion before rescheduling the item for Planning Commission review and decision.

PROPERTY AND SURROUNDING AREA DESCRIPTION

The subject site consists of a vacant 8,356 square-foot lot and is located at the northwest corner of Apgar and West Streets. A food mart is located across the street to the south, with residential uses found to the west, north, and east. Prominent uses and developments in the vicinity include the MacArthur BART Station which is approximately three blocks east of the site.

PROJECT DESCRIPTION

The proposed project involves the creation of six mini-lots, and construction of six townhouse-style residential units, with one unit allocated per mini-lot. The site will be served by a private access and utility easement which will provide shared vehicular access to the residences. The project provides six off-street car parking spaces, per City standards.

The exterior materials and treatments include a combination of horizontal and cement panel siding, and wood-clad windows. The designs incorporate various elements and detailing such as a walk-up entry, projecting/recessed wall planes, varied rooflines and material changes to achieve a visually attractive development that both read as a unified whole while featuring distinctive elements at the same time. The proposed landscaping includes trees, shrubs, ground cover, as well as hardscape such as decorative paving, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

GENERAL PLAN ANALYSIS

The subject site is located in the Mixed Housing Type Residential land use classification according to the City of Oakland General Plan Land Use and Transportation Element (LUTE). The intent of the Mixed Housing Type Residential land use classification is: "to create, maintain, and enhance residential areas typically located near the City's major arterials and characterized by a mix of single family homes, townhouses, small multi-unit buildings, and neighborhood businesses where appropriate." The proposed project is consistent in all significant respects with the following General Plan objectives and policies:

Objective N3: Encourage the construction, conservation, and enhancement of housing resources in order to meet the current and future housing needs of the Oakland community.

The project will provide the Oakland community with six new dwelling units.

Policy N3.1. Facilitating Housing Construction: Facilitating the construction of housing units should be considered a high priority for the City of Oakland.

The City of Oakland's Bureau of Planning has prioritized residential projects in order to facilitate the construction of new homes by helping developers navigate the permitting process in a timely manner.

Policy N3.2. Encouraging Infill Development: In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City Oakland.

The project is proposed for an underutilized site located in an urban area of North Oakland. The proposal would

consist of infill development for a vacant site.

Policy N6.2. Increased Home Ownership: Housing developments that increase home ownership opportunities for households of all incomes are desirable.

The project will provide property ownership opportunities for six new households.

ZONING ANALYSIS

The site is zoned RM-4/C which allows a maximum residential density of 1 unit per 1,100 sq. ft. of lot area, resulting in a maximum of seven units for the 8,356 square-foot project site. The proposed six-unit residential development is therefore consistent with the prescribed density.

Variances are requested to allow private substitution for group open space with no actual group open space and to allow stairs to project 7.5 feet into the front yard where a maximum stair projection of 4 feet is allowed.

Development Standards

Standard	Allowed/Required	Proposed
Maximum Residential Density	7 units (1/1,100 sq. ft.)	6 units
Maximum Height	35 ft.	31 ft.
Minimum Setbacks	Front - 15'; Street Side - 4'; Interior Side - 4'; Rear - 15'	Front - 15'; Street Side - 4'; Interior Side - 5'; Rear - 15'
Maximum Stair Projection in Front Yard	4 ft.	7.5 ft.
Minimum Group Open Space	175 sf/unit = 1,050 sf	1,737 sf of private open space
Min. Group Space w/ Private Space Sub.	70 sf/unit = 420 sf	0 sf
Required Bicycle Parking	2 Short-Term Spaces	2 Short-Term Spaces
Required Off-Street Parking	6 spaces	6 spaces

Note: Proposed setbacks listed are for the main structures and do not include allowed building projections.

ENVIRONMENTAL DETERMINATION

The project qualifies for an Infill Exemption under CEQA Guidelines Section 15332 and on a separate and independent basis is also exempt under Section 15315, Minor Land Divisions, and Section 15183 for projects consistent with a community plan, general plan, or zoning.

KEY ISSUES AND IMPACTS

Overall, the proposed project is compatible with the surrounding area and consistent with the goal of adding to the City’s housing stock. The key issues and impacts are discussed below:

Site Plan and Building Design

The site plan presents an urban medium-density type development that responds to the context of urbanized development in the vicinity. The designs incorporate various elements and detailing such as a walk-up entry, projecting/recessed planes, shapes and forms, varied rooflines, material changes, etc. to achieve a visually attractive development that both read as a unified whole while featuring distinctive elements at the same time. The proposed landscaping includes trees, shrubs, ground cover, as well as hardscape such as decorative pavers, planters and other features that enhance the visual quality, functionality, and experience

of the open areas.

Density

The permitted density in the RM-4/C Zone is one unit for every 1,100 square feet of site area. The subject 8,356 square-foot site would therefore allow seven residential units. The six proposed units would comply with the maximum density allowed.

Mini-lots

The project involves a Tentative Tract Map to subdivide the site into six mini-lots. Mini-lot developments are intended to be a form of integrated developments that are generally consistent with the applicable density and other development standards of the base zone, except it also provides that "the maximum height and minimum yard, lot area, width, and frontage requirements otherwise applying to the proposed individual lots may be waived or modified within a mini-lot development, and floor area, parking, and other facilities may be located within said development without reference to lot-lines, upon the granting of a Conditional Use Permit.

Setbacks

As required by the Mini-lot requirements, the project provides the required 15-foot front, 4-foot street-side, 4-foot interior-side, and 15-foot rear yard setbacks for the main building portions of the six residential townhouses. However, a Variance is needed to allow for the stairs to project 7.5 feet into the front yard where a 4-foot projection is normally allowed. Approval of the Variance would allow for a superior design solution in the form of a walk-up entry compatible with nearby development. Modification of the project to remove the proposed entry stairs, in order to comply with the maximum projection standard, would result a more box-like appearance and a less distinctive design. There are many examples of neighboring buildings with projecting walk-ups.

Privacy

The building is setback five feet versus the code minimum of four feet along the interior side property line and minimal windows are proposed to reduce privacy impacts on the northerly neighbor. There is 15' of separation, supplemented with a row of landscape screening to minimize privacy impacts on the westerly neighbor.

Automobile Parking

The project provides six off-street parking spaces within enclosed garages for the development, per City standards.

Open Space

The RM-4 Zone requires 175 square feet of group open space per dwelling unit or 1,050 square feet for a six-unit development. The project provides 1,737 square feet of private open space, with at least 199 square feet of open space allocated to each unit. Since private open space counts double compared to group open space, this is well above the square footage of open space required, but through only private open space versus group open space as is normally required, thus requiring a Variance. Due to the nature of mini-lot developments, with each lot essentially functioning as a single-family property, having private open space available for individual lots can be seen as a benefit to future residents. In addition to the private open space provided, the interior shared access facility, with decorative paving and planters, might function as an occasional unofficial gathering space amongst the residents when closed to vehicles similar to when streets are closed for community fairs and gatherings.

Private Access and Utility Easements (PAUE)

The project provides a 20-foot wide private access and utility easement serving all six lots to enable maintenance of utility lines and provide vehicular access to all units.

Landscaping

The project incorporates various landscaping elements such as trees, shrubs, and other plantings to soften and achieve an attractive street and on-site decor. The project involves planting of several trees and shrubs along both street frontages and along the rear property line. The proposed landscaping includes trees, shrubs, ground cover, as well as hardscape such as decorative paving, planters and other features that enhance the visual quality, functionality, and experience of the open areas.

CONCLUSION

The proposed new infill development is an appropriate development for the neighborhood. With approval of the requested permits and compliance with the conditions of approval the project will be consistent with the development standards and intent of the RM-4/C land use regulations of the Oakland Planning Code. The site plan, building designs, layout, heights, materials, colors, open areas, and landscaping all combine as a cohesive whole that is appropriate for the subject site. Staff believes that this project will serve as a catalyst for further high-quality development within the project area and Oakland as a whole.

RECOMMENDATIONS

Based on the analysis contained in this report, the findings, and the conditions of approval attached to this report and elsewhere within the administrative record, staff believes that the proposed project is an appropriate development that will further the overall objectives of the Oakland General Plan, particularly related to new housing development. Thus, staff recommends that the Commission:

1. Affirm staff's CEQA determination; and
2. Approve the Conditional Use Permits, Design Review, Minor Variances and Tentative Tract Map subject to the attached Findings and Conditions of Approval.

Prepared by:



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Reviewed by:



ROBERT MERKAMP
Zoning Manager

Reviewed by:



EDWARD MANASSE
Deputy Director, Bureau of Planning

ATTACHMENTS:

- A. Findings
- B. Conditions
- C. Engineering Comments
- D. City Surveyor Comments
- E. Plans / Photographs

ATTACHMENT A: FINDINGS FOR APPROVAL

This proposal meets the required findings and standards under OMC Section 16.04.010, Purpose, OMC Section 16.24.040, Lot Design Standards, OMC Section 16.08.030 Tentative Maps, of the Oakland Subdivision Regulations, and OMC Section 17.134.050, General Use Permit Criteria, OMC Section 17.142.012 Basic Provisions For Mini-Lot Developments, OMC Section 17.102.090, Shared Access Facilities, and OMC 17.136.050(A), Regular Design Review Criteria For Residential Facilities of the Oakland Planning Code, and In-Fill Development Projects under California Public Resources Code, California Environmental Quality Act, Guidelines Section 15332 as set forth below. Required findings are shown in **bold** type; explanations as to why these findings can be made are in normal type.

OMC SECTION 16.04.010, PURPOSE:

" ... ensure that the development of subdivisions is consistent with the goals and policies of the Oakland General Plan."

The subject site is located in the Mixed Housing Type Residential land use classification which encourages residential developments. The proposed townhouse mini-lot development (six townhouse units on six mini-lots) is consistent with the intent of the General Plan objectives and policies which encourage the construction of housing in order to meet the current and future housing needs of the Oakland community.

OMC SECTION 16.16.170 LOT DESIGN STANDARDS

Lot design shall be consistent with the provisions of Section 16.04.010, Purpose, and the following provisions:

A. Every lot shall abut on a street, except as specified in Section 17.106.020.

The application is for a mini-lot subdivision that creates new lots with street frontages on Apgar and West Streets.

B. Double frontage lots shall not be platted.

The application is for a mini-lot subdivision that does not create double frontage (also known as through) lots.

C. Reversed frontage of key lots shall be avoided in blocks exclusively residential.

The project entails a Conditional Use Permit for a Mini-Lot Development which allows waiver of frontage requirements as long as the overall site complies with the development standards of the applicable zone. Reverse frontage of the key lot will not be created.

D. Lot lines shall be approximately at right angles to the street line on which the lot faces.

The lot lines of the proposed mini-lots will run perpendicular to the abutting streets.

E. Each lot shall have the minimum area prescribed by the zoning district within which it lies.

The project entails a Conditional Use Permit for a Mini-Lot Development which allows smaller lots to be created as long as the overall site complies with the development standards of the applicable zone.

The minimum lot area in the RM-4 Zone is 4,000 square feet, whereas the overall site area is approximately 8,356 square feet.

F. Lots shall be equal or larger in measure than the prevalent size of existing lots in the surrounding 200-foot radius area except:

1. Where the area is still considered acreage;
2. Where a deliberate change in the character of the area has been initiated by the adoption of a specific plan, a change in zone, a development control map, or a planned unit development.

The project entails a Conditional Use Permit for a Mini-Lot Development which allows smaller lots to be created as long as the overall site complies with the development standards of the applicable zone. Subject to the minor variance findings, the proposed development complies with the density, height limits, and the spirit of the setback and open space requirements.

G. Lots shall be designed in a manner to preserve and enhance natural out-croppings of rock, specimen trees or group of trees, creeks or other amenities.

There are no natural out-croppings of rock, specimen trees or group of trees, creeks, etc. that need preservation at the subject site or other known amenities.

OMC SECTION 16.08.030 ACTION ON TENTATIVE MAP

The Advisory Agency shall deny approval of a tentative map if it makes any of the following findings:

A. That the proposed map is not consistent with applicable general and specific plans;

The project is consistent with the Oakland General Plan and located in the RM-4 zone which permits residential units at a ratio of one unit for every 1,100 square feet of site area and would allow a maximum of seven residential units for the subject 8,356 square foot site. Therefore, the proposed six residential units is consistent with the maximum residential density allowed by the General Plan and Zoning.

B. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans;

The project is residential in nature and consistent with the Oakland General Plan.

C. That the site is not physically suitable for the type of development;

There are no known physical constraints that make the site unsuitable for the proposed type of development.

D. That the site is not physically suitable for the proposed density of development;

The subject site is currently a vacant lot. Staff is not aware of any site contamination or environmental condition that makes the site physically unsuitable for the proposed use and density. Therefore, the proposed six-unit residential development is physically suitable for the subject site.

E. That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;

The subject site is located in an urbanized area and will be improved with the proposed development. There is no known fish or wildlife habitat at the site.

F. That the design of the subdivision or type of improvements is likely to cause serious public health problems;

The attached conditions of approval are designed to ensure that best management practices are followed during demolition and construction of buildings to address potential public health impacts of the project. No serious public health problems are anticipated from the proposed development.

G. That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the governing body may approve a map if it finds that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public (This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision);

Not Applicable.

H. That the design of the subdivision does not provide to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision.

Energy efficient techniques such as orientation of structures in an east-west alignment for southern exposure have been incorporated into the site planning and design to take advantage of natural solar heating and cooling opportunities.

GENERAL USE PERMIT CRITERIA (OMC Sec. 17.134.050)

A. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development.

The proposal involves the utilization of a vacant lot in an urbanized area, and construction of new buildings and open space that utilize the entire site and adds dwelling units and in an attractive development that is compatible with surrounding developments and uses.

B. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant.

The project will increase opportunities for home businesses, home ownership, and apartment rentals with a location and layout that can be utilized with or without a motor vehicle as appropriate for the district.

C. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region.

The project increases the vitality of the neighborhood by transforming a vacant lot into townhouse residences, potentially increasing patronage to surrounding businesses.

D. That the proposal conforms to all applicable design review criteria set forth in the design review procedure at Section 17.136.050.

The proposal is subject to design review, and criteria are met as described in another section of this Attachment.

E. That the proposal conforms in all significant respects with the Oakland Comprehensive Plan and with any other applicable plan or development control map which has been adopted by the City Council.

The property is located in the Mixed Housing Type Residential area of the General Plan’s Land Use and Transportation Element (LUTE). The intent of the area is: “to create, maintain, and enhance residential areas typically located near the City’s major arterials and characterized by a mix of single family homes, townhouses, small multi-unit buildings, and neighborhood businesses where appropriate.” The proposal to convert a vacant lot into new townhouse development meets this intent and the following LUTE Policies:

Policy N3.2 Encouraging Infill Development.

In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City of Oakland.

Policy N3.10 Guiding the Development of Parking.

Off-street parking for residential buildings should be adequate in amount and conveniently located and laid out, but its visual prominence should be minimized.

Policy N6.1 Mixing Housing Types.

The City will generally be supportive of a mix of projects that provide a variety of housing types, unit sizes, and lot sizes which are available to households with a range of incomes.

OMC SECTION 17.142.012 BASIC PROVISIONS FOR MINI-LOT DEVELOPMENTS

A. Basic Provisions. Subject to the provisions of subsections 1 and 2 of this section, the maximum height and minimum yard, lot area, width, and frontage requirements otherwise applying to individual lots may be waived or modified within a mini-lot development, and floor area, parking, and other facilities may be located within said development without reference to lot lines, upon the granting of a conditional use permit pursuant to the conditional use permit procedure in Chapter 17.134 and upon determination:

1. That there is adequate provision for maintenance of the open space and other facilities within the development; and

The proposed mini-lot development involves a private access and utility easement. A condition of approval has been added to require a maintenance agreement that will ensure adequate maintenance for all common areas.

2. That the total development meets all the requirements that would apply to it if it were a single lot.

With approval of the requested Variances for front setback and open space, the proposed development complies with the density, height limits, off-street parking, and all other requirements that would apply if the site were developed as a single lot.

B. Zones in Which Requirements May Be Waived for a Mini-Lot Development. A conditional use permit pursuant to subsection A of this section may only be granted in the S-1 or S-2 zone or in any residential or commercial zone other than RH or RD zones.

The subject site is zoned RM-4/C Mixed Housing Residential Zone and therefore complies with above criterion.

C. Maximum Size for Which Requirements May Be Waived. A conditional use permit pursuant to subsection A of this section may be granted only if the total land area of the mini-lot development is less than sixty thousand (60,000) square feet.

The subject site is 8,356 square feet and therefore complies with the above criterion.

SHARED ACCESS FACILITIES (OMC SEC. 17.102.090(B))

1. Compliance with Guidelines. Each shared access facility proposal shall be in compliance with all applicable City standards, including but not limited to the City Planning Commission guidelines for development and evaluation of shared access facilities.

The proposed shared access facility has adequate width for maneuverability of vehicles and will comply with all Oakland Fire Department standards for ingress and egress and is therefore consistent with the guidelines for development and evaluation of shared access facilities.

2. Public Safety. The width of a shared access facility shall be adequate to ensure unimpeded emergency and nonemergency ingress and egress at all times. Additionally, the shared access facility shall conform to city standards for roadway layout and design.

The width of the proposed shared access facility is approximately 21'7" wide and would serve six residential units with six on-site garage parking spaces. Typically, a 20' travel width provides adequate emergency and non-emergency ingress and egress. The relatively short length of the shared access facility also provides easy access to all units served. The shared access facility will be required to meet all Oakland Fire Department standards for ingress and egress.

3. Aesthetics. A shared access facility shall be designed to provide the environmentally superior alternative to other approaches for the development of the property and shall be designed to be visually compatible with its surroundings, as set forth in the City Planning Commission guidelines; necessary retaining walls shall not be of excessive height and shall not be visibly obtrusive, as such are defined in the City Planning Commission guidelines.

The proposed shared access facility is located on a relatively flat site and will not involve any retaining walls. The surface of the shared driveway would be finished with stamped concrete or other decorative paving for visual appeal. By consolidating driveway, overall impervious surface would be reduced,

resulting in an environmentally superior alternative that will minimize stormwater run-off. Landscape strips will be provided at appropriate areas to soften the edges of the easement.

4. On-Going Owner Responsibility. Applicants for a shared access facility shall submit, for approval, an agreement for access facility maintenance, parking restrictions, and landscape maintenance. Upon staff approval, the proposed agreement shall be recorded by the applicant within thirty (30) days with the Alameda County Recorder. In addition, applicants for a shared access facility shall provide documentation of continuing liability insurance coverage. Documentation of insurance coverage shall include the written undertaking of each insurer to give the city thirty (30) days' prior written notice of cancellation, termination, or material change of such insurance coverage.

As a condition of approval, the applicant is required to prepare and submit a maintenance agreement for the proposed development to the Bureau of Planning for review and approval prior to issuance of a certificate of occupancy for the first unit.

5. Certification. Prior to construction, applicants for a shared access facility shall retain a California registered professional civil engineer to certify, upon completion, that the access facility was constructed in accordance with the approved plans and construction standards. This requirement may be modified or waived at the discretion of the Director of Public Works, based on the topography or geotechnical considerations. An applicant may also be required to show assurance of performance bonding for grading and other associated improvements. In addition, prior to the installation of landscaping, an applicant shall retain a landscape architect or other qualified individual to certify, upon completion, that landscaping was installed in accordance with the approved landscape plan.

Staff has added a condition of approval to this report to ensure compliance with this criterion.

REGULAR DESIGN REVIEW CRITERIA FOR RESIDENTIAL FACILITIES (OMC SEC. 17.136.050(A))

1. That the proposed design will create a building or set of buildings that are well related to the surrounding area in their setting, scale, bulk, height, materials, and textures.

The proposed new development responds to the surrounding with a site plan that organizes the units in two main townhouse structures with landscaped yards and a shared driveway. The design of each of the townhouses incorporates elements and materials that articulate the facades with recesses and projections to manage massing and minimize perceived bulk. The proposed walk-up entry, windows, and horizontal siding are compatible with nearby development. The overall design relates well to the surrounding area in their setting, scale, bulk, height, materials and textures.

2. That the proposed design will protect, preserve or enhance desirable neighborhood characteristics.

The proposed new development will bring more residents to revitalize the neighborhood. The attached standard conditions of approval are to ensure that all potential negative impacts have been reduced to less than significant.

3. That the proposed design will be sensitive to the topography and landscape.

The proposed development is expected to involve minimal earthwork for foundations and other site improvements.

4. That if situated on a hill, the design and massing of the proposed building relates to the grade of the hill.

Not Applicable.

5. That the proposed design conforms in all significant respects with the Oakland General Plan and with any applicable district plan or development control map which has been adopted by the City council.

The proposed project will be a new investment in the community and is expected to attract more high-end buildings in the area. It conforms in all respects to the Mixed Housing Type Residential General Plan classification.

VARIANCE FINDINGS-OPC SECTION 17.148.050(A)

1. That strict compliance with the specified regulation would result in practical difficulty or unnecessary hardship inconsistent with the purposes of the zoning regulations, due to unique physical or topographic circumstances or conditions of design; or as an alternative in the case of a minor variance, that such strict compliance would preclude an effective design solution improving livability, operational efficiency or appearance.

Strict compliance would preclude an effective design solution improving livability operational efficiency and appearance. The requested Minor Variance to allow the entry stairs to project 7.5' into the front yard would improve the design of the building, add visual interest, and increase compatibility with nearby structures. The Minor Variance for substitution of group open space with private open space would improve livability for each unit, as total private open space proposed exceeds the amount of group open space normally provided and would be in addition to unofficial group open space through occasional closure and utilization of the shared access facility for special events. Each newly created lot would have dedicated open space for their use.

2. That strict compliance with the regulations would deprive the applicant of privileges enjoyed by owners of similarly zoned property; or as an alternative in the case of a minor variance, that such strict compliance would preclude an effective design solution fulfilling the basic intent of the applicable regulation.

Strict compliance with the allowed front yard projection and group open space requirements would preclude an effective design solution fulfilling the basic intent to provide interesting and compatible design with nearby properties and to allow for adequate on-site recreational space.

3. The variance, if granted, will not adversely affect the character, livability, or appropriate development of abutting properties or the surrounding area, and will not be detrimental to the public welfare or contrary to adopted plans or development policy.

The Variances for front yard projection and private open space substitution will not adversely affect the surrounding area or be detrimental to the public welfare or contrary to policy. The proposed walk-up entry stairs and private open spaces would add to the visual interest of the neighborhood through the addition of a distinctive architectural feature and generous landscaped areas. The private open spaces will allow residents of each unit to meet privately and if necessary also host guests for outdoor activities.

4. That the variance will not constitute a grant of a special privilege inconsistent with the limitations imposed on similarly zoned properties or inconsistent with the purposes of zoning regulations.

Similar variances have been granted to similar projects by the City.

5. That the elements of the proposal requiring the variance (e.g. elements such as buildings, walls, fences, driveways, garages and carports, etc.) conform with the regular design review criteria set forth in the design review procedure at Section 17.136.050.

The proposal conforms to the regular design review criteria as described in a previous section of this attachment (Regular Design Review Findings #1 through #5).

6. That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable guidelines or criteria, district plan, or development control map which have been adopted by the Planning Commission or City Council.

The proposal conforms to the General Plan as described in previous sections of this attachment (Regular Design Review Finding #5 and General Use Permit Criteria E).

7. For proposals involving one or two residential dwelling units on a lot: That, if the variance would relax a regulation governing maximum height, minimum yards, maximum lot coverage or building length along side lot lines, the proposal also conforms with at least one of the following criteria:

- a. **The proposal when viewed in its entirety will not adversely impact abutting residences to the side, rear, or directly across the street with respect to solar access, view blockage and privacy.**

The allowed projection of the front entry step-ups into the required front yard will not adversely impact abutting residences to the side, rear, or directly across the street with respect to solar access, view blockage and privacy. There are similar walk-ups projecting into the front yard of neighboring properties in the vicinity.

-OR-

- b. **Over 60 percent of the lots in the immediate vicinity are already developed and the proposal does not exceed the corresponding as-built condition on these lots and, for height variances, the proposal provides detailing, articulation or other design treatments that mitigate any bulk created by the additional height. The immediate context shall consist of the five closest lots on each side of the project site, plus the ten closest lots on the opposite side of the street (see Illustration I-4b); however, the Director of City Planning may make an alternative determination of immediate context based on specific site conditions. Such determination shall be in writing and included as part of any decision on any variance**

Not applicable.

ENVIRONMENTAL DETERMINATION

The California Environmental Quality Act (CEQA) Guidelines lists the projects that qualify as Categorical Exemptions from environmental review. The development proposal is categorically exempt from the environmental review requirements pursuant to Section 15332 for In-Fill Development Projects; Section 15315, Minor Land Division, and pursuant to Section 15183 for projects consistent with a Community Plan, General Plan or Zoning.

FINDINGS

CEQA Findings

Based on an examination of the previous EIRs, which fully and adequately analyzed and covered the potential environmental impacts associated with development at the subject site, the Project meets the requirements for a Community Plan Exemption and a Qualified Infill Exemption, and no further review or analysis under CEQA is required.

In accordance with CEQA Guidelines Sections 15183 and 15332, and as set forth in the CEQA Checklist below, the proposed Project qualifies for an exemption because the following findings can be made:

A. On a separate and independent basis, the project is also exempt under CEQA Guidelines Section 15183, projects consistent with a community plan, general plan or zoning. The proposed Project would not result in significant impacts that: 1) are peculiar to the project or project site; 2) were not previously identified as significant project level, cumulative, or offsite effects in the applicable Program EIR (the 1998 LUTE EIR, and for the housing components of the proposed project, the 2010 General Plan Housing Element Update EIR and 2014 Addendum); or 3) were previously identified as significant effects, but which as a result of substantial new information not known at the time the General Plan EIR was certified, would increase in severity above that described in the General Plan EIR. Therefore, the proposed project is exempt from further environmental review as being consistent with a Community Plan or Zoning in accordance with Public Resources Code Section 21083.3 and CEQA Guidelines Section 15183.

B. The project has been found to be categorically exempt from the environmental review requirements of the California Environmental Quality Act (CEQA) under Section 15332 of the CEQA Guidelines (Class 32, "In-fill Development Projects") because the project consists of in fill development within an urbanized area where there is no potential for the project to cause any significant environmental impacts. Below are the findings required for projects found exempt under Section 15332 and the reasons the proposed project meets these findings:

(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.

The project is consistent with the general plan designation and all applicable general plan policies as described in Design Review Finding #5 and General User Permit Criteria E, above. With approval of the requested permits, the project is consistent with the regulations in the RM-4 zone and other requirements in the Planning Code.

(b) The proposed development occurs within City limits on a project site of no more than five acres substantially surrounded by urban uses.

The project is located within the city limits of the city of Oakland in an urbanized area. The site is 8,356 square feet and less than 5 acres in size.

(c) The project site has no value as habitat for endangered, rare, or threatened species.

The project is located within a substantially urbanized area and consists of a vacant and paved site. The site has no value as habitat for endangered, rare, or threatened species.

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air

quality, or water quality.

The project involves six new residential units and is not anticipated to result in any significant effects relating to traffic, noise, air quality, or water quality for the following reasons.

The project will involve both construction noise and post-construction noise consistent with the typical noise associated with developments of this type in an urban location. Standard conditions of approval and uniformly applied development standards associated with construction noise and the City's Noise Ordinance will reduce noise impacts to less than significant levels. Implementation of the City's standard conditions of approval, which includes, but is not limited to, specific site design measures for post-construction stormwater pollution management, will reduce impacts to water quality to less than significant levels.

(e) The site can be adequately served by all required utilities and public services.

The project site is conveniently accessible to all required utilities (e.g., water, power, sanitary sewer facilities, and storm drain facilities) and all required public services (e.g., police and fire services).

ATTACHMENT B: CONDITIONS OF APPROVAL

The proposal is hereby approved subject to the following Conditions of Approval:

1. Approved Use

The project shall be constructed and operated in accordance with the authorized use as described in the application materials, and the revised plans **received February 4, 2021**, as amended by the following conditions of approval and mitigation measures, if applicable (“Conditions of Approval” or “Conditions”).

2. Effective Date, Expiration, Extensions and Extinguishment

This Approval shall become effective immediately, unless the Approval is appealable, in which case the Approval shall become effective in ten (10) calendar days unless an appeal is filed. Unless a different termination date is prescribed, this Approval shall expire **two calendar years** from the Approval date, or from the date of the final decision in the event of an appeal, unless within such period a complete building permit application has been filed with the Bureau of Building and diligently pursued towards completion, or the authorized activities have commenced in the case of a permit not involving construction or alteration. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Director of City Planning or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval, or its implementation, then the time period stated above for obtaining necessary permits for construction or alteration and/or commencement of authorized activities is automatically extended for the duration of the litigation.

3. Compliance with Other Requirements

The project applicant shall comply with all other applicable federal, state, regional, and local laws/codes, requirements, regulations, and guidelines, including but not limited to those imposed by the City’s Bureau of Building, Fire Marshal, Department of Transportation, and Public Works Department. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.

4. Minor and Major Changes

- a. Minor changes to the approved project, plans, Conditions, facilities, or use may be approved administratively by the Director of City Planning.
- b. Major changes to the approved project, plans, Conditions, facilities, or use shall be reviewed by the Director of City Planning to determine whether such changes require submittal and approval of a revision to the Approval by the original approving body or a new independent permit/approval. Major revisions shall be reviewed in accordance with the procedures required for the original permit/approval. A new independent permit/approval shall be reviewed in accordance with the procedures required for the new permit/approval.

5. Compliance with Conditions of Approval

- a. The project applicant and property owner, including successors, (collectively referred to hereafter as the “project applicant” or “applicant”) shall be responsible for compliance with all the Conditions of Approval and any recommendations contained in any submitted and approved

technical report at his/her sole cost and expense, subject to review and approval by the City of Oakland.

- b. The City of Oakland reserves the right at any time during construction to require certification by a licensed professional at the project applicant's expense that the as-built project conforms to all applicable requirements, including but not limited to, approved maximum heights and minimum setbacks. Failure to construct the project in accordance with the Approval may result in remedial reconstruction, permit revocation, permit modification, stop work, permit suspension, or other corrective action.
- c. Violation of any term, Condition, or project description relating to the Approval is unlawful, prohibited, and a violation of the Oakland Municipal Code. The City of Oakland reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings, or after notice and public hearing, to revoke the Approval or alter these Conditions if it is found that there is violation of any of the Conditions or the provisions of the Planning Code or Municipal Code, or the project operates as or causes a public nuisance. This provision is not intended to, nor does it, limit in any manner whatsoever the ability of the City to take appropriate enforcement actions. The project applicant shall be responsible for paying fees in accordance with the City's Master Fee Schedule for inspections conducted by the City or a City-designated third-party to investigate alleged violations of the Approval or Conditions.

6. Signed Copy of the Approval/Conditions

A copy of the Approval letter and Conditions shall be signed by the project applicant, attached to each set of permit plans submitted to the appropriate City agency for the project, and made available for review at the project job site at all times.

7. Blight/Nuisances

The project site shall be kept in a blight/nuisance-free condition. Any existing blight or nuisance shall be abated within sixty (60) days of approval, unless an earlier date is specified elsewhere.

8. Indemnification

- a. To the maximum extent permitted by law, the project applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Oakland, the Oakland City Council, the Oakland Redevelopment Successor Agency, the Oakland City Planning Commission, and their respective agents, officers, employees, and volunteers (hereafter collectively called "City") from any liability, damages, claim, judgment, loss (direct or indirect), action, causes of action, or proceeding (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "Action") against the City to attack, set aside, void or annul this Approval or implementation of this Approval. The City may elect, in its sole discretion, to participate in the defense of said Action and the project applicant shall reimburse the City for its reasonable legal costs and attorneys' fees.
- b. Within ten (10) calendar days of the filing of any Action as specified in subsection (a) above, the project applicant shall execute a Joint Defense Letter of Agreement with the City, acceptable to the Office of the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment, or invalidation of the Approval. Failure to timely execute the Letter of Agreement does not relieve the project applicant of any of the obligations contained in this Condition or other requirements or Conditions of Approval that may be imposed by the City.

9. Severability

The Approval would not have been granted but for the applicability and validity of each and every one of the specified Conditions, and if one or more of such Conditions is found to be invalid by a court of competent jurisdiction this Approval would not have been granted without requiring other valid Conditions consistent with achieving the same purpose and intent of such Approval.

10. Special Inspector/Inspections, Independent Technical Review, Project Coordination and Monitoring

The project applicant may be required to cover the full costs of independent third-party technical review and City monitoring and inspection, including without limitation, special inspector(s)/inspection(s) during times of extensive or specialized plan-check review or construction, and inspections of potential violations of the Conditions of Approval. The project applicant shall establish a deposit with Engineering Services and/or the Bureau of Building, if directed by the Director of Public Works, Building Official, Director of City Planning, Director of Transportation, or designee, prior to the issuance of a construction-related permit and on an ongoing as-needed basis.

11. Public Improvements

The project applicant shall obtain all necessary permits/approvals, such as encroachment permits, obstruction permits, curb/gutter/sidewalk permits, and public improvement (“p-job”) permits from the City for work in the public right-of-way, including but not limited to, streets, curbs, gutters, sidewalks, utilities, and fire hydrants. Prior to any work in the public right-of-way, the applicant shall submit plans for review and approval by the Bureau of Planning, the Bureau of Building, Engineering Services, Department of Transportation, and other City departments as required. Public improvements shall be designed and installed to the satisfaction of the City.

12. Trash and Blight Removal

Requirement: The project applicant and his/her successors shall maintain the property free of blight, as defined in chapter 8.24 of the Oakland Municipal Code. For nonresidential and multi-family residential projects, the project applicant shall install and maintain trash receptacles near public entryways as needed to provide sufficient capacity for building users.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

13. Graffiti Control

Requirement:

- a. During construction and operation of the project, the project applicant shall incorporate best management practices reasonably related to the control of graffiti and/or the mitigation of the impacts of graffiti. Such best management practices may include, without limitation:
 - i. Installation and maintenance of landscaping to discourage defacement of and/or protect likely graffiti-attracting surfaces.
 - ii. Installation and maintenance of lighting to protect likely graffiti-attracting surfaces.
 - iii. Use of paint with anti-graffiti coating.
 - iv. Incorporation of architectural or design elements or features to discourage graffiti defacement in accordance with the principles of Crime Prevention Through Environmental Design (CPTED).

- v. Other practices approved by the City to deter, protect, or reduce the potential for graffiti defacement.
- b. The project applicant shall remove graffiti by appropriate means within seventy-two (72) hours. Appropriate means include the following:
 - i. Removal through scrubbing, washing, sanding, and/or scraping (or similar method) without damaging the surface and without discharging wash water or cleaning detergents into the City storm drain system.
 - ii. Covering with new paint to match the color of the surrounding surface.
 - iii. Replacing with new surfacing (with City permits if required).

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

14. Landscape Plan

a. ***Landscape Plan Required***

- Requirement: The project applicant shall submit a final Landscape Plan for City review and approval that is consistent with the approved Landscape Plan. The Landscape Plan shall be included with the set of drawings submitted for the construction-related permit and shall comply with the landscape requirements of chapter 17.124 of the Planning Code. Proposed plants shall be predominantly drought-tolerant. Specification of any street trees shall comply with the Master Street Tree List and Tree Planting Guidelines (which can be viewed at <http://www2.oaklandnet.com/oakca1/groups/pwa/documents/report/oak042662.pdf> and <http://www2.oaklandnet.com/oakca1/groups/pwa/documents/form/oak025595.pdf>, respectively), and with any applicable streetscape plan.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: N/A

b. ***Landscape Installation***

Requirement: The project applicant shall implement the approved Landscape Plan unless a bond, cash deposit, letter of credit, or other equivalent instrument acceptable to the Director of City Planning, is provided. The financial instrument shall equal the greater of \$2,500 or the estimated cost of implementing the Landscape Plan based on a licensed contractor's bid.

When Required: Prior to building permit final

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

c. ***Landscape Maintenance***

Requirement: All required planting shall be permanently maintained in good growing condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with applicable landscaping requirements. The property owner shall be responsible for maintaining planting in adjacent public rights-of-way. All required fences, walls, and irrigation systems shall be permanently maintained in good condition and, whenever necessary, repaired or replaced.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

15. Lighting

Requirement: Proposed new exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector to prevent unnecessary glare onto adjacent properties.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

1. Dust Controls – Construction Related

Requirement: The project applicant shall implement all of the following applicable dust control measures during construction of the project:

- a. Water all exposed surfaces of active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever feasible.
- b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
- c. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- d. Limit vehicle speeds on unpaved roads to 15 miles per hour.
- e. All demolition activities (if any) shall be suspended when average wind speeds exceed 20 mph.
- f. All trucks and equipment, including tires, shall be washed off prior to leaving the site.
- g. Site accesses to a distance of 100 feet from the paved road shall be treated with a 6 to 12 inch compacted layer of wood chips, mulch, or gravel.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

2. Criteria Air Pollutant Controls - Construction Related

Requirement: The project applicant shall implement all of the following applicable basic control measures for criteria air pollutants during construction of the project as applicable:

- a. Idling times on all diesel-fueled commercial vehicles over 10,000 lbs. shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to two minutes (as required by the California airborne toxics control measure Title 13, Section 2485, of the California Code of Regulations). Clear signage to this effect shall be provided for construction workers at all access points.
- b. Idling times on all diesel-fueled off-road vehicles over 25 horsepower shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to two minutes and fleet operators must develop a written policy as required by Title 23, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”).
- c. All construction equipment shall be maintained and properly tuned in accordance with the manufacturer’s specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. Equipment check documentation should be kept at the construction site and be available for review by the City and the Bay Area Air Quality District as needed.

- d. Portable equipment shall be powered by grid electricity if available. If electricity is not available, propane or natural gas generators shall be used if feasible. Diesel engines shall only be used if grid electricity is not available and propane or natural gas generators cannot meet the electrical demand.
- e. Low VOC (i.e., ROG) coatings shall be used that comply with BAAQMD Regulation 8, Rule 3: Architectural Coatings.
- f. All equipment to be used on the construction site shall comply with the requirements of Title 13, Section 2449, of the California Code of Regulations (“California Air Resources Board Off-Road Diesel Regulations”) and upon request by the City (and the Air District if specifically requested), the project applicant shall provide written documentation that fleet requirements have been met.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

3. Archaeological and Paleontological Resources – Discovery During Construction

Requirement: Pursuant to CEQA Guidelines section 15064.5(f), in the event that any historic or prehistoric subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined unnecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted. Work may proceed on other parts of the project site while measures for the cultural resources are implemented.

In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact to less than significant. The project applicant shall implement the ARDTP at his/her expense.

In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

4. Human Remains – Discovery During Construction

Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

5. Construction-Related Permit(s)

Requirement: The project applicant shall obtain all required construction-related permits/approvals from the City. The project shall comply with all standards, requirements and conditions contained in construction-related codes, including but not limited to the Oakland Building Code and the Oakland Grading Regulations, to ensure structural integrity and safe construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

6. Seismic Hazards Zone (Landslide/Liquefaction)

Requirement: The project applicant shall submit a site-specific geotechnical report, consistent with California Geological Survey Special Publication 117 (as amended), prepared by a registered geotechnical engineer for City review and approval containing at a minimum a description of the geological and geotechnical conditions at the site, an evaluation of site-specific seismic hazards based on geological and geotechnical conditions, and recommended measures to reduce potential impacts related to liquefaction and/or slope stability hazards. The project applicant shall implement the recommendations contained in the approved report during project design and construction.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

7. Hazardous Materials Related to Construction

Requirement: The project applicant shall ensure that Best Management Practices (BMPs) are implemented by the contractor during construction to minimize potential negative effects on groundwater, soils, and human health. These shall include, at a minimum, the following:

- a. Follow manufacture’s recommendations for use, storage, and disposal of chemical products used in construction;

- b. Avoid overtopping construction equipment fuel gas tanks;
- c. During routine maintenance of construction equipment, properly contain and remove grease and oils;
- d. Properly dispose of discarded containers of fuels and other chemicals;
- e. Implement lead-safe work practices and comply with all local, regional, state, and federal requirements concerning lead (for more information refer to the Alameda County Lead Poisoning Prevention Program); and
- f. If soil, groundwater, or other environmental medium with suspected contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums or other hazardous materials or wastes are encountered), the project applicant shall cease work in the vicinity of the suspect material, the area shall be secured as necessary, and the applicant shall take all appropriate measures to protect human health and the environment. Appropriate measures shall include notifying the City and applicable regulatory agency(ies) and implementation of the actions described in the City's Standard Conditions of Approval, as necessary, to identify the nature and extent of contamination. Work shall not resume in the area(s) affected until the measures have been implemented under the oversight of the City or regulatory agency, as appropriate.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

8. Erosion and Sedimentation Control Measures for Construction

Requirement: The project applicant shall implement Best Management Practices (BMPs) to reduce erosion, sedimentation, and water quality impacts during construction to the maximum extent practicable. At a minimum, the project applicant shall provide filter materials deemed acceptable to the City at nearby catch basins to prevent any debris and dirt from flowing into the City's storm drain system and creeks.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

9. Site Design Measures to Reduce Stormwater Runoff

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate site design measures into the project to reduce the amount of stormwater runoff. These measures may include, but are not limited to, the following:

- a. Minimize impervious surfaces, especially directly connected impervious surfaces and surface parking areas;
- b. Utilize permeable paving in place of impervious paving where appropriate;
- c. Cluster structures;
- d. Direct roof runoff to vegetated areas;
- e. Preserve quality open space; and
- f. Establish vegetated buffer areas.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

10. Source Control Measures to Limit Stormwater Pollution

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant is encouraged to incorporate appropriate source control measures to limit pollution in stormwater runoff. These measures may include, but are not limited to, the following:

- a. Stencil storm drain inlets “No Dumping – Drains to Bay;”
- b. Minimize the use of pesticides and fertilizers;
- c. Cover outdoor material storage areas, loading docks, repair/maintenance bays and fueling areas;
- d. Cover trash, food waste, and compactor enclosures; and
- e. Plumb the following discharges to the sanitary sewer system, subject to City approval:
- f. Discharges from indoor floor mats, equipment, hood filter, wash racks, and, covered outdoor wash racks for restaurants;
- g. Dumpster drips from covered trash, food waste, and compactor enclosures;
- h. Discharges from outdoor covered wash areas for vehicles, equipment, and accessories;
- i. Swimming pool water, if discharge to on-site vegetated areas is not feasible; and
- j. Fire sprinkler test water, if discharge to on-site vegetated areas is not feasible.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: N/A

11. NPDES C.3 Stormwater Requirements for Small Projects

Requirement: Pursuant to Provision C.3 of the Municipal Regional Stormwater Permit issued under the National Pollutant Discharge Elimination System (NPDES), the project applicant shall incorporate one or more of the following site design measures into the project:

- a. Direct roof runoff into cisterns or rain barrels for reuse;
- b. Direct roof runoff onto vegetated areas;
- c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas;
- d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas;
- e. Construct sidewalks, walkways, and/or patios with permeable surfaces; or
- f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.

The project drawings submitted for construction-related permits shall include the proposed site design measure(s) and the approved measure(s) shall be installed during construction. The design and installation of the measure(s) shall comply with all applicable City requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

12. Construction Days/Hours

Requirement: The project applicant shall comply with the following restrictions concerning construction days and hours:

- a. Construction activities are limited to between 7:00 a.m. and 7:00 p.m. Monday through Friday, except that pier drilling and/or other extreme noise generating activities greater than 90 dBA shall be limited to between 8:00 a.m. and 4:00 p.m.
- b. Construction activities are limited to between 9:00 a.m. and 5:00 p.m. on Saturday. In residential zones and within 300 feet of a residential zone, construction activities are allowed from 9:00 a.m. to 5:00 p.m. only within the interior of the building with the doors and windows closed. No pier drilling or other extreme noise generating activities greater than 90 dBA are allowed on Saturday.
- c. No construction is allowed on Sunday or federal holidays.

Construction activities include, but are not limited to, truck idling, moving equipment (including trucks, elevators, etc.) or materials, deliveries, and construction meetings held on-site in a non-enclosed area.

Any construction activity proposed outside of the above days and hours for special activities (such as concrete pouring which may require more continuous amounts of time) shall be evaluated on a case-by-case basis by the City, with criteria including the urgency/emergency nature of the work, the proximity of residential or other sensitive uses, and a consideration of nearby residents'/occupants' preferences. The project applicant shall notify property owners and occupants located within 300 feet at least 14 calendar days prior to construction activity proposed outside of the above days/hours. When submitting a request to the City to allow construction activity outside of the above days/hours, the project applicant shall submit information concerning the type and duration of proposed construction activity and the draft public notice for City review and approval prior to distribution of the public notice.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

13. Construction Noise

Requirement: The project applicant shall implement noise reduction measures to reduce noise impacts due to construction. Noise reduction measures include, but are not limited to, the following:

- a. Equipment and trucks used for project construction shall utilize the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures and acoustically-attenuating shields or shrouds) wherever feasible.
- b. Except as provided herein, impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction shall be hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used, if such jackets are commercially available, and this could achieve a reduction of 5 dBA. Quieter procedures shall be used, such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.
- c. Applicant shall use temporary power poles instead of generators where feasible.
- d. Stationary noise sources shall be located as far from adjacent properties as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or use other measures as determined by the City to provide equivalent noise reduction.
- e. The noisiest phases of construction shall be limited to less than 10 days at a time. Exceptions may be allowed if the City determines an extension is necessary and all available noise reduction controls are implemented.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

14. Extreme Construction Noise

a. Construction Noise Management Plan Required

Requirement: Prior to any extreme noise generating construction activities (e.g., pier drilling, pile driving and other activities generating greater than 90dBA), the project applicant shall submit a Construction Noise Management Plan prepared by a qualified acoustical consultant for City review and approval that contains a set of site-specific noise attenuation measures to further reduce construction impacts associated with extreme noise generating activities. The project applicant shall implement the approved Plan during construction. Potential attenuation measures include, but are not limited to, the following:

- i. Erect temporary plywood noise barriers around the construction site, particularly along on sites adjacent to residential buildings;
- ii. Implement “quiet” pile driving technology (such as pre-drilling of piles, the use of more than one pile driver to shorten the total pile driving duration), where feasible, in consideration of geotechnical and structural requirements and conditions;
- iii. Utilize noise control blankets on the building structure as the building is erected to reduce noise emission from the site;
- iv. Evaluate the feasibility of noise control at the receivers by temporarily improving the noise reduction capability of adjacent buildings by the use of sound blankets for example and implement such measure if such measures are feasible and would noticeably reduce noise impacts; and
- v. Monitor the effectiveness of noise attenuation measures by taking noise measurements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

b. Public Notification Required

Requirement: The project applicant shall notify property owners and occupants located within 300 feet of the construction activities at least 14 calendar days prior to commencing extreme noise generating activities. Prior to providing the notice, the project applicant shall submit to the City for review and approval the proposed type and duration of extreme noise generating activities and the proposed public notice. The public notice shall provide the estimated start and end dates of the extreme noise generating activities and describe noise attenuation measures to be implemented.

When Required: During construction

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

15. Operational Noise

Requirement: Noise levels from the project site after completion of the project (i.e., during project operation) shall comply with the performance standards of chapter 17.120 of the Oakland Planning Code and chapter 8.18 of the Oakland Municipal Code. If noise levels exceed these standards, the activity causing the noise shall be abated until appropriate noise reduction measures have been installed and compliance verified by the City.

When Required: Ongoing

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

16. Affordable Housing Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Affordable Housing Impact Fee Ordinance (chapter 15.72 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit; subsequent milestones pursuant to ordinance

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

17. Capital Improvements Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Capital Improvements Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

18. Construction Activity in the Public Right-of-Way

a. ***Obstruction Permit Required***

Requirement: The project applicant shall obtain an obstruction permit from the City prior to placing any temporary construction-related obstruction in the public right-of-way, including City streets, sidewalks, bicycle facilities, and bus stops.

When Required: Prior to approval of construction-related permit

Initial Approval: Department of Transportation

Monitoring/Inspection: Department of Transportation

b. ***Traffic Control Plan Required***

Requirement: In the event of obstructions to vehicle or bicycle travel lanes, bus stops, or sidewalks, the project applicant shall submit a Traffic Control Plan to the City for review and approval prior to obtaining an obstruction permit. The project applicant shall submit evidence of City approval of the Traffic Control Plan with the application for an obstruction permit. The Traffic Control Plan shall contain a set of comprehensive traffic control measures for auto, transit, bicycle, and pedestrian accommodations (or detours, if accommodations are not feasible), including detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes. The Traffic Control Plan shall be in conformance with the City's Supplemental Design Guidance for Accommodating Pedestrians, Bicyclists, and Bus Facilities in Construction Zones. The project applicant shall implement the approved Plan during construction.

Initial Approval: Department of Transportation

Monitoring/Inspection: Department of Transportation

c. ***Repair of City Streets***

Requirement: The project applicant shall repair any damage to the public right-of way, including streets and sidewalks, caused by project construction at his/her expense within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in such case, repair shall occur prior to approval of the final inspection of the construction-related permit. All damage that is a threat to public health or safety shall be repaired immediately.

When Required: Prior to building permit final

Initial Approval: N/A

Monitoring/Inspection: Department of Transportation

19. Bicycle Parking

Requirement: The project applicant shall comply with the City of Oakland Bicycle Parking Requirements (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall demonstrate compliance with the requirements.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

20. Transportation Impact Fee

Requirement: The project applicant shall comply with the requirements of the City of Oakland Transportation Impact Fee Ordinance (chapter 15.74 of the Oakland Municipal Code).

When Required: Prior to issuance of building permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

21. Plug-In Electric Vehicle (PEV) Charging Infrastructure

a. ***PEV-Ready Parking Spaces***

Requirement: The applicant shall submit, for review and approval of the Building Official and the Zoning Manager, plans that show the location of parking spaces equipped with full electrical circuits designated for future PEV charging (i.e. "PEV-Ready") per the requirements of Chapter 15.04 of the Oakland Municipal Code. Building electrical plans shall indicate sufficient electrical capacity to supply the required PEV-Ready parking spaces.

When Required: Prior to Issuance of Building Permit

Initial Approval: Bureau of Building

Monitoring/Inspection: Bureau of Building

22. Construction and Demolition Waste Reduction and Recycling

Requirement: The project applicant shall comply with the City of Oakland Construction and Demolition Waste Reduction and Recycling Ordinance (chapter 15.34 of the Oakland Municipal Code) by submitting a Construction and Demolition Waste Reduction and Recycling Plan (WRRP) for City review and approval, and shall implement the approved WRRP. Projects subject to these requirements include all new construction, renovations/alterations/modifications with construction values of \$50,000 or more (except R-3 type construction), and all demolition (including soft demolition) except demolition of type R-3 construction. The WRRP must specify the methods by which the project will divert construction and demolition debris waste from landfill disposal in accordance with current City requirements. The WRRP may be submitted electronically at www.greenhalosystems.com or manually at the City's Green Building Resource Center. Current standards, FAQs, and forms are available on the City's website and in the Green Building Resource Center.

When Required: Prior to approval of construction-related permit

Initial Approval: Public Works Department, Environmental Services Division

Monitoring/Inspection: Public Works Department, Environmental Services Division

23. Underground Utilities

Requirement: The project applicant shall place underground all new utilities serving the project and under the control of the project applicant and the City, including all new gas, electric, cable, and telephone facilities, fire alarm conduits, street light wiring, and other wiring, conduits, and similar facilities. The new facilities shall be placed underground along the project's street frontage and from the project structures to the point of service. Utilities under the control of other agencies, such as PG&E, shall be placed underground if feasible. All utilities shall be installed in accordance with standard specifications of the serving utilities.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

24. Recycling Collection and Storage Space

Requirement: The project applicant shall comply with the City of Oakland Recycling Space Allocation Ordinance (chapter 17.118 of the Oakland Planning Code). The project drawings submitted for construction-related permits shall contain recycling collection and storage areas in compliance with the Ordinance. For residential projects, at least two (2) cubic feet of storage and collection space per residential unit is required, with a minimum of ten (10) cubic feet. For nonresidential projects, at least two (2) cubic feet of storage and collection space per 1,000 square feet of building floor area is required, with a minimum of ten (10) cubic feet.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

25. Green Building Requirements**a. *Compliance with Green Building Requirements During Plan-Check***

Requirement: The project applicant shall comply with the requirements of the California Green Building Standards (CALGreen) mandatory measures and the applicable requirements of the City of Oakland Green Building Ordinance (chapter 18.02 of the Oakland Municipal Code).

- i. The following information shall be submitted to the City for review and approval with the application for a building permit:
 - Documentation showing compliance with Title 24 of the current version of the California Building Energy Efficiency Standards.
 - Completed copy of the final green building checklist approved during the review of the Planning and Zoning permit.
 - Copy of the Unreasonable Hardship Exemption, if granted, during the review of the Planning and Zoning permit.
 - Permit plans that show, in general notes, detailed design drawings, and specifications as necessary, compliance with the items listed in subsection (ii) below.
 - Copy of the signed statement by the Green Building Certifier approved during the review of the Planning and Zoning permit that the project complied with the requirements of the Green Building Ordinance.
 - Signed statement by the Green Building Certifier that the project still complies with the requirements of the Green Building Ordinance, unless an Unreasonable Hardship Exemption was granted during the review of the Planning and Zoning permit.
 - Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.

- ii. The set of plans in subsection (i) shall demonstrate compliance with the following:
 - CALGreen mandatory measures.
 - Green building point level/certification requirement: 23 points per the appropriate checklist approved during the Planning entitlement process.
 - All green building points identified on the checklist approved during review of the Planning and Zoning permit, unless a Request for Revision Plan-check application is submitted and approved by the Bureau of Planning that shows the previously approved points that will be eliminated or substituted.
 - The required green building point minimums in the appropriate credit categories.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Building

Monitoring/Inspection: N/A

b. *Compliance with Green Building Requirements During Construction*

Requirement: The project applicant shall comply with the applicable requirements of CALGreen and the Oakland Green Building Ordinance during construction of the project.

The following information shall be submitted to the City for review and approval:

- i. Completed copies of the green building checklists approved during the review of the Planning and Zoning permit and during the review of the building permit.
- ii. Signed statement(s) by the Green Building Certifier during all relevant phases of construction that the project complies with the requirements of the Green Building Ordinance.
- iii. Other documentation as deemed necessary by the City to demonstrate compliance with the Green Building Ordinance.

When Required: During construction

Initial Approval: N/A

Monitoring/Inspection: Bureau of Building

c. *Compliance with Green Building Requirements After Construction*

Requirement: Prior to the finaling the Building Permit, the Green Building Certifier shall submit the appropriate documentation to City staff and attain the minimum required point level.

When Required: Prior to Final Approval

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

26. Water Efficient Landscape Ordinance (WELO)

Requirement: The project applicant shall comply with California’s Water Efficient Landscape Ordinance (WELO) in order to reduce landscape water usage. For the specific ordinance requirements, see the link below:

<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/docs/Title%202023%20extract%20-%20Official%20CCR%20pages.pdf>

For any landscape project with an aggregate (total noncontiguous) landscape area equal to 2,500 sq. ft. or less, the project applicant may implement either the Prescriptive Measures or the Performance Measures, of, and in accordance with the California’s Model Water Efficient Landscape Ordinance.

For any landscape project with an aggregate (total noncontiguous) landscape area over 2,500 sq. ft., the project applicant shall implement the Performance Measures in accordance with the WELO.

Prescriptive Measures: Prior to construction, the project applicant shall submit the Project Information (detailed below) and documentation showing compliance with Appendix D of California’s Model Water Efficient Landscape Ordinance (see page 38.14(g) in the link above).

Performance Measures: Prior to construction, the project applicant shall prepare and submit a Landscape Documentation Package for review and approval, which includes the following

- a. Project Information:
 - i. Date,
 - ii. Applicant and property owner name,
 - iii. Project address,
 - iv. Total landscape area,
 - v. Project type (new, rehabilitated, cemetery, or home owner installed),
 - vi. Water supply type and water purveyor,
 - vii. Checklist of documents in the package, and
 - viii. Project contacts
 - ix. Applicant signature and date with the statement: “I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.”
- b. Water Efficient Landscape Worksheet
 - i. Hydrozone Information Table
 - ii. Water Budget Calculations with Maximum Applied Water Allowance (MAWA) and Estimated Total Water Use
- c. Soil Management Report
- d. Landscape Design Plan
- e. Irrigation Design Plan, and
- f. Grading Plan

Upon installation of the landscaping and irrigation systems, and prior to the final of a construction-related permit, the Project applicant shall submit a Certificate of Completion (see page 38.6 in the link above) and landscape and irrigation maintenance schedule for review and approval by the City. The Certificate of Completion shall also be submitted to the local water purveyor and property owner or his or her designee.

When Required: Prior to approval of construction-related permit

Initial Approval: Bureau of Planning

Monitoring/Inspection: Bureau of Building

PROJECT-SPECIFIC CONDITIONS

27. Mini-lot Development – Future Expansions of Buildings

Ongoing

Any future changes to the subject buildings on the property that impact the exterior envelope of any of the structures shall require a revision of the Conditional Use Permit approving the mini-lot development.

28. Engineering, Surveyor and Fire Services Comments**Ongoing**

The project shall comply with the Engineering Services, City Surveyor and the Fire Prevention Bureau requirements. Engineering Services and City Surveyor conditions are enclosed as Attachments C and D, respectively. The applicant shall coordinate with the Oakland Fire Prevention Bureau to comply with all required Fire Department standards.

29. Covenants, Conditions and Restrictions & Homeowner's Association

The Covenants, Conditions and Restrictions (CC&Rs) for the units shall be submitted to the Planning and Zoning Division for review. The CC&Rs shall provide for the establishment of a non-profit homeowners association for the maintenance and operation of all on-site, pathways, common open space and all common landscaping, driveways, and other facilities, in accordance with approved plans. Membership in the association shall be made a condition of ownership. The developer shall be a member of such association until all units are sold.

When Required: Prior to certificate of occupancy.

Initial Approval: Bureau of Planning; Bureau of Building

Monitoring/Inspection: Bureau of Building

30. Submittal of Final Map and Final Map Requirements***Within two years of the effective date of approval, and ongoing***

A Final Map shall be submitted to the Building Services Department, within **2 years** of the approval of this permit. The final submittal for the map shall include all common areas, pathways, and dedicated sewer and storm drain easements in a form acceptable to the City Engineer and acceptance language by the City Engineer. The applicant shall record the Final Map and a written legal description of the reconfigured parcels as part of the deed with the Alameda County Recorder's Office and proof of such recordation shall be provided to the Planning Department prior to issuance of Building Permits. Failure to file a Final Parcel Map within these time limits shall nullify the previous approval or conditional approval of the Tentative Parcel Map.

31. Shared Access Facility/Private Access Easement***Prior to use & Ongoing***

1. Compliance with Guidelines. Each shared access facility proposal shall be in compliance with all applicable City standards, including but not limited to the City Planning Commission guidelines for development and evaluation of shared access facilities.

2. Public Safety. The width of a shared access facility shall be adequate to ensure unimpeded emergency and nonemergency ingress and egress at all times. Additionally, the shared access facility shall conform to City standards for roadway layout and design.

3. Aesthetics. A shared access facility shall be designed to provide the environmentally superior alternative to other approaches for the development of the property and shall be designed to be visually compatible with its surroundings, as set forth in the City Planning Commission guidelines;

necessary retaining walls shall not be of excessive height and shall not be visibly obtrusive, as such are defined in the City Planning Commission guidelines.

4. On-Going Owner Responsibility. Applicants for a shared access facility shall submit, for approval, an agreement for access facility maintenance, parking restrictions, and landscape maintenance. Upon staff approval, the proposed agreement shall be recorded by the applicant within thirty (30) days with the Alameda County Recorder. In addition, applicants for a shared access facility shall provide documentation of continuing liability insurance coverage. Documentation of insurance coverage shall include the written undertaking of each insurer to give the City thirty (30) days' prior written notice of cancellation, termination, or material change of such insurance coverage.

5. Certification. Prior to construction, applicants for a shared access facility shall retain a California registered professional civil engineer to certify, upon completion, that the access facility was constructed in accordance with the approved plans and construction standards. This requirement may be modified or waived at the discretion of the Director of Public Works, based on the topography or geotechnical considerations. An applicant may also be required to show assurance of performance bonding for grading and other associated improvements. In addition, prior to the installation of landscaping, an applicant shall retain a landscape architect or other qualified individual to certify, upon completion, that landscaping was installed in accordance with the approved landscape plan.

32. Parking Garages

Ongoing

Each of the proposed parking garages shall be maintained as required off-street parking spaces for the intended units. No garage space shall be used or converted for any other purpose without prior review and approval by the Oakland Planning Department.

APPROVED BY:

City Planning Commission: _____ (date) _____ (vote)

ATTACHMENT

C

City of Oakland Department of Transportation

Transportation and Right-of-Way Management Division, Engineering Services

If Project is approved by the Advisory Agency, attach the Engineering Services "Conditions of Approval" provided below.

Planning/Zoning Number(s) PLN20153				Engineering Staff Contact Joseph Palacio, Assistant Engineer II			
Project Address 3855 West Street				Project Description To subdivide lot into six new mini-lots			
Tentative Map No. VTTM8571		No. of New Lots		6	No. Condominiums		<input type="checkbox"/> Mixed Use
<input type="checkbox"/> No Map	<input type="checkbox"/> Parcel Map Waiver	<input type="checkbox"/> Merger	<input type="checkbox"/> Lot Line Adjustment LLA	No. Existing Lots LLA		1	No. New Lots LLA
				7			
<u>GENERAL REQUIREMENTS</u>				<u>SPECIFIC PROJECT CONDITIONS OF APPROVAL</u>			
<u>SIDEWALKS, CURB AND GUTTERS</u> 1. Existing sidewalks fronting subject property must be compliant with ADA standards. 2. Uplifted, uneven, damaged sidewalks shall be repaired with no more than ¼ inch lift and no more than 2% cross slope. 3. Sidewalk clear width of 5.5 feet minimum is required and must not be less than 50-inches between obstacles, poles, trees, hydrants, pinch points for ADA access. 4. Existing sidewalks, curbs/gutter/driveway approaches damaged, broken or if non-standard shall be repaired. 5. A Curb, Gutter and Sidewalk (CGS) permit is required to repair or construct sidewalk. 6. Infrastructure and improvements to be privately maintained within the right of way and any non-standard features MAY be accepted with an Encroachment Permit. 7. City may revoke encroachment permit at its sole discretion and may charge property owner(s) for use of the right-of-way.				Prior to recording the Final Map, Tract Map 8571, the Applicant shall enter into a Subdivision Improvement Agreement (SIA) for construction of improvements within the City's right-of-way. Applicant shall apply for a PX Permit and submit the project improvement plans prepared by a registered civil engineer to Engineering Services for review. Improvement plans and Engineers Cost Estimate must be reviewed and approved by Engineering prior to scheduling the date for City Council approval of the Final Map and SIA.			
<u>STREET PAVING AND STRIPING</u> 8. Street and roadway area(s) fronting the development must be resurfaced up to one traffic lane in width 13 ft. or to the centerline of the street, after completion of construction and as required by the Inspector. 9. Evaluation of the street's Pavement Condition Index at time plans are submitted for permit review shall determine any restoration requirements. 10. Existing striping fronting the property and up to 1 block length shall be restored to the satisfaction of the Inspector. Thermoplastic shall be required unless specified otherwise in the plans approved for construction. 11. "Moratorium Streets" are resurfaced or newly constructed streets within the past 5-year period. No trenching or excavation is permitted on any Moratorium Street without the written authorization of the Public Works Director.				Condition 8,9,10,11 applies. Engineering Service will review the improvements shown on the plans submitted for the PX permit for the actual paving limit.			
<u>DRIVEWAYS</u> 12. Driveway approach, length, width, driveway separation, clearances from poles and utilities, type of curb, driveway angle, shall be approved by Bureau of Planning in advance of any review by Engineering Services. 13. Any existing driveway that will no longer be required to serve the property shall be replaced with new sidewalk curb and gutter, with curb striping as required by Inspector.				Driveway approaches shall be identified on the improvement plans for the PX permit and proposed locations must be approved by Engineering Services. Any unused existing driveway approaches shall be removed and replaced with new sidewalk, curb and gutter			
<u>CURB RAMPS</u> 14. New curb ramps shall meet the latest State of California standards when plans are submitted for review.				Curb ramp adjacent to property and curb ramp adjacent to			

<p>15. Curb ramps shall be directional unless approved otherwise in writing by the City Engineer.</p> <p>16. New curb ramps are required at intersections fronting the project site and when the use or occupancy necessitates installation or replacement of curb ramps. Additional curb ramps required by the City Engineer shall be installed by the project sponsor.</p> <p>17. Where a new curb ramp is required for the project the curb ramp located on the opposite side of the roadway, across a marked or un-marked crosswalk, shall also be installed or upgraded to be ADA compliant by the project sponsor.</p>	<p>food mart shall be upgraded to meet City of Oakland Standards. Ramps shall be directional and comply with 2018 CalTrans Standard detail A88A slope geometry.</p>
<p><u>STREET GEOMETRY AND STRIPING DESIGN</u></p> <p>18. New striping, curb painting, bulb-outs, changes to existing dimensions, impact to traffic resulting from development, traffic pattern, circulation, signals, traffic count, street/lane change shall be reviewed and approved by the City's Traffic Engineer.</p> <p>19. Any alteration to geometry of roadway/sidewalk, markings, traffic control signs and devices shall be reviewed and approved by the City's Traffic Engineer.</p> <p>20. Traffic and parking sign posts shall be coated with anti-graffiti coating.</p> <p>21. Traffic Control Plans (TCP) for temporary traffic control measures shall be submitted separately for review and approval by City's Traffic Engineer prior to permit issuance and when the TCP is adjusted and updated during construction.</p>	<p>Engineering Services will determine if any of the improvements shown on plans for PX permit require the review and approval of the City's Traffic Engineer prior to issuance of the PX permit.</p>
<p><u>SANITARY SEWER</u></p> <p>22. Sanitary sewer impact analysis is required when new development results in a net increase of volume of wastewater flow to the City's sanitary sewer system. Sewer flow calculations prepared by developer's engineer must include existing and proposed flows. Developer shall submit analysis with completed application for review. Mitigation fees shall be paid prior to issuance of a Building or PX permit whichever occurs first.</p> <p>23. A "PSL" certificate, Sewer Lateral Permit, and EBMUD Inspection are required for all projects where construction costs are one-hundred thousand dollars (\$100K +) or more.</p> <p>24. A Sewer Lateral permit (SL) is required for any new sewer lateral or rehabilitation of existing lateral. Abandonment of a sewer lateral requires a separate permit.</p> <p>25. Sewer profiles shall be included on the plans approved for construction. If existing utilities are within twelve inches (12") of proposed sewer, engineer shall have existing utility potholed and resolve conflict before approval of plans.</p>	<p>Prior to recording the Tract Map, applicant shall submit sewer calculations for review and approval at the time of submitting improvement plans for PX permit. Applicant shall obtain PSL certificate, a SL permit and lateral abandonment permit(s) as applicable to the proposed development. Each parcel shall have separate sewer laterals serving each parcel.</p>
<p><u>STORM DRAINS</u></p> <p>26. Connection of storm drain to sewer line is prohibited. Any unauthorized connection shall be separated from the sanitary sewer.</p> <p>27. Drainage plans shall be submitted for review and approval. Plans shall follow City standard details and design standards. Blind connections or tap connections are prohibited for storm drains.</p>	<p>Conditions may apply at time of construction permit application.</p>

<p>28. Hydrology and Hydraulic Calculations, shall meet City's Storm Drainage Design Standards.</p> <p>29. Reduction in Peak Flow by 25% or to the extent possible is required.</p>	
<p><u>STORM WATER TREATMENT</u></p> <p>30. Requirements for permanent and temporary storm water pollution prevention, Alameda County Clean Water Program (C.3), shall be included in the Building improvement plans for on-site work. Any approved storm drain from on-site development shall be tied to an inlet structure at the back of curb designating public and private ownership.</p> <p>31. Permanent storm water treatment (BMP's) to service the development shall be privately maintained and included in the O&M Agreement for the project.</p> <p>32. Roof runoff must be directed through an approved treatment device prior to entering the City's storm drainage system.</p> <p>33. Right-of-way shall not be used for storm water treatment features.</p>	<p>Applicant shall submit the storm drainage calculations for review and approval at the time of submitting the improvement plans for PX permit.</p>
<p><u>STREET TREES AND LANDSCAPING (PRIVATE)</u></p> <p>34. Trees and irrigation for the proposed development shall be owned and maintained by the property owner(s).</p> <p>35. Landscape and irrigation plans shall be submitted with the civil plans for work (PX permit) for review and approval by the City's Arborist.</p> <p>36. Landscape, irrigation plans and tree species shall meet City standards for Street Tree Planting.</p> <p>37. Tree shall be spaced twenty feet (20') on center and shall not obstruct street lights. Tree wells shall be 3 ft. x 3ft. or 4 ft. x 4 ft. (minimum) for mature tree height of 25 to 40 feet.</p> <p>38. Tree Grates, Root Barrier and Staking Details for new trees shall be included in the approved plans. Tree Grates must be ADA compliant.</p>	<p>The improvement plans submitted for the PX permit shall include landscape and irrigation plans for any landscaping proposed with the City's right-of-way. Any street trees, tree grates and root barriers shall be reviewed and approved by the City's Arborist as determined by Engineering Services.</p>
<p><u>EASEMENTS AND ENCROACHMENTS</u></p> <p>39. All property lines, existing and proposed easements, shall be clearly shown on the plans for construction (PX permit).</p> <p>40. Easement dedication or vacation requires separate application and permit (PPE permit) if not included on a Final Tract Map or Parcel Map.</p> <p>41. Major Encroachment permits require City Council resolution and Indenture Agreement with County Recorder's Number shown on the Final or Parcel Map.</p> <p>42. Permanent building elements encroaching into the right-of-way normally require a Major Encroachment (ENMJ permit)_Other approved encroachments may be part of Minor Encroachment (ENMI permit).</p> <p>43. City may revoke encroachment permit at its sole discretion and may charge property owner(s) for use of the right-of-way.</p>	<p>All emergency access and utility easements for the proposed development shall be clearly identified on the improvement plans submitted for the PX permit. The applicant shall apply for and obtain any necessary encroachment permits prior to issuance of a PX permit. If a major encroachment permit for the proposed building is required, the applicant shall submit to Engineering Services for review and approval all necessary plans and exhibits for the City Council resolution and the recorded major encroachment permit.</p>
<p><u>SITE PLAN</u></p> <p>44. A Site Plan shall be provided with permit plan set and include: north arrow, scale, property boundaries, topography, vegetation, proposed/existing structures,</p>	<p>A site plan shall be submitted with the improvement plans for the PX permit.</p>

<p>utilities, easements, roadways, monuments, wells, and any important key elements.</p>	
<p><u>STREET LIGHTS AND UTILITIES (PW ELECTRICAL)</u> 45. A photometric plan and analysis of existing and proposed street lights is required for all projects requiring a PX permit and as determined by the City Engineer. Design shall meet City Outdoor Lighting Standards. http://www2.oaklandnet.com/oakca1/groups/pwa/documents/policy/oak026007.pdf 46. Upon review and approval of the photometrics analysis, the project sponsor shall design and include additional streetlights as required by the City and shall also provide 10% spare streetlight fixtures for City’s Electrical Maintenance Operations. 47. Pedestrian signal and push buttons for intersection crossings shall be included in the plans for construction when required by the Traffic Engineer. 48. Utility undergrounding shall be clearly identified on all construction permitted plans as approved by the Project Planner, Oakland Fire Department, Public Works Department and Dept. of Transportation. 49. Pull boxes shall be locking. 50. Existing, reinstalled and new Streetlights, Parking Meters and Kiosks shall be included on the plans approved for construction. Separate fees and approvals by Public Works Maintenance is required to remove or install Streetlights, Parking Meters and Kiosk.</p>	<p>The improvement plans shall identify the location and details for all existing and proposed street lights along the street frontage of the proposed project. A photometric analysis shall be submitted for any changes proposed to the existing street lighting and as required by Public Works after review of the improvement plans.</p>
<p><u>SPECIAL ZONES: CDMG Designation (LS/LQ), A-P Zone, Flood Zone, Creek/water course, GAAD, etc.</u> 51. Design, approvals, outside agency permits, and construction methods shall meet all applicable Federal, State, and City’s Municipal Code requirements for properties located in hazard zone and flood zone. 52. Peer Review of Soils, Geotechnical, Hydrology, Hydraulic, and Structural Reports, engineering plans, grading, remediation, final map may be required. 53. CDMG Designation and potential for liquefaction(LQ) and/or landslide(LS) shall be clearly identified on individual lots of the Tentative Map, Parcel Map of final Tract Map.</p>	<p>Parcel is located in FEMA zone X, area of minimal flood hazard</p> <p>Parcel is located in liquefaction severity zone 3</p>
<p><u>TENTATIVE MAP, PARCEL MAP, TRACT MAP</u> 54. Fire Access, Emergency Vehicle Access, Shared Access (Agreement or CC&R’s), Utility Easements shall be clearly shown and identified on Maps. 55. Setbacks from the property lines, buffer areas, easements, buildings and separation required between structures and buildings shall be identified on Tentative Map. 56. After approval by Planning and Zoning of a Tentative Map a separate application to Engineering Services is required for review and approval of the Parcel or Tract Map by the City Surveyor and City Engineer. 57. Tract Map and Subdivision Improvement Agreement (SIA) requires City Council Approval. 58. Survey Monuments Protection, Surety/Bond may be required prior to approval of Parcel or Final Map.</p>	<p>Conditions apply. After approval by Planning and Zoning of a Tentative Map, a separate application to Engineering Service is required for review and approval of the Parcel Map by City Surveyor and City Engineer. Tract map and Subdivision Improvement Agreement requires City Council Approval.</p>

CITY OF OAKLAND Department of Transportation
Engineering Services "Conditions of Approval"

<p>CONSTRUCTION</p> <p>59. All work within the City's right-of-way or easement requires a valid permit.</p> <p>60. Shoring Plans, Retaining Walls, Streetlight and Traffic Signal Pole Foundations and other structures require a separate Building Permit from the Building Department.</p> <p>61. An Obstruction Permit (OB) may be required prior to issuance of a Grading, Building, PX, CGS or another related permit. OB permits are required for temporary or permanent removal of metered and non-metered parking spaces, sidewalk closure(s), staging of materials, construction dewatering equipment, blocking, placement of storage units, equipment within the right-of-way.</p> <p>62. An approved Traffic Control Plan (TCP) may be required prior to issuance of an OB permit, PX permit or any work requiring Traffic Control Measures within the City's right-of-way.</p>	<p>Conditions apply. PX permit is required for offsite improvements. OB permit is required if there is any impacted parking space on street. Traffic Control Plan may be required prior to issuance to OB and PX permit.</p> <p>SL Permit is required for any sewer lateral work.</p>
<p>OTHER</p> <p>63. Projects with "<i>Special</i>" considerations, for example; may require utility undergrounding of overhead utilities, improvements off-site (i.e. new traffic signal), ownership of land/project sponsor TCSE Economics & Workforce Development, a City Capital Project, or may be part of a larger "Master Planned Development" with Development Agreement and/or phased Final Maps.</p>	<p>Conditions may apply at time of building permit application</p>

PER CITY RECORDS AND INFORMATION RECEIVED FOR REVIEW ITEMS NOTED BELOW MAY AFFECT THE DESIGN, REVIEW AND APPROVAL, PERMITTING, MAP APPROVAL PROCESSES. *(The City assumes No Responsibility for the Accuracy and/or Completeness thereof.)*

Preliminary Title Report		Vacation / Dedication	
Flood Zone	Zone X	Easement	
Creek Permit / Water Course		Existing Utilities / Overhead	
Land / Boundary Survey		BART	
Lot Dimension(s)		CALTRANS	
Sidewalk Clearance (i.e. 5.5 ft.)		EBMUD	
Sidewalk Curb Ramps		PG&E	
Encroachment		UPRR	
CDMG Designation		City of Oakland Ownership	
Land Stability		City of Berkley	
Street Lighting		City of Emeryville	
Traffic Circulation / Bicycle Lane		City of Piedmont	
Traffic Signal		Other	

*Additional information is provided below:

*Parcel is located in a school zone. Public Infrastructure design must comply with MUTCD standard school zone requirements.

Planning/Zoning Number	Map Number (if applicable)	DATE
PLN20153	VTTM8571	March 1, 2021

ATTACHMENT

D



CITY OF OAKLAND, Department of Transportation – Office of the City Surveyor

If the project is approved by the Advisory Agency, attach the Survey Department's "Conditions of Approval" provided below

Planning/Zoning Number(s) PLN20153				Survey Staff Contact: Negine Malboubi			
Project Address 3855 West Street				Project Description Merger + 6 Mini-Lot Subd.			
Tentative Map No. VTTM8571		No. of New Lots		No. Condominiums		<input type="checkbox"/> Mixed Use	
<input type="checkbox"/> No Map	<input type="checkbox"/> Parcel Map Waiver	<input type="checkbox"/> Merger	<input type="checkbox"/> Lot Line Adjustment LLA	No. Existing Lots LLA		No. New Lots LLA	
<u>GENERAL</u> CONDITIONS OF APPROVAL				<u>SPECIFIC PROJECT</u> CONDITIONS OF APPROVAL			
<u>FINAL PARCEL MAP/TRACT MAP</u>							
<ol style="list-style-type: none"> The final parcel map shall clearly show the process and development of the location of the boundary lines from adjoining streets and boundaries. This includes how the depth of the lot was confirmed. Depending upon this process, and at discretion of the City Surveyor, a standard city monument(s) or a private monument meeting City specifications may be required to be installed at an approved location. If the tentative map does not cite a specific Benchmark as the basis for the City of Oakland Datum, or if then as a Condition of Approval, a Standard City Benchmark shall be installed at the nearest intersection, or as directed by the City Surveyor, and the appropriate paperwork submitted to this office for approval. Additionally, a Standard City Benchmark may be required where there is an absence of benchmarks along nearest block intersections. The applicant must investigate and confirm, in writing, that no portion of the project lies with a Seismic Hazard area as shown upon the State Geologist maps (reference is made to PRC Division 2, Chapter 7.8 section 2696). If the project does lie within such an area, the appropriate certificate shall be added to the final map. A copy of this certificate is available from the City. 				<ol style="list-style-type: none"> If utilizing street splits to resolve the Right of Way, place a 3" brass disk epoxied at representative offset to block angle point locations. At the discretion of the City Surveyor, it is the responsibility of the applicant, land owner or contractor to reconstruct, rehabilitate or replace lost monumentation, as needed by the public. Such conditions are dutifully cited in Government Code 8771. A Standard City Benchmark may be required where there is an absence of benchmarks along nearest block intersections per Oakland Municipal Code Section 16.24.060. Is BM 2829 at the intersection of 39th and West destroyed? I noticed the survey used a benchmark further south of project area. If it is destroyed, this benchmark shall be replaced. Monument all NEW and EXISTING parcel lines. 			
<u>TENATIVE MAPS</u>				All Conditions Apply			
<ol style="list-style-type: none"> The tentative map is filed in conformance with Subdivision Map Act §66452 and Title 16 requirements (16.24.100 and 16.24.070) Surveyor's Statement on the map written in accordance with Section 15.04.2.223 of the Oakland Municipal Code. Elevations: Are based upon the City of Oakland Datum and must cite the City Benchmark used to establish the elevations. Note: <u>Curb return elevations are not acceptable.</u> All proposed easements/quitclaimed easements must be shown on the tentative map with corresponding instrument numbers. 							

<p><u>CONDOMINIUMS</u></p> <p>9. In any common interest developments, the HOA may be required to address the utilities, vehicular access, common areas, and parking to each unit in the Covenants, Conditions, Rules and Restrictions (CC&Rs) for this project.</p> <p>10. <i>Condo Conversion:</i></p> <ul style="list-style-type: none"> A) Requirements for Noise abatement/insulation prior to the sale of any unit. B) Requirements for CC&Rs approved by planning prior to occupancy. C) Recordation of the final map must be completed prior to the issuance of a certificate of occupancy. 	<p>N/A</p>
<p><u>ENCROACHMENTS</u></p> <p>11.No portion of any new structure shall extend beyond the boundary lines without the appropriate easement. Portions which will extend beyond the ROW line must be approved by the Right of Way Engineer.</p> <p>12.Neighboring fence encroachments $\geq 0.50'$ must be resolved by one of the following:</p> <ul style="list-style-type: none"> A)Removal B)Relocation C)Agreement/Easement with neighbor D)Showing the fence lines on parcel map submittal <p>13. Building encroachments $\geq 0.30'$ must be resolved by the following:</p> <ul style="list-style-type: none"> A)Removal B)Relocation C)Easement D)Written agreement or contract with neighbor (less desirable option) 	<p>All Conditions Apply</p>
<p><u>OTHER</u></p> <p>14.</p>	<p>N/A</p>

<u>PARCEL MAP WAIVER REQUIREMENTS</u>	N/A
<p>15. <u>Creation of a New Line:</u></p> <ul style="list-style-type: none">a) Monument new parcel lines.b) A Record of Survey, per PLS Act 8762, will be filed along with the Parcel Map Waiver memorializing the newly created parcel line.c) Said Record of Survey will also show the recordation instrument number of the Parcel Map Waiver Deed.d) A copy of all items listed below shall be sent to the Survey Department after recordation (stamped and sealed by the county):<ul style="list-style-type: none">o PMW Certificate executed and notarized by Planning Director, and the owner of the subject parcels.o PMW map at reduced sizeo Deed, stamped Legal description of the resultant parcel with an Exhibit map.	

ATTACHMENT

E



CONCEPT RENDERING #1 - VIEW AT APGAR & WEST STREETS



CONCEPT RENDERING #2 - VIEW ALONG WEST STREET



CONCEPT RENDERING #2 - VIEW ALONG APGAR STREET

PROJECT DESCRIPTION: CONSTRUCTION OF 6 NEW DWELLING UNITS ON A VACANT LOT. THE LOT WILL BE SUBDIVIDED INTO 6 MINI-LOTS WITH A 3-LEVEL SINGLE-FAMILY HOUSE ON EACH.

ZONING DISTRICT: RM-4 / C

FLOOD DESIGNATION: FIRM RATE MAP #060100596, AREA OF MINIMAL FLOOD HAZARD, ZONE X

OCCUPANCY TYPE: R-3

CONSTRUCTION TYPE: V-B

BUILDING HEIGHT: 31'-0"

SPRINKLERS: NFPA 13D

APPLICABLE CODES: 2019 CALIFORNIA BUILDING, ELECTRICAL, MECHANICAL, AND PLUMBING CODES
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING CODE

LOT COVERAGE:	EXISTING	PROPOSED
LOT SIZE:	8,356 SF	NO CHANGE
LOT COVERAGE (SF):	0 SF	4,077 SF
LOT COVERAGE (%):	0%	48.8%

BUILDING AREAS:	SALEABLE	BUILDABLE	BEDROOMS	BATHROOMS
UNIT #1:	1,602 SF	1,912 SF	3	3
UNIT #2:	1,602 SF	1,912 SF	3	3
UNIT #3:	1,638 SF	1,953 SF	3	3
UNIT #4:	1,816 SF	2,034 SF	3.5	3
UNIT #5:	1,780 SF	1,962 SF	3.5	3
UNIT #6:	1,780 SF	1,962 SF	3.5	3

DEVELOPER: 3655 WEST STREET, LLC
3655 WEST STREET, LLC
OAKLAND, CA 94608
WILL MCCLAND
(415) 523-0304 x.1

ARCHITECT: WORKSHOP1, INC.
953 MACARTHUR BLVD.
OAKLAND, CA 94611
MIKE PITLER
(415) 523-0304 x.2

LANDSCAPE ARCHITECT: WORKSHOP1, INC.
953 MACARTHUR BLVD.
OAKLAND, CA 94611
MIKE PITLER
(415) 523-0304 x.2

STRUCTURAL ENGINEER: NELLIE INGRAHAM STRUCTURAL ENGINEER
2916 TICE CREEK DRIVE #8
WALNUT CREEK, CA 94595
(510) 414-3450

SURVEYOR: BAY AREA LAND SURVEYING INC.
3065 RICHMOND PKWY. #101
RICHMOND, CA 94809
KEITH BUSH
(510) 223-5167

CIVIL ENGINEER: SANDIS 638 9TH STREET
OAKLAND, CA 94607
MICHAEL KUYKENDALL
(510) 990-3415

GEOTECHNICAL ENGINEER: ROCKRIDGE GEOTECHNICAL
4379 PIEDMONT AVENUE
OAKLAND, CA 94711
CRAIG SHIELDS
(510) 420-5736

ENERGY CONSULTANT: BREAK TECHNOLOGY
7774 CALLE MELJOR
CARLSBAD, CA 92009
WAYNE SEWARD
(760) 635-2327

GREEN BUILDING CONSULTANT: TRIPLE GREEN BUILDING GROUP
5181 VALLEY VIEW ROAD
EL SOBRANTE, CA 94803
KELLY GEARHART
(510) 241-1354

PROJECT TEAM

ARCHITECTURE

A0.1 COVER PAGE
BOUNDARY AND TOPOGRAPHIC SURVEY
WESTING TENTATIVE TRACT MAP #571

A0.2 SITE PHOTOS - ADJACENT PROPERTIES
A0.3 SITE PHOTOS - SUBJECT PROPERTY

A1.0a SITE PLAN - EXISTING CONDITIONS
A1.0b SITE PLAN - PROPOSED CONDITIONS
A1.1 SITE PLAN - 1ST (GROUND) LEVEL
A1.2 SITE PLAN - 2ND LEVEL
A1.3 SITE PLAN - 3RD LEVEL
A1.4 SITE PLAN - ROOF LEVEL

A3.0 BUILDING SECTIONS
A3.1 BUILDING ELEVATIONS UNITS #1 THRU #4 - EAST & WEST SIDES
A3.2 BUILDING ELEVATIONS UNITS #1 THRU #4 - NORTH & SOUTH SIDES
A3.3 BUILDING ELEVATIONS UNITS #5 THRU #7 - EAST & WEST SIDES
A3.4 BUILDING ELEVATIONS UNITS #5 THRU #7 - NORTH & SOUTH SIDES
A3.5a EXTERIOR MATERIALS
A3.5b MATERIAL BOARD

L1.1 LANDSCAPE - SITE PLAN & PLANTING SCHEDULE
L1.2 LANDSCAPE - CODE DIAGRAM

PROJECT INFORMATION

DRAWING SHEET INDEX



RELEASES AND REVISIONS

PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV.'S #1	12/30/20
PLANNING APP. REV.'S #2	01/29/21

PREPARED BY:

CREATION DATE: 10/07/19

SCALE: NTS

COVER PAGE

A0.1

MAP OF RESUBDIVISION OF LOTS 1 TO 14
WHITE HOUSE PLOT (18 M 48)

MAP OF THE
MAJOR GIVEN TRACT
BLOCK E (10 M 26)

MAP OF SHERIDAN TRACT
BLOCK I (19 M 82)

17

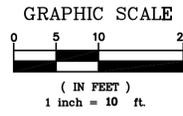
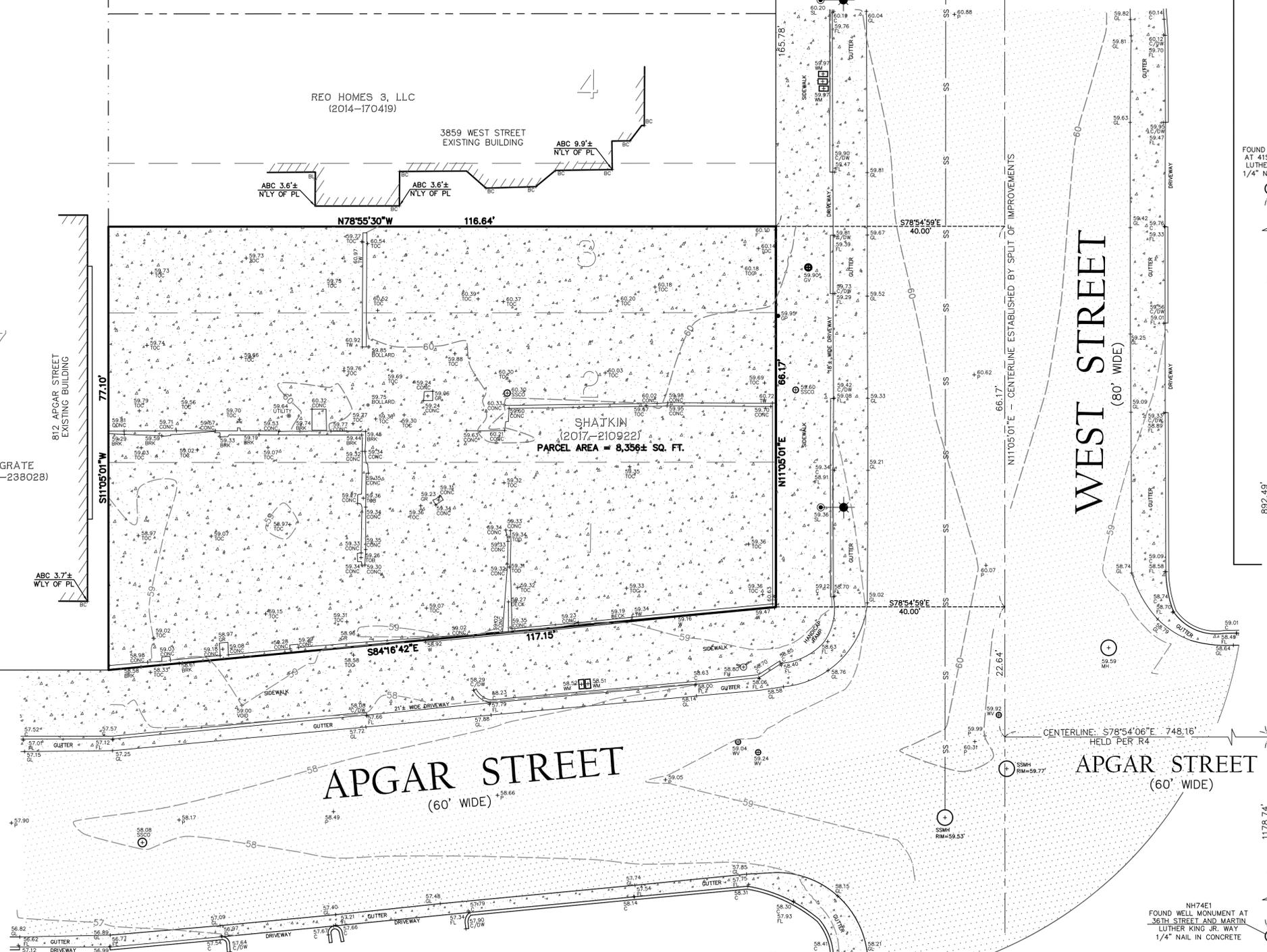
812 APGAR STREET
EXISTING BUILDING
GRATE
(88-238028)
ABC 3.7'±
WLY OF PL

REO HOMES 3, LLC
(2014-170419)

3859 WEST STREET
EXISTING BUILDING

4

SHATKIN
(2017-210922)
PARCEL AREA = 8,356± SQ. FT.



OWNER:
WORKSHOP 1
953 W. MACARTHUR BLVD.
OAKLAND CA 94608

BASIS OF BEARINGS:
N11°05'15"E BETWEEN FOUND
MONUMENTS WITHIN MARTIN LUTHER
KING JR. WAY AS SHOWN ON RECORD
OF SURVEY NO. 3232 (46 RS 37)

BENCHMARK:
CITY OF OAKLAND MONUMENT STATION: 7/B IN
MACARTHUR BOULEVARD IN FRONT OF HOUSE
NUMBER 857-859. ELEVATION = 49.460' BSED
UPON CITY OF OAKLAND DATUM.

NOTE:
THERE ARE NO VERTICAL CURVES
WITHIN 300 FEET OF THE PROPERTY.

THERE ARE NO HORIZONTAL CURVES
WITHIN 300 FEET OF THE PROPERTY.

THERE ARE NO PROTECTED TREES ON
THE PROPERTY.

THERE ARE NO EXISTING BUS STOPS
WITHIN 100 FEET OF THE PROPERTY.

THERE ARE EXISTING CROSSWALKS
WITHIN 100 FEET OF THE PROPERTY.

BASIS OF SURVEY:
THE LOT LOCATION WAS BASED UPON
THE MAP OF MAJOR GIVEN TRACT
(10 M 26) AND THE SPLIT OF
IMPROVEMENTS ESTABLISHING
THE RIGHT OF WAYS OF WEST
AND APGAR STREETS.

MAP REFERENCES:

- R1 MAP OF MAJOR GIVEN TRACT (10 M 26)
- R2 MAP OF SHERIDAN TRACT (19 M 82)
- R3 MAP OF RESUBDIVISION OF LOTS 1 TO 14 WHITE HOUSE PLOT (18 M 48)
- R4 RECORD OF SURVEY R/S NO. 3232 (46 RS 37)
- R5 CITY OF OAKLAND MONUMENT MAP NO. 285

PUBLIC ADVISORY STATEMENT:

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SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE CALIFORNIA LAND SURVEYORS ACT AT THE REQUEST OF JACKIE ERBE ON MARCH 4, 2020.

I HEREBY STATE THAT ALL EXISTING GRADES AND CONTOURS ARE BASED UPON CITY OF OAKLAND DATUM. I HEREBY FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND ORDINANCES HAVE BEEN FULLY SATISFIED.

I FURTHER STATE THAT THE PARCEL DESIGNATED BY MY SURVEY AND SHOWN ON THIS MAP IS THE SAME AS DESCRIBED IN THAT CERTAIN DEED RECORDED SEPTEMBER 26, 2017 AS DOCUMENT NUMBER 2017-210922, IN THE OFFICE OF THE ALAMEDA COUNTY RECORDER, AND IDENTIFIED ON THE CURRENT EQUALIZED ASSESSMENT ROLL OF THE ALAMEDA COUNTY ASSESSOR AS PARCEL NO. 012-0960-017.

I HEREBY FURTHER STATE THAT IN ACCORDANCE WITH THE PROFESSIONAL LAND SURVEYORS ACT, THE PERFORMANCE OF THIS SURVEY REQUIRES THAT A RECORD BE FILED AND I WILL FILE A RECORD WITHIN THE TIME LIMITS PRESCRIBED BY STATE LAW. ONCE FILED BY THE COUNTY SURVEYOR IN OFFICIAL RECORDS I WILL PROVIDE A COPY TO THE CITY SURVEYORS' OFFICE.

I HEREBY ACKNOWLEDGE THAT THIS SURVEY SHALL BE A PUBLIC RECORD AND MAY BE AVAILABLE FOR INSPECTION AND DISTRIBUTION TO THE GENERAL PUBLIC.



Keith S. Bush
KEITH S. BUSH, L.S. 8494
DATE: 8/28/2020

**BOUNDARY &
TOPOGRAPHIC SURVEY**

THAT REAL PROPERTY DESCRIBED IN THAT CERTAIN
DEED RECORDED SEPTEMBER 26, 2017 AS
DOCUMENT NUMBER (2017-210922); ALSO BEING
LOTS 1 & 2 AND A PORTION OF LOT 3, BLOCK E,
MAP OF MAJOR GIVEN TRACT, (10 M 26)
CITY OF OAKLAND, ALAMEDA COUNTY,
STATE OF CALIFORNIA
AUGUST, 2020 SCALE 1" = 10'
BAY AREA LAND SURVEYING INC.

3065 RICHMOND PARKWAY, SUITE 101
RICHMOND, CA 94806
(510) 223-5167

MAP OF RESUBDIVISION OF LOTS 1 TO 14
WHITE HOUSE PLOT (18 M 48)

MAP OF THE
MAJOR GIVEN TRACT
BLOCK E (10 M 26)

MAP OF SHERIDAN TRACT
BLOCK I (19 M 82)

LOT AREA:
 LOT 1: 1,390± SQ. FT.
 LOT 2: 1,156± SQ. FT.
 LOT 3: 1,472± SQ. FT.
 LOT 4: 1,616± SQ. FT.
 LOT 5: 1,244± SQ. FT.
 LOT 6: 1,477± SQ. FT.
 TOTAL AREA: 8,356± SQ. FT.

GRAPHIC SCALE
 0 5 10 20
 (IN FEET)
 1 inch = 10 ft.

OWNER/SUBDIVIDER:
 WORKSHOP 1
 953 W. MACARTHUR BLVD.
 OAKLAND CA 94608

BASIS OF BEARINGS:
 N11°05'15"E BETWEEN FOUND
 MONUMENTS WITHIN MARTIN LUTHER
 KING JR. WAY AS SHOWN ON RECORD
 OF SURVEY NO. 3232 (46 RS 37)

BENCHMARK:
 CITY OF OAKLAND MONUMENT STATION: 7/8 IN
 MACARTHUR BOULEVARD IN FRONT OF HOUSE
 NUMBER 857-859. ELEVATION = 49.460' BSED
 UPON CITY OF OAKLAND DATUM.

NOTE:
 THERE ARE NO VERTICAL CURVES
 WITHIN 300 FEET OF THE PROPERTY.

THERE ARE NO HORIZONTAL CURVES
 WITHIN 300 FEET OF THE PROPERTY.

THERE ARE NO PROTECTED TREES
 ON THE PROPERTY.

THERE ARE NO EXISTING BUS STOPS
 WITHIN 100 FEET OF THE PROPERTY.

THERE ARE EXISTING CROSSWALKS
 WITHIN 100 FEET OF THE PROPERTY.

ALL HISTORIC LOT LINES WITHIN THE
 SUBJECT PARCEL BOUNDARY TO BE
 REMOVED BY THIS SUBDIVISION.

EXISTING FLAT WORK WITHIN THE
 SUBJECT PARCEL TO BE REMOVED.
 REFER TO ARCHITECTURAL PLANS
 FOR ADDITIONAL SITE DETAILS.

REFER TO ARCHITECTURAL PLANS
 FOR ADDITIONAL DETAILS

---	ADJACENT PARCEL/LOT LINE
---	CENTERLINE
---	EASEMENT LINE
---	HISTORIC PARCEL/LOT LINE
---	MONUMENT LINE
---	SUBJECT PROPERTY
---	PROPOSED MINI-LOT LINE
---	TIE LINE
---	TRACT DIVIDING LINE

BASIS OF SURVEY:
 THE LOT LOCATION WAS BASED UPON
 THE MAP OF MAJOR GIVEN TRACT
 (10 M 26) AND THE SPLIT OF
 IMPROVEMENTS ESTABLISHING
 THE RIGHT OF WAYS OF WEST
 AND APGAR STREETS.

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Keith S. Bush
 KEITH S. BUSH, L.S. 8494
 DATE: 1/27/21

REVI: 01/27/21
 REVISED NUMBER & LOT CONFIGURATIONS

**VESTING
 TENTATIVE
 TRACT MAP 8571**

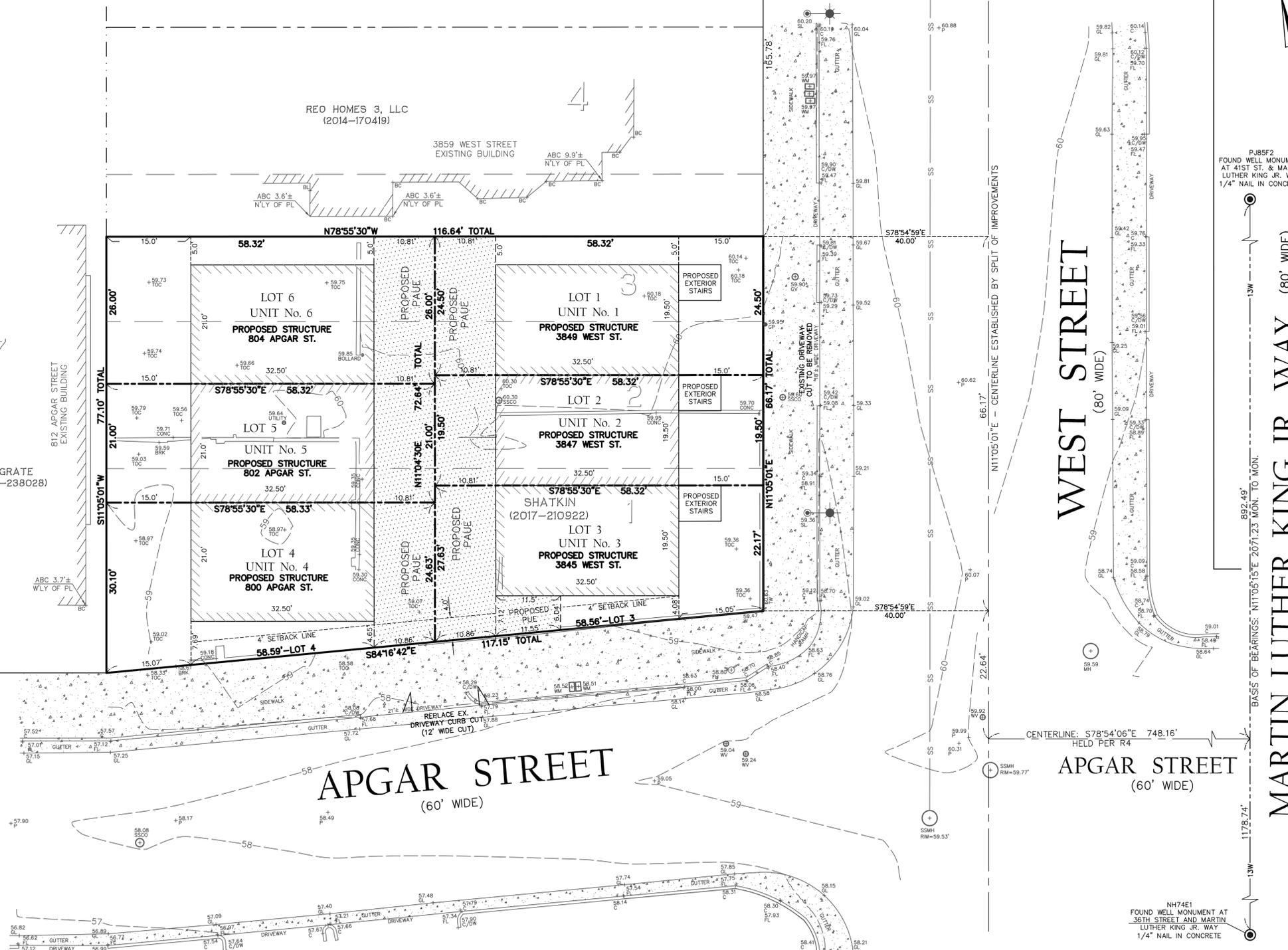
A 6 MINI LOT SUBDIVISION

BEING A MERGER AND RESUBDIVISION OF
 LOTS 1 & 2 AND A PORTION OF LOT 3, BLOCK E,
 MAP OF MAJOR GIVEN TRACT, (10 M 26)
 CITY OF OAKLAND, ALAMEDA COUNTY,
 STATE OF CALIFORNIA

JANUARY, 2021 SCALE 1" = 10'

BAY AREA LAND SURVEYING INC.

3065 RICHMOND PARKWAY, SUITE 101
 RICHMOND, CA 94806
 (510) 223-5167



PJ85F2
 FOUND WELL MONUMENT
 AT 41ST ST & MARTIN
 LUTHER KING JR. WAY
 1/4" NAIL IN CONCRETE

BASIS OF BEARINGS: N11°05'15"E 2071.23 MON. TO MON.
 892.49'

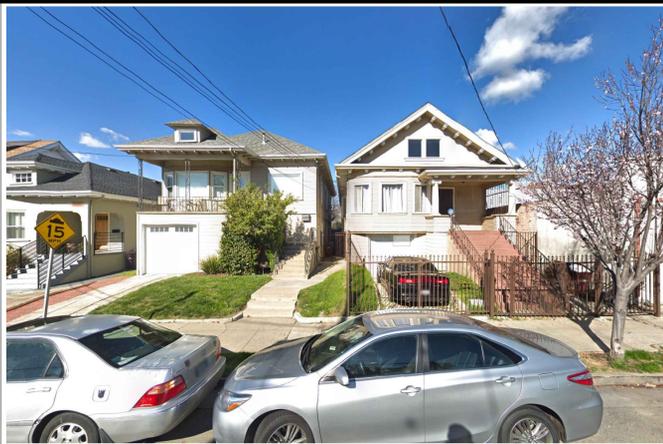
NH74E1
 FOUND WELL MONUMENT AT
 36TH STREET AND MARTIN
 LUTHER KING JR. WAY
 1/4" NAIL IN CONCRETE



① 3877 LUSK ST.



② 822 APGAR ST. ③ 820 APGAR ST.



④ 816 APGAR ST. ⑤ 812 APGAR ST.



⑥ 3859 WEST ST. ⑦ 3863 WEST ST.



⑧ 3867 WEST ST. ⑨ 3869 WEST ST. ⑩ 3873 WEST ST.



⑪ 3858 WEST ST. ⑫ 3866 WEST ST.



⑬ 3860 WEST ST. ⑭ 3856 WEST ST.



⑮ 3852 WEST ST.



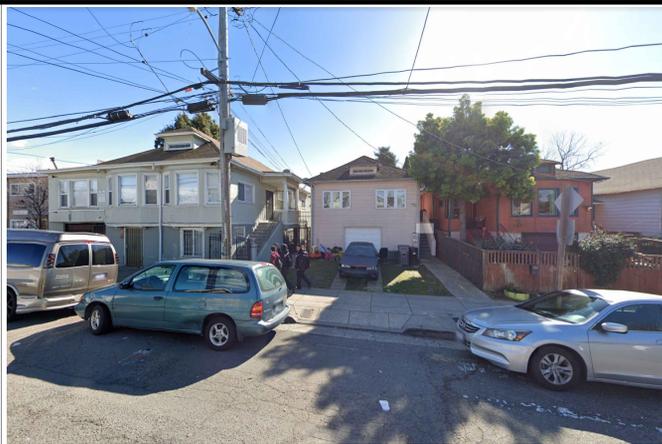
⑯ 733 APGAR ST.



⑰ 3839 WEST ST.



⑱ 805 APGAR ST.



⑲ 813 APGAR ST. ⑳ 821 APGAR ST. ㉑ 823 APGAR ST.



AERIAL SITE PHOTO



RELEASES AND REVISIONS	
PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV. 'S #1	12/30/20
PLANNING APP. REV. 'S #2	01/29/21

PREPARED BY:	
CREATION DATE:	10/07/19
SCALE:	NTS

SITE PHOTOS - ADJACENT PROPERTIES



① SUBJECT PROPERTY PHOTO



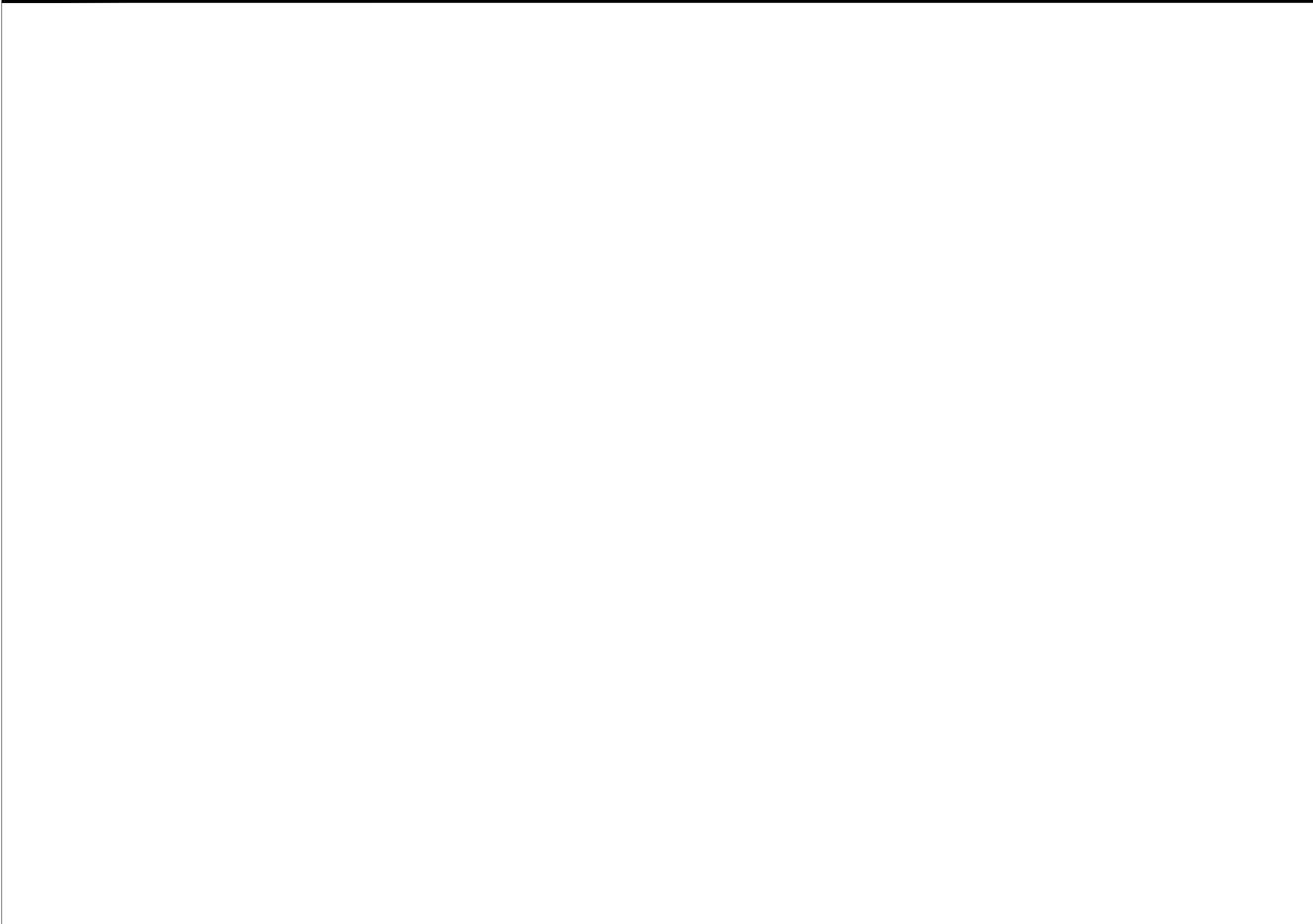
② SUBJECT PROPERTY PHOTO



③ SUBJECT PROPERTY PHOTO



④ SUBJECT PROPERTY PHOTO



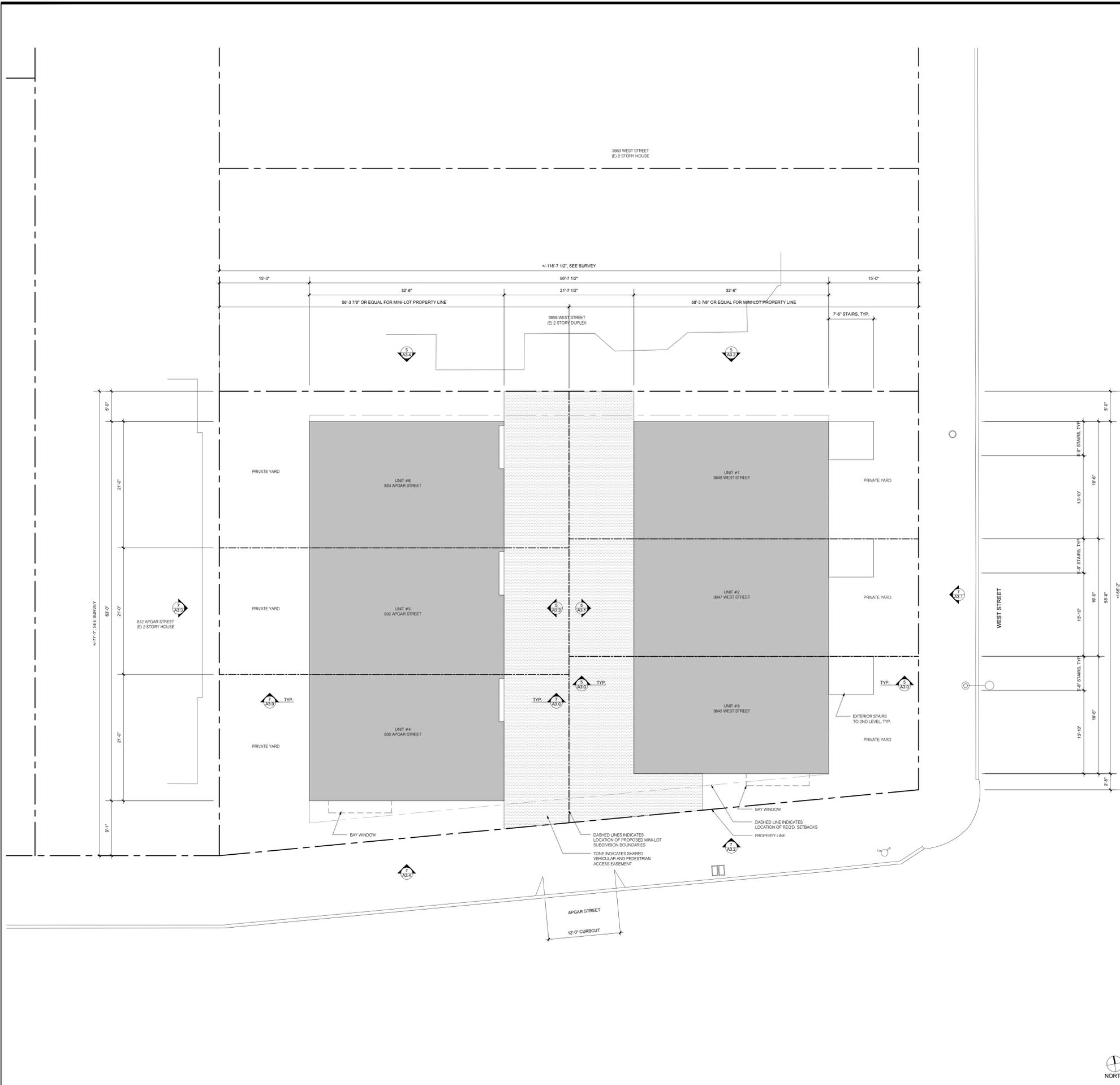
AERIAL SITE PHOTO



RELEASES AND REVISIONS	
PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV.'S #1	12/30/20
PLANNING APP. REV.'S #2	01/29/21

PREPARED BY:
CREATION DATE: 10/07/19
SCALE: NTS

SITE PHOTOS -
SUBJECT
PROPERTY



MECHANICAL GENERAL NOTES

M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3" MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.

M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.

M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6" DUCT.

M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.

M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.

ELECTRICAL GENERAL NOTES

E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.

E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 4" A.F.F. INSTALL OUTLETS TO HAVE TOP OF COVERPLATE AT 18" A.F.F. U.O.N. DRAWINGS SHOW APPROXIMATE LOCATIONS BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITIES AND THOSE REQUIRED BY APPLIANCES AND OTHER MEP SYSTEMS, NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.

E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.

E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E6. OUTLETS SHALL BE WITHIN 6" OF ANY OPENING AND NOT EXCEED 12" APART. ANY ISOLATED WALL 2" OR WIDER SHALL HAVE OUTLETS. AT KITCHEN COUNTER, GFCI OUTLETS SHALL BE WITHIN 2' OF EDGE OF ALL COUNTERTOPS, SINKS, STOVES, ETC. AND ARE NOT TO EXCEED 4' APART. GFCI OUTLETS ARE REQUIRED AT ALL KITCHEN ISLANDS AND PENINSULAS AND WITHIN 6' RADIUS OF SINK.

E7. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.

E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:

- a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICIENCY IN ACCORDANCE WITH TABLE 150.0-A
- b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

E9. ALL NEW 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS. SEC 210.12(A)

E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6" OF THE KITCHEN SINK SHALL BE GFCI PROTECTED PER SEC 210.8

E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.

E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY," THAT IS WEATHER PROOF WHETHER OR NOT THE PLUG IS INSERTED PER SEC 406.9(B)

E13. FOR EV CAR CHARGING, INSTALL 1" MIN. CONDUIT W/ A DEDICATED 208/240-VOLT BRANCH CIRCUIT TO ORIGINATE FROM THE SUBPANEL AND TERMINATE IN A LISTED J-BOX. THE CIRCUIT SHALL ACCOMMODATE UP TO A 40-AMP RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SUBPANEL SHALL IDENTIFY THIS CIRCUIT AND TERMINATION J-BOX AS "EV CAPABLE"

E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

PLUMBING GENERAL NOTES

P1. PROVIDE GAS BIBS FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.

P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CGSB 4.303.1 REQUIREMENTS:

- a) WATER CLOSETS: <1.28 GALLONS/FLUSH
- b) SINGLE SHOWERHEADS: <2.0 GPM @ 80 PSI
- c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME
- d) RESIDENTIAL LABORATORY FAUCETS: <1.2 GPM @ 90 PSI
- e) KITCHEN FAUCETS: <1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM

P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.

P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6 BRITAIN, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED PER CBS 110.307.

P5. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER SEC SECTION 150.9(d)(2)(ii). ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER SEC SECTION 150.9

P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES PER CPC 701.12(X).

GENERAL NOTES

G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.

G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.

G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUESTIONS WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.

G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 20" WIDE, 24" TALL AND 5.7 SQUARE FEET W/ A SILL HEIGHT NO HIGHER THAN 44" ABOVE FINISHED FLOOR. THE NET CLR. OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING AND REQUIRE NO SPECIAL KNOWLEDGE OR TOOLS.

G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.

G7. HANDRAILS TO BE 1 1/2" SQ. WOOD W/ METAL BRACKET @ 1-1/2" MIN. FROM WALL & 36" ABOVE STAIR NOSING. SEE PLANS & DETAILS.

GENERAL NOTES

LANDSCAPING GENERAL NOTES

1. PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIA NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.
2. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.
3. ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.
4. ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.
5. LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.
6. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS/PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.
7. ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4x4 P.T. POSTS AT APPROX. 6' O.C. SPACING AND GLAD WITH HORIZ. 1x8 ROUGH HEWN REDWOOD FENCING BOARDS W/ 1" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.
8. TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.
9. ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIR MULCH.
10. COMPOST WILL BE INCORPORATED INTO THE TOP 6" OF THE PLANTED AREAS AT A RATE OF 4 CY PER 1,000 SQ. FT. OF LANDSCAPING.

IRRIGATION NOTES:

1. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.
2. POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.
3. IRRIGATION CONTROLLER: RAIN BIRD SSTR6000UT 6-STATION OUTDOOR SST IRRIGATION TIMER WITH RSD RAIN SENSOR OR EQUIVALENT.
4. IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER, RAIN BIRD 34" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.
5. IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES

RELEASERS AND REVISIONS

PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV.'S #1	12/30/20
PLANNING APP. REV.'S #2	01/29/21

PREPARED BY: _____

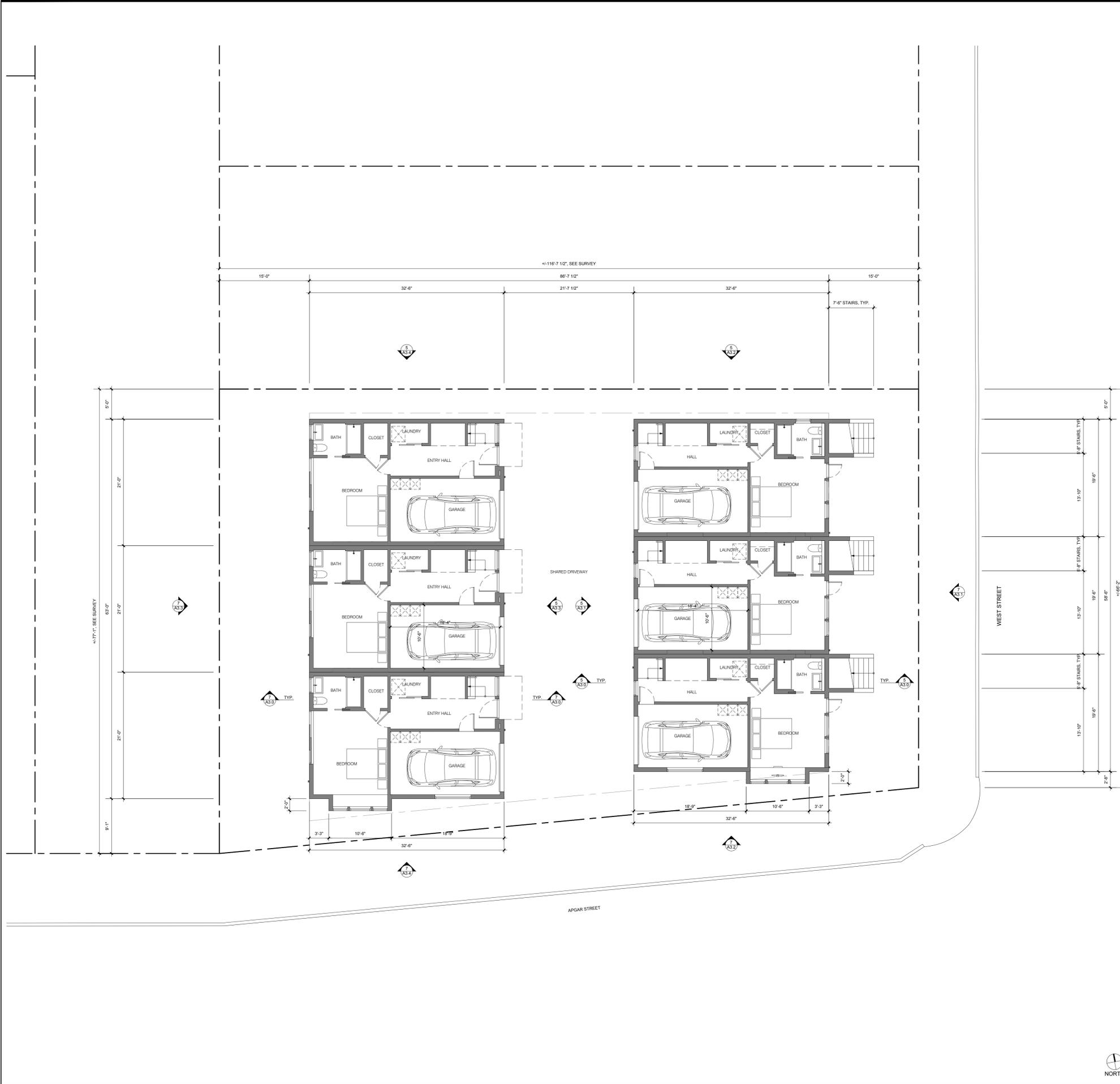
CREATION DATE: 03/04/20

SCALE: 1/8" = 1'-0"

SITE PLAN - PROPOSED CONDITIONS

A1.0b

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MECHANICAL GENERAL NOTES

M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3" MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.

M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.

M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6" DUCT.

M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.

M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.

ELECTRICAL GENERAL NOTES

E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.

E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 4" A.F.F. INSTALL OUTLETS TO HAVE TOP OF COVERPLATE AT 18" A.F.F. U.O.N. DRAWINGS SHOW APPROXIMATE LOCATIONS BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITIES AND THOSE REQUIRED BY APPLIANCES AND OTHER MEP SYSTEMS, NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.

E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.

E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E6. OUTLETS SHALL BE WITHIN 6" OF ANY OPENING AND NOT EXCEED 12" APART. ANY ISOLATED WALL 2" OR WIDER SHALL HAVE OUTLETS. AT KITCHEN COUNTER, GFCI OUTLETS SHALL BE WITHIN 2' OF EDGE OF ALL COUNTERS, SINKS, STOVES, ETC. AND ARE NOT TO EXCEED 4' APART. GFCI OUTLETS ARE REQUIRED AT ALL KITCHEN ISLANDS AND PENINSULAS AND WITHIN 6' RADIUS OF SINK.

E7. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.

E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:

- a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0.A
- b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

E9. ALL NEW 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS. SEC 210.12(A)

E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6" OF THE KITCHEN SINK SHALL BE GFCI PROTECTED PER SEC 210.8

E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.

E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY", THAT IS WEATHER PROOF WHETHER OR NOT THE PLUG IS INSERTED PER SEC 408.6(B)

E13. FOR EV CAR CHARGING, INSTALL 1" MIN. CONDUIT W/ A DEDICATED 208/240-VOLT BRANCH CIRCUIT TO ORIGINATE FROM THE SUBPANEL AND TERMINATE IN A LISTED J-BOX. THE CIRCUIT SHALL ACCOMMODATE UP TO A 40-AMP RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SUBPANEL SHALL IDENTIFY THIS CIRCUIT AND TERMINATION J-BOX AS "EV CAPABLE"

E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

PLUMBING GENERAL NOTES

P1. PROVIDE GAS BIBS FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.

P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CDBG 4.303.1 REQUIREMENTS:

- a) WATER CLOSETS: <1.28 GALLONS/FLUSH
- b) SINGLE SHOWERHEADS: <2.0 GPM @ 80 PSI
- c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
- d) RESIDENTIAL LABORATORY FAUCETS: <1.2 GPM @ 90 PSI
- e) KITCHEN FAUCETS: <1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM

P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.

P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6.8BTU/H, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED. CRIES 110.3C(7).

P5. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.9(d)(2)(ii). ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CEC SECTION 150.9

P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES PER CPC 701.1(2)(a).

GENERAL NOTES

G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTORS AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.

G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.

G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUESTIONS WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.

G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 20" WIDE, 24" TALL AND 5.7 SQUARE FEET W/ A SILL HEIGHT NO HIGHER THAN 44" ABOVE FINISHED FLOOR. THE NET CLR. OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING AND REQUIRES NO SPECIAL KNOWLEDGE OR TOOLS.

G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.

G7. HANDRAILS TO BE 1 1/2" SQ. WOOD W/ METAL BRACKET @ 1-1/2" MIN. FROM WALL & 36" ABOVE STAIR NOSING. SEE PLANS & DETAILS.

GENERAL NOTES

LANDSCAPING GENERAL NOTES

- PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIA NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.
- ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGN AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.
- ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.
- ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.
- LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.
- IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS/PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.
- ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4x4 P.T. POSTS AT APPROX. 6' O.C. SPACING AND GLAD WITH HORIZ. 1x8 ROUGH-Hewn REDWOOD FENCING BOARDS W/ 1" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.
- TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.
- ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIR MULCH.
- COMPOST WILL BE INCORPORATED INTO THE TOP 6" OF THE PLANTED AREAS AT A RATE OF 4 CY PER 1,000 SF OF LANDSCAPING.

IRRIGATION NOTES:

- ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.
- POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.
- IRRIGATION CONTROLLER: RAIN BIRD SSTR6000UT 6-STATION OUTDOOR SST IRRIGATION TIMER WITH RSD RAIN SENSOR OR EQUIVALENT.
- IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER: RAIN BIRD 3/4" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.
- IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES

KEYED NOTES

PREPARED BY: _____

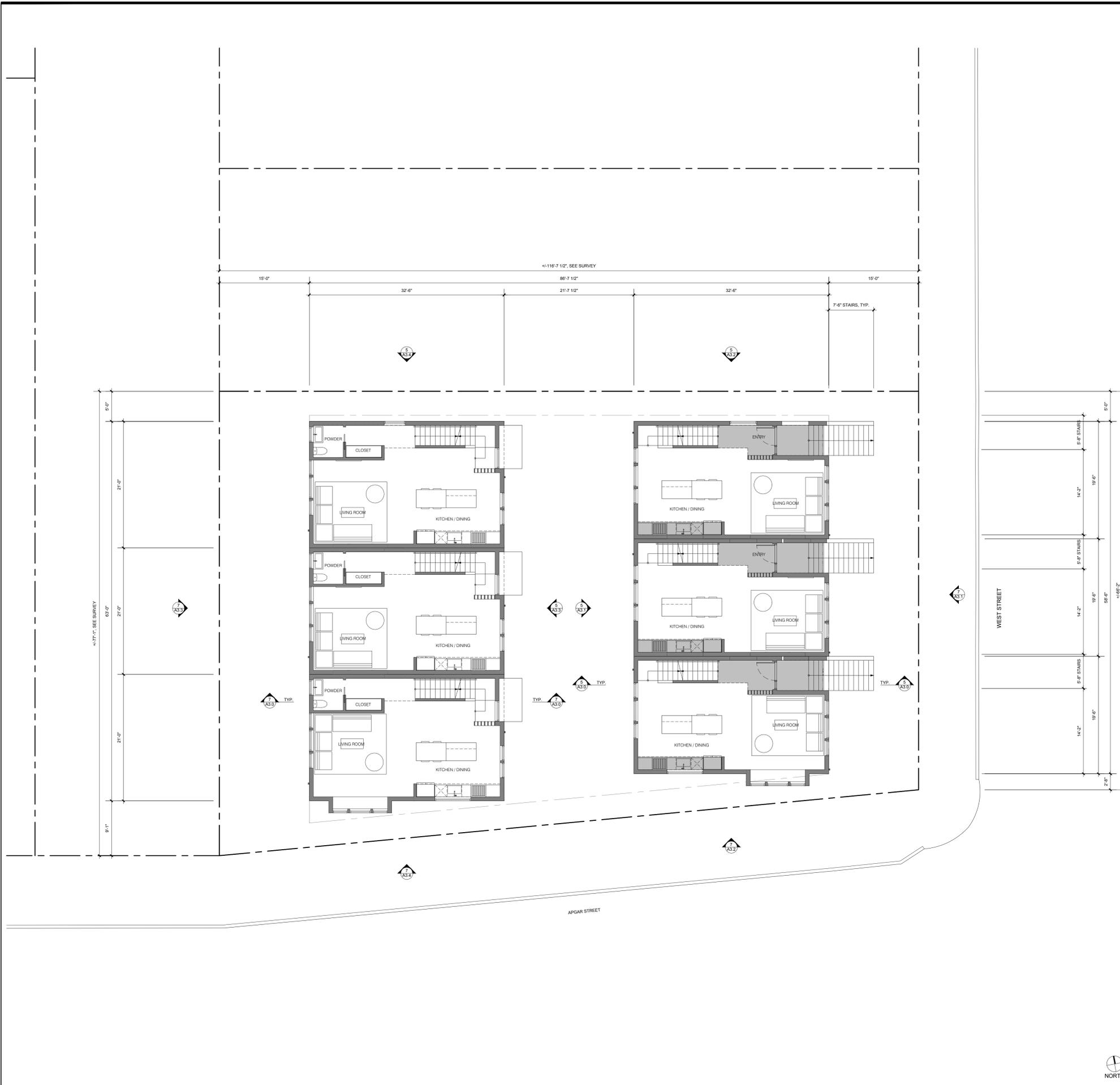
CREATION DATE: 03/04/20

SCALE: 1/8" = 1'-0"

SITE PLAN - 1ST (GROUND) LEVEL

A1.1

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SITE PLAN - 2ND LEVEL

5/A1.2

- MECHANICAL GENERAL NOTES**
- M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3" MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.
 - M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.
 - M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6" DUCT.
 - M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.
 - M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.
- ELECTRICAL GENERAL NOTES**
- E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.
 - E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 4" A.F.F. INSTALL OUTLETS TO HAVE TOP OF COVERPLATE AT 18" A.F.F. U.O.N. DRAWINGS SHOW APPROXIMATE LOCATIONS BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.
 - E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITIES AND THOSE REQUIRED BY APPLIANCES AND OTHER MEP SYSTEMS, NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.
 - E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.
 - E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.
 - E6. OUTLETS SHALL BE WITHIN 6" OF ANY OPENING AND NOT EXCEED 12" APART. ANY ISOLATED WALL 2" OR WIDER SHALL HAVE OUTLETS. AT KITCHEN COUNTER, GFCI OUTLETS SHALL BE WITHIN 2' OF EDGE OF ALL COUNTERS, SINKS, STOVES, ETC. AND ARE NOT TO EXCEED 4' APART. GFCI OUTLETS ARE REQUIRED AT ALL KITCHEN ISLANDS AND PENINSULAS AND WITHIN 6" RADIUS OF SINK.
 - E7. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.
 - E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:
 - a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0.A
 - b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
 - c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
 - E9. ALL NEW 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTIONS OF THE BRANCH CIRCUITS. SEC 210.12(A)
 - E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6" OF THE KITCHEN SINK SHALL BE GFCI PROTECTED PER SEC 210.8
 - E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.
 - E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY," THAT IS WEATHER PROOF WHETHER OR NOT THE PLUG IS INSERTED PER SEC 406.8(B)
 - E13. FOR EV CAR CHARGING, INSTALL 1" MIN. CONDUIT W/ A DEDICATED 208/240-VOLT BRANCH CIRCUIT TO ORIGINATE FROM THE SUBPANEL AND TERMINATE IN A LISTED J-BOX. THE CIRCUIT SHALL ACCOMMODATE UP TO A 40-AMP RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SUBPANEL SHALL IDENTIFY THIS CIRCUIT AND TERMINATION J-BOX AS "EV CAPABLE"
 - E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
- PLUMBING GENERAL NOTES**
- P1. PROVIDE GAS BBS FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.
 - P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CDBG 4.303.1 REQUIREMENTS:
 - a) WATER CLOSETS: <1.28 GALLONS/FLUSH
 - b) SINGLE SHOWERHEADS: <2.0 GPM @ 80 PSI
 - c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
 - d) RESIDENTIAL LABORATORY FAUCETS: <1.2 GPM @ 90 PSI
 - e) KITCHEN FAUCETS: <1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM
 - P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.
 - P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6,800 BTU, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED PER CIES 110.307.
 - P5. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.90(2)(B). ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CEC SECTION 150.9
 - P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES PER CPC 701.12(X).
- GENERAL NOTES**
- G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTORS AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
 - G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.
 - G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.
 - G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUESTIONS WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.
 - G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 20" WIDE, 24" TALL AND 5.7 SQUARE FEET W/ A SILL HEIGHT NO HIGHER THAN 44" ABOVE FINISHED FLOOR. THE NET CLR. OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING AND REQUIRE NO SPECIAL KNOWLEDGE OR TOOLS.
 - G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.
 - G7. HANDRAILS TO BE 1 1/2" SQ. WOOD W/ METAL BRACKET @ 1-1/2" MIN. FROM WALL & 36" ABOVE STAIR NOSING. SEE PLANS & DETAILS.

GENERAL NOTES

- LANDSCAPING GENERAL NOTES**
1. PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIA NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.
 2. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGN AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.
 3. ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.
 4. ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.
 5. LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.
 6. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS/PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.
 7. ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4x4 P.T. POSTS AT APPROX. 6' O.C. SPACING AND GLAD WITH HORIZ. 1x8 ROUGH HEAVY REDWOOD FENCING BOARDS W/ 1" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.
 8. TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.
 9. ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIR MULCH.
 10. COMPOST WILL BE INCORPORATED INTO THE TOP 6" OF THE PLANTED AREAS AT A RATE OF 4 CY PER 1,000 SF OF LANDSCAPING.
- IRRIGATION NOTES:**
1. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.
 2. POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.
 3. IRRIGATION CONTROLLER: RAIN BIRD S5T8600OUT 6-STATION OUTDOOR SST IRRIGATION TIMER WITH RSD RAIN SENSOR OR EQUIVALENT.
 4. IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER: RAIN BIRD 34" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.
 5. IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES



KEYED NOTES



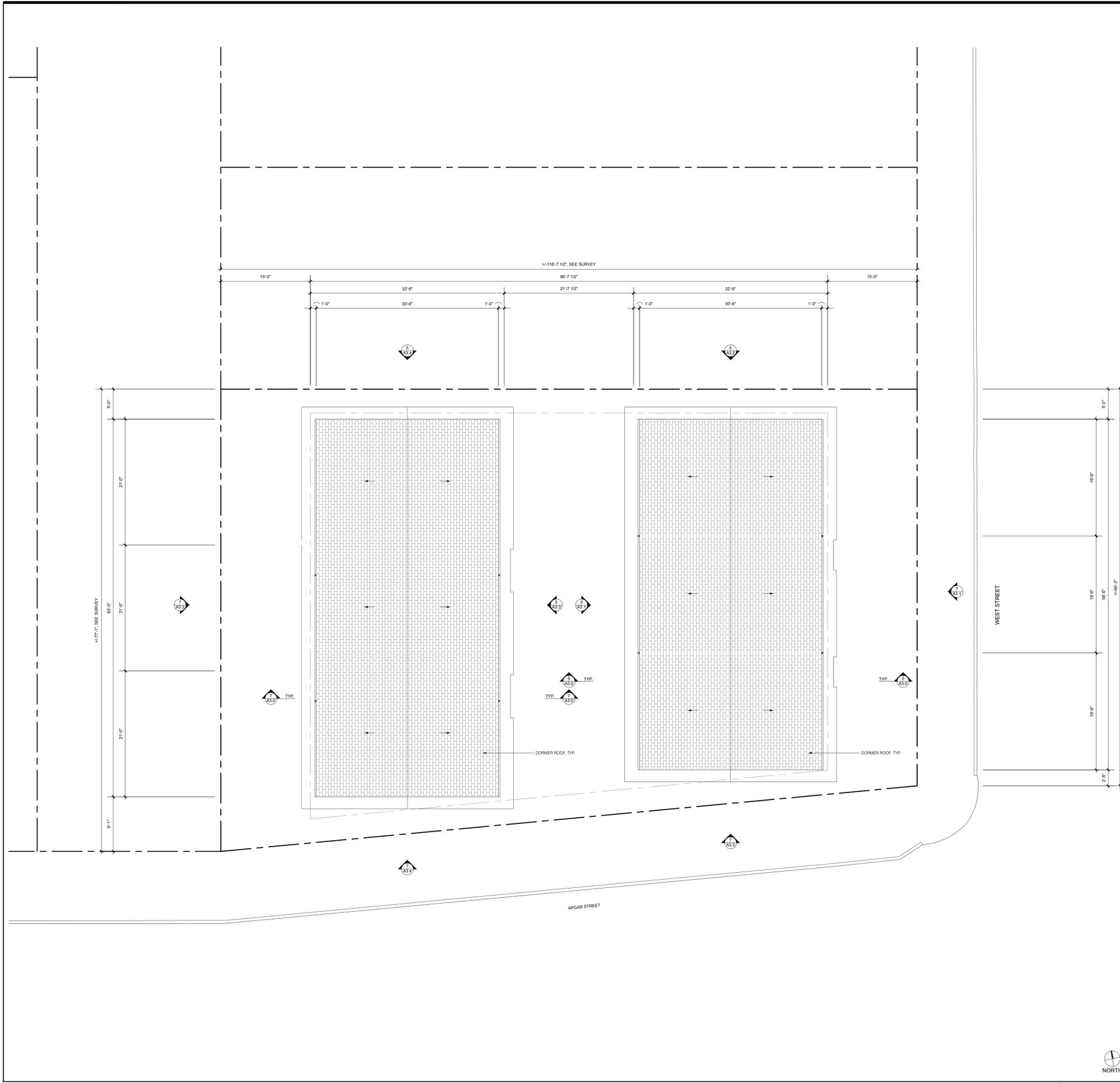
RELEASES AND REVISIONS

PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV.'S #1	12/30/20
PLANNING APP. REV.'S #2	01/29/21

PREPARED BY:
CREATION DATE: 03/04/20
SCALE: 1/8" = 1'-0"

SITE PLAN - 2ND LEVEL

A1.2



MECHANICAL GENERAL NOTES

M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3' MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.

M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.

M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6" DUCT.

M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.

M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.

ELECTRICAL GENERAL NOTES

E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.

E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 44" A.F.F. INSTALL OUTLETS TO HAVE TOP OF COVERPLATE AT 18" A.F.F. U.O.N. DRAWINGS SHOW APPROXIMATE LOCATIONS BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITY LOCATIONS AND THOSE REQUIRED BY APPLIANCES AND OTHER MEP SYSTEMS, NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.

E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.

E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E6. OUTLETS SHALL BE WITHIN 6" OF ANY OPENING AND NOT EXCEED 12" APART. ANY ISOLATED WALL 2" OR WIDER SHALL HAVE OUTLETS. AT KITCHEN COUNTER, GFCI OUTLETS SHALL BE WITHIN 2' OF EDGE OF ALL COUNTERS, SINKS, STOVES, ETC. AND ARE NOT TO EXCEED 4' APART. GFCI OUTLETS ARE REQUIRED AT ALL KITCHEN ISLANDS AND PENINSULAS AND WITHIN 6' RADIUS OF SINK.

E7. LUMINAIRES RECESSED INTO INSULATED CEILING SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.

E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:

- a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0.A
- b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

E9. ALL NEW 120 VOLT SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED AFCI-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTIONS OF THE BRANCH CIRCUITS. CEC 210.12(A)

E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6' OF THE KITCHEN SINK SHALL BE GFCI PROTECTED PER CEC 408.8.

E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.

E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY", THAT IS WEATHER PROOF, WHETHER OR NOT THE PLUG IS INSERTED PER CEC 408.9(B).

E13. FOR EV CAR CHARGING, INSTALL 1" MIN. CONDUIT W/ A DEDICATED 208/240-VOLT BRANCH CIRCUIT TO ORIGINATE FROM THE SUBPANEL AND TERMINATE IN A LISTED J-BOX. THE CIRCUIT SHALL ACCOMMODATE UP TO A 40-AMP RESERVE TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SUBPANEL SHALL IDENTIFY THIS CIRCUIT AND TERMINATION J-BOX, AS "EV CAPABLE".

E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

PLUMBING GENERAL NOTES

P1. PROVIDE GAS BIBS FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.

P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CGSB 4.303.1 REQUIREMENTS:

- a) WATER CLOSETS - 1.28 GPM @ 80 PSI
- b) SINGLE SHOWERHEADS - 2.0 GPM @ 80 PSI
- c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.2 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
- d) RESIDENTIAL LAVATORY/TOILET FAUCETS - 1.2 GPM @ 80 PSI
- e) KITCHEN FAUCETS - 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM

P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.

P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6 BTU/H, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED PER CSES 110.3C(7).

P5. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.0(J)(2)(iii). ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CEC SECTION 150.0.

P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORES PER CPC 701.1(2)(a).

GENERAL NOTES

G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THE REQUIREMENT SHALL BE MADE TO APPLY TO CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.

G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.

G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUESTIONS WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.

G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 30" WIDE, 24" TALL AND 5.7 SQUARE FEET W/ A SILL HEIGHT NO HIGHER THAN 44" ABOVE FINISHED FLOOR. THE NET CLR. OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING AND REQUIRE NO SPECIAL KNOWLEDGE OR TOOLS.

G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.

G7. HANDRAILS TO BE 1 1/2" SQ. WOOD W/ METAL BRACKET @ 1-1/2" MIN. FROM WALL & 36" ABOVE STAIR NOSING. SEE PLANS & DETAILS.

GENERAL NOTES

LANDSCAPING GENERAL NOTES

1. PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIA NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIES REQUIREMENTS.

2. ALL PLANTS WILL BE WATERED BY A HIGH EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY A LICENSED LANDSCAPED CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.

3. ALL GRAVEL AND MULCH SHALL BE DESIGN-BUILT AND SELECTED BY OWNER DURING CONSTRUCTION.

4. ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.

5. LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.

6. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.

7. ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4X4 P.T. POSTS AT APPROX. 8' O.C. SPACING AND CLAD WITH HORIZ. 1X8 ROUGH-HEWN REDWOOD FENCING BOARDS W/ 1"8" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.

8. TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE IN ABOVE.

9. ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIRM MULCH.

10. COMPOST WILL BE INCORPORATED INTO THE TOP 6" OF THE PLANTED AREAS AT A RATE OF 4 CY PER 1,000 SF OF LANDSCAPING.

IRRIGATION NOTES:

1. ALL PLANTS WILL BE WATERED BY A HIGH EFFICIENCY DRIP IRRIGATION SYSTEM.

2. POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.

3. IRRIGATION CONTROLLER: RAIN BIRD SST6000UT 6-STATION OUTDOOR SST IRRIGATION TRIP WITH RSD RAIN SENSOR OR EQUIVALENT.

4. IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER, RAIN BIRD 3/4" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.

5. IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES

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KEYED NOTES



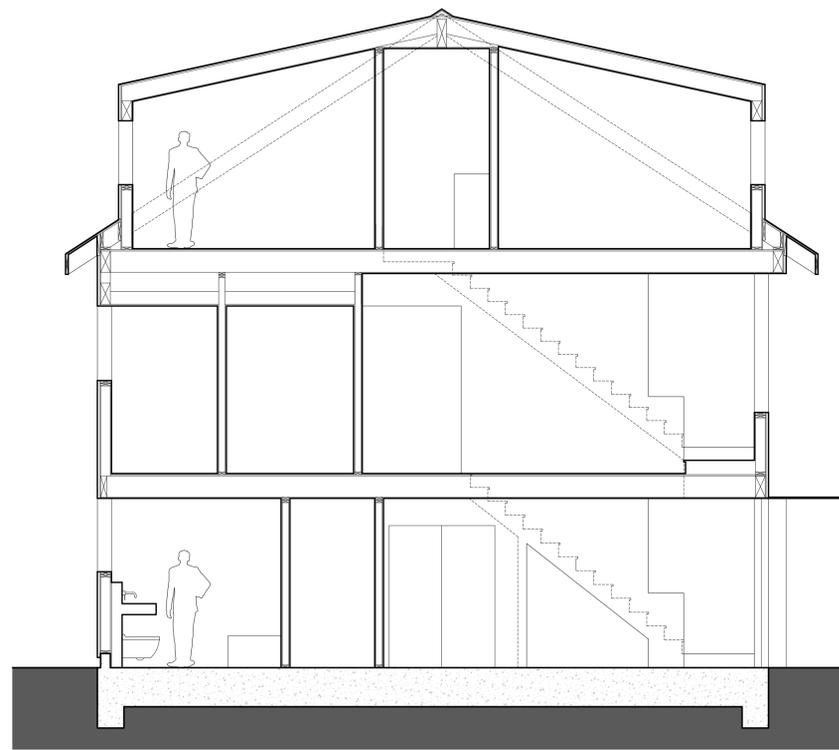
RELEASES AND REVISIONS

PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV. S #1	12/30/20
PLANNING APP. REV. S #2	01/28/21

PREPARED BY:
CREATION DATE: 03/04/20
SCALE: 1/8" = 1'-0"

SITE PLAN - ROOF LEVEL

A1.4



T.O. ROOF RIDGE
UNDERSIDE OF RIDGE BEAM
DORMER TOP PLATE
3RD LEVEL SUBFL.
2ND LEVEL SUBFL.
1ST LEVEL CONC.
11'-4 1/2"
2'-0"
7'-0"
10'-0 3/4"
9'-0"
8'-0"
9'-0 3/4"
31'-0" BUILDING HEIGHT

MECHANICAL GENERAL NOTES
M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3" MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.
M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.
M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6" DUCT.
M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.
M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.

ELECTRICAL GENERAL NOTES
E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.
E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 4" A.F.F. INSTALL OUTLETS TO HAVE TOP OF COVERPLATE AT 18" A.F.F. U.O.N. DRAWINGS SHOW APPROXIMATE LOCATIONS BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.
E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITIES LOCATIONS AND THOSE REQUIRED BY APPLIANCES AND OTHER MEP SYSTEMS, NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.
E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.
E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.
E6. OUTLETS SHALL BE WITHIN 6" OF ANY OPENING AND NOT EXCEED 12" APART. ANY ISOLATED WALL 2" OR WIDER SHALL HAVE OUTLETS. AT KITCHEN COUNTER, GFCI OUTLETS SHALL BE WITHIN 2' OF EDGE OF ALL COUNTERS, SINKS, STOVES, ETC. AND ARE NOT TO EXCEED 4' APART. GFCI OUTLETS ARE REQUIRED AT ALL KITCHEN ISLANDS AND PENINSULAS AND WITHIN 6" RADIUS OF SINK.
E7. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.
E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:
a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICIENCY IN ACCORDANCE WITH TABLE 150.0-A
b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
E9. ALL NEW 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTIONS OF THE BRANCH CIRCUITS. SEC 210.12(A)
E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6" OF THE KITCHEN SINK SHALL BE GFCI PROTECTED PER SEC 210.8
E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.
E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY," THAT IS WEATHER PROOF WHETHER OR NOT THE PLUG IS INSERTED PER SEC 406.8(B)
E13. FOR EV CAR CHARGING, INSTALL 1" MIN. CONDUIT W/ A DEDICATED 208/240-VOLT BRANCH CIRCUIT TO ORIGINATE FROM THE SUBPANEL AND TERMINATE IN A LISTED J-BOX. THE CIRCUIT SHALL ACCOMMODATE UP TO A 40-AMP RESERVE TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SUBPANEL SHALL IDENTIFY THIS CIRCUIT AND TERMINATION J-BOX AS "EV CAPABLE"
E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

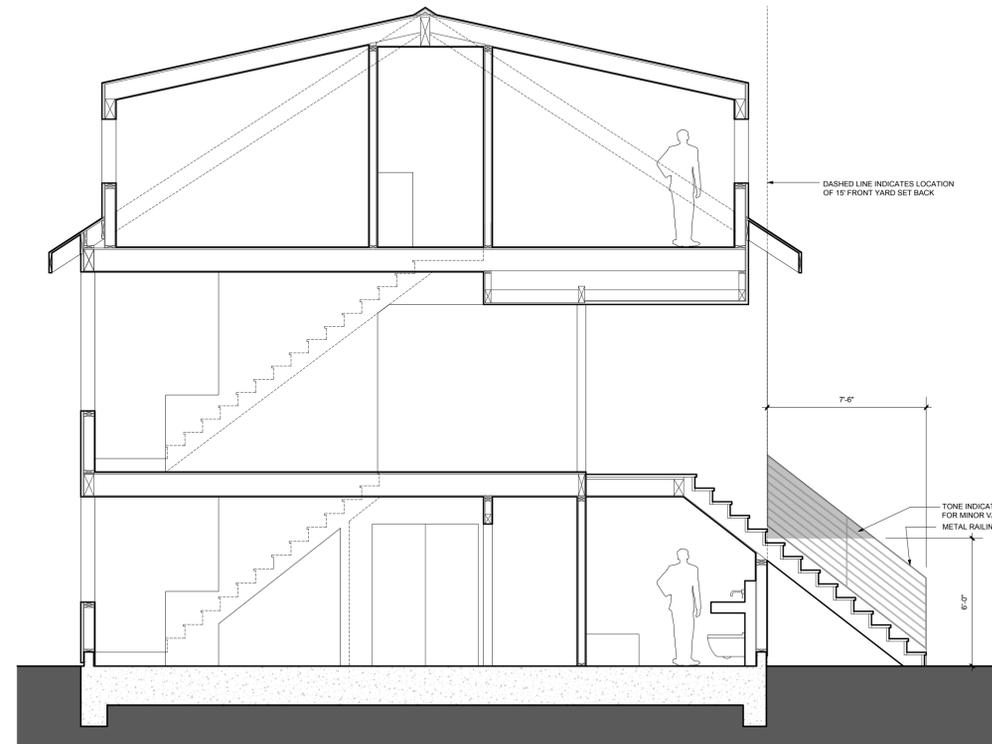
PLUMBING GENERAL NOTES
P1. PROVIDE GAS BIBS FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.
P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CGSB 4.303.1 REQUIREMENTS:
a) WATER CLOSETS: <1.28 GALLONS/FLUSH
b) SINGLE SHOWERHEADS: <2.0 GPM @ 80 PSI
c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
d) RESIDENTIAL LABORATORY FAUCETS: <1.2 GPM @ 90 PSI
e) KITCHEN FAUCETS: <1.8 GPM @ 80 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM
P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.
P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6.8BTU/H, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED PER CEC 110.30(7).
P5. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.9.0(2)(B). ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CEC SECTION 150.9
P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES PER CPC 701.1(2)(A).
P7. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.

GENERAL NOTES
G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTORS, AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.
G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.
G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUESTIONS WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.
G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 20" WIDE, 24" TALL AND 5.7 SQUARE FEET W/ A SILL HEIGHT NO HIGHER THAN 44" ABOVE FINISHED FLOOR. THE NET CLR. OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING AND REQUIRES NO SPECIAL KNOWLEDGE OR TOOLS.
G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.
G7. HANDRAILS TO BE 1 1/2" SQ. WOOD W/ METAL BRACKET @ 1-1/2" MIN. FROM WALL & 36" ABOVE STAIR NOSING. SEE PLANS & DETAILS.

BUILDING SECTION UNITS #4 THROUGH #6

7/A3.0

GENERAL NOTES



T.O. ROOF RIDGE
UNDERSIDE OF RIDGE BEAM
DORMER TOP PLATE
3RD LEVEL SUBFL.
2ND LEVEL SUBFL.
1ST LEVEL CONC.
11'-4 1/2"
2'-0"
7'-0"
10'-0 3/4"
9'-0"
8'-0"
9'-0 3/4"
31'-0" BUILDING HEIGHT
7'-6"
6'-0"
DASHED LINE INDICATES LOCATION OF 15' FRONT YARD SET BACK
TONE INDICATES 10 SF AREA FOR MINOR VARIANCE REQUEST METAL RAILING

LANDSCAPING GENERAL NOTES
1. PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIA NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.
2. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGN AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.
3. ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.
4. ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.
5. LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.
6. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS/PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.
7. ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4x4 P.T. POSTS AT APPROX. 6' O.C. SPACING AND GLAD WITH HORIZ. 1x8 ROUGH HEWN REDWOOD FENCING BOARDS W/ 1" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.
8. TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.
9. ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIR MULCH.
10. COMPOST WILL BE INCORPORATED INTO THE TOP 6" OF THE PLANTED AREAS AT A RATE OF 4 CY PER 1,000 SF OF LANDSCAPING.

IRRIGATION NOTES:
1. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.
2. POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.
3. IRRIGATION CONTROLLER: RAIN BIRD SST6000OUT 6-STATION OUTDOOR SST IRRIGATION TIMER WITH RSD RAIN SENSOR OR EQUIVALENT.
4. IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER, RAIN BIRD 3/4" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.
5. IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES

BUILDING SECTION UNITS #1 THROUGH #3

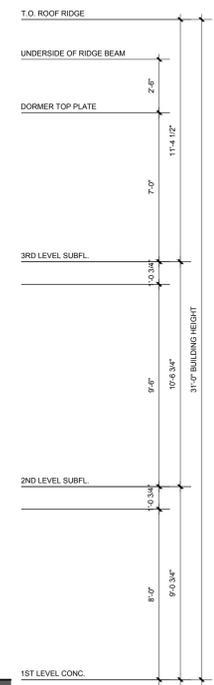
5/A3.0



RELEASES AND REVISIONS	
PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV.'S #1	12/30/20
PLANNING APP. REV.'S #2	01/29/21

PREPARED BY:
CREATION DATE: 03/04/20
SCALE: 1/4" = 1'-0"

BUILDING SECTIONS



MECHANICAL GENERAL NOTES

M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3" MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.

M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.

M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6\"/>

M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.

M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.

ELECTRICAL GENERAL NOTES

E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.

E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 4\"/>

E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITIES LOCATIONS AND OTHER MEP SYSTEMS, NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.

E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.

E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E6. OUTLETS SHALL BE WITHIN 6\"/>

E7. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.

E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:

- a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICIENCY IN ACCORDANCE WITH TABLE 150.0-A
- b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

E9. ALL NEW 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, LISTED TO PROVIDE PROTECTIONS OF THE BRANCH CIRCUITS. SEC 210.12(A)

E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6\"/>

E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.

E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY", THAT IS WEATHER PROOF WHETHER OR NOT THE PLUG IS INSERTED PER SEC 408.9(B)

E13. FOR EV CAR CHARGING, INSTALL 1\"/>

E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

PLUMBING GENERAL NOTES

P1. PROVIDE GAS BBS FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.

P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CGSB 4.303.1 REQUIREMENTS:

- a) WATER CLOSETS: <1.28 GALLONS/FLUSH
- b) SINGLE SHOWERHEADS: <2.0 GPM @ 80 PSI
- c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
- d) RESIDENTIAL LABORATORY FAUCETS: <1.2 GPM @ 80 PSI
- e) KITCHEN FAUCETS: <1.8 GPM @ 80 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM

P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.

P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6.8 BTU/H, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBB OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED PER CGES 110.3(C7).

P5. ALL HOT WATER SUPPLY PIPING 3/4\"/>

P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES PER CPC 701.1(2)(X).

GENERAL NOTES

G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTINGUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.

G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND ORDINANCES.

G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUESTIONS WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.

G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 20\"/>

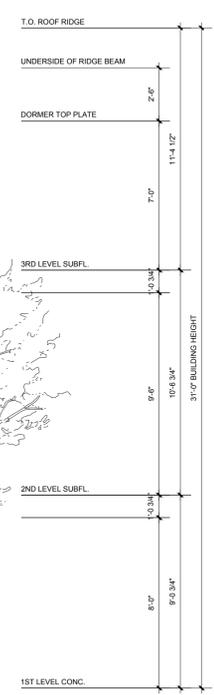
G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.

G7. HANDRAILS TO BE 1\"/>

BUILDING ELEVATION UNITS #1 THRU #3 - EAST SIDE (WEST STREET)

7/A3.1

GENERAL NOTES



LANDSCAPING GENERAL NOTES

1. PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIA NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.

2. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGN AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.

3. ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.

4. ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.

5. LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.

6. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS/PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.

7. ALL FENCING SHALL BE 6\"/>

8. TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.

9. ALL PLANTING AREAS WILL BE COVERED IN 3\"/>

10. COMPOST WILL BE INCORPORATED INTO THE TOP 6\"/>

IRRIGATION NOTES:

1. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.

2. POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.

3. IRRIGATION CONTROLLER: RAIN BIRD SST6000UT 6-STATION OUTDOOR SST IRRIGATION TIMER WITH RSD RAIN SENSOR OR EQUIVALENT.

4. IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER, RAIN BIRD 3/4\"/>

5. IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES

- 1. HORIZONTAL SIDING W/ PAINTED FINISH
- 2. CEMENT PANEL SIDING W/ INTEGRATED FINISH
- 3. WOOD CLAD WINDOW W/ BLACK FINISH
- 4. 2\"/>
- 5. 1\"/>
- 6. ASPHALT SHINGLE ROOF W/ CHARCOAL FINISH

BUILDING ELEVATION UNITS #1 THRU #3 - WEST SIDE (DRIVEWAY)

5/A3.1

MATERIAL LEGEND



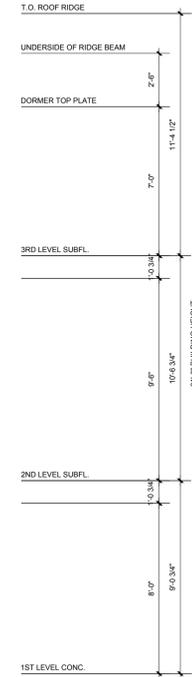
RELEASES AND REVISIONS

PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV.'S #1	12/30/20
PLANNING APP. REV.'S #2	01/29/21

PREPARED BY:
CREATION DATE: 03/04/20
SCALE: 1/4\"/>

BUILDING ELEVATIONS UNITS #1 THRU #4 - EAST & WEST SIDES

A3.1



MECHANICAL GENERAL NOTES

M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3" MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.

M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.

M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6" DUCT.

M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.

M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.

ELECTRICAL GENERAL NOTES

E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.

E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 4" A.F.F. INSTALL OUTLETS TO HAVE TOP OF COVERPLATE AT 18" A.F.F. U.O.N. DRAWINGS SHOW APPROXIMATE LOCATIONS BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITIES AND THOSE REQUIRED BY APPLIANCES AND OTHER MEP SYSTEMS. NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.

E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.

E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.

E6. OUTLETS SHALL BE WITHIN 6" OF ANY OPENING AND NOT EXCEED 12" APART. ANY ISOLATED WALL 2' OR WIDER SHALL HAVE OUTLETS. AT KITCHEN COUNTER, GFCI OUTLETS SHALL BE WITHIN 2' OF EDGE OF ALL COUNTERS, SINKS, STOVES, ETC. AND ARE NOT TO EXCEED 4' APART. GFCI OUTLETS ARE REQUIRED AT ALL KITCHEN ISLANDS AND PENINSULAS AND WITHIN 6" RADIUS OF SINK.

E7. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.

E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:

- a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A
- b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

E9. ALL NEW 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS. SEC 210.12(A)

E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6" OF THE KITCHEN SINK SHALL BE GFCI PROTECTED PER SEC 210.8

E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.

E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY," THAT IS WEATHER PROOF WHETHER OR NOT THE PLUG IS INSERTED PER SEC 408.9(B)

E13. FOR EV CAR CHARGING, INSTALL 1" MIN. CONDUIT W/ A DEDICATED 208/240-VOLT BRANCH CIRCUIT TO ORIGINATE FROM THE SUBPANEL AND TERMINATE IN A LISTED J-BOX. THE CIRCUIT SHALL ACCOMMODATE UP TO A 40-AMP REVERSED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SUBPANEL SHALL IDENTIFY THIS CIRCUIT AND TERMINATION J-BOX AS "EV CAPABLE"

E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL, AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

PLUMBING GENERAL NOTES

P1. PROVIDE GAS BIES FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.

P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CDBG 4.303.1 REQUIREMENTS:

- a) WATER CLOSETS: <1.28 GALLONS/FLUSH
- b) SINGLE SHOWERHEADS: <2.0 GPM @ 80 PSI
- c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
- d) RESIDENTIAL LAUNDRATORY FAUCETS: <1.2 GPM @ 80 PSI
- e) KITCHEN FAUCETS: <1.8 GPM @ 80 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM

P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.

P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6.8BTU/H, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBB OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED PER CIES 110.3(C)

P5. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.9(2)(B). ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CEC SECTION 150.9

P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES PER CPC 701.1(2)(A).

GENERAL NOTES

G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTORS, AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.

G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.

G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUESTIONS WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.

G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 20" WIDE, 24" TALL AND 5.7 SQUARE FEET W/ A SILL HEIGHT NO HIGHER THAN 44" ABOVE FINISHED FLOOR. THE NET CLR. OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING AND REQUIRE NO SPECIAL KNOWLEDGE OR TOOLS.

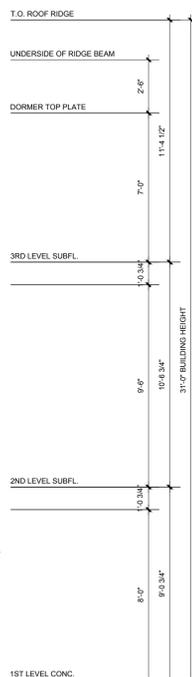
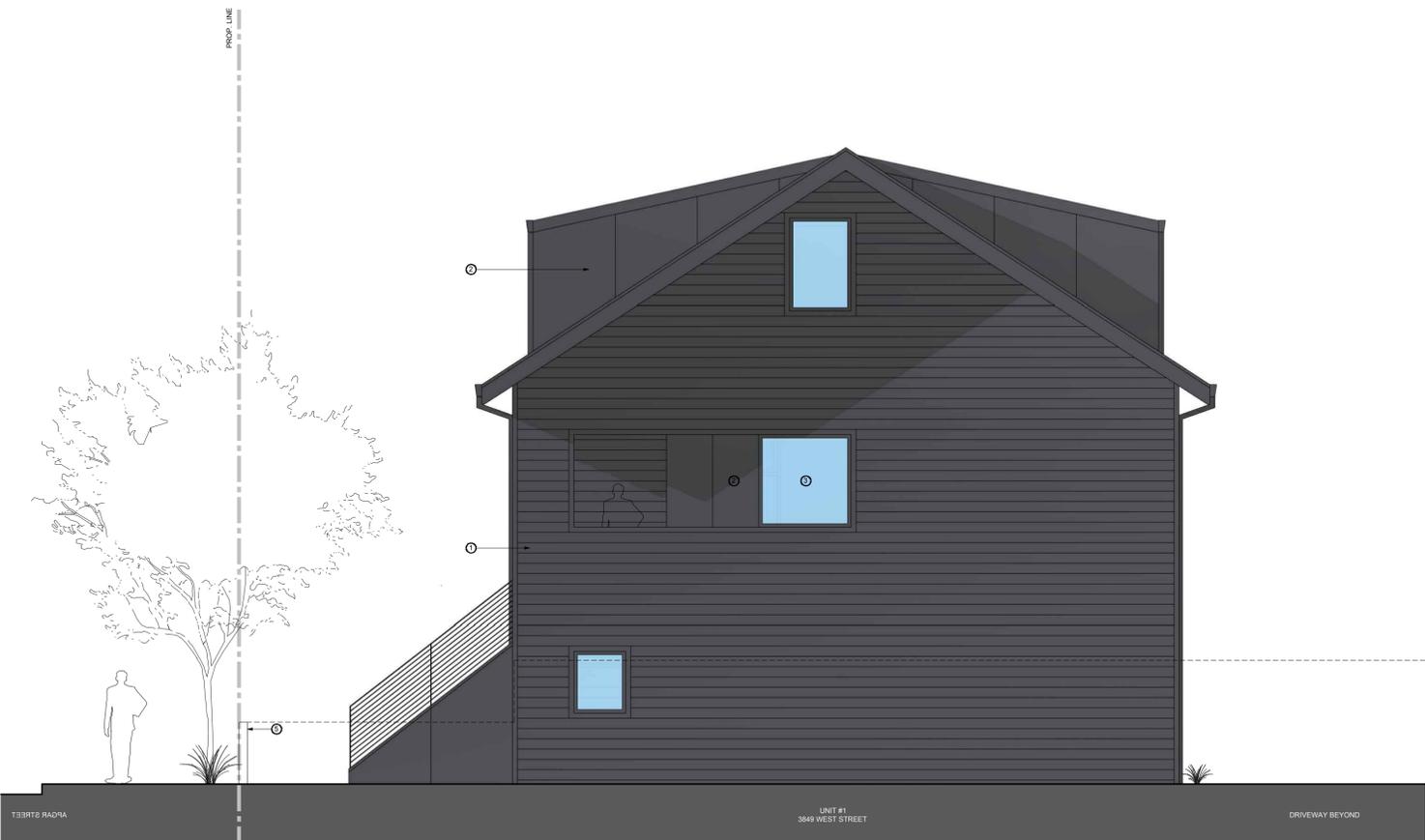
G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.

G7. HANDRAILS TO BE 1 1/2" SQ. WOOD W/ METAL BRACKET @ 1-1/2" MIN. FROM WALL & 36" ABOVE STAIR NOSING. SEE PLANS & DETAILS.

BUILDING ELEVATION UNITS #1 THRU #3 - SOUTH SIDE (APGAR STREET)

7/A3.2

GENERAL NOTES



LANDSCAPING GENERAL NOTES

1. PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIA NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.

2. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGN AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.

3. ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.

4. ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.

5. LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.

6. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS/PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.

7. ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4x4 P.T. POSTS AT APPROX. 6' O.C. SPACING AND CLAD WITH HORIZ. 1X8 ROUGH-Hewn REDWOOD FENCING BOARDS W/ 1" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.

8. TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.

9. ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIR MULCH.

10. COMPOST WILL BE INCORPORATED INTO THE TOP 6" OF THE PLANTED AREAS AT A RATE OF 4 CY PER 1,000 SF OF LANDSCAPING.

IRRIGATION NOTES:

1. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.

2. POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.

3. IRRIGATION CONTROLLER: RAIN BIRD SST8600UT 6-STATION OUTDOOR SST IRRIGATION TIMER WITH RSD RAIN SENSOR OR EQUIVALENT.

4. IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER, RAIN BIRD 3/4" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.

5. IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES

- 1. HORIZONTAL SIDING W/ PAINTED FINISH
- 2. CEMENT PANEL SIDING W/ INTEGRATED FINISH
- 3. WOOD CLAD WINDOW W/ BLACK FINISH
- 4. 2"x2" VERT. REDWOOD SIDING
- 5. 1"x6" HORIZ. REDWOOD FENCING
- 6. ASPHALT SHINGLE ROOF W/ CHARCOAL FINISH

BUILDING ELEVATION UNITS #1 THRU #3 - NORTH SIDE

5/A3.2

MATERIAL LEGEND

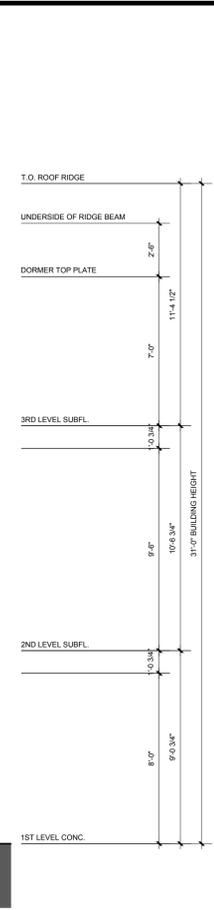


RELEASES AND REVISIONS	
PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV.'S #1	12/30/20
PLANNING APP. REV.'S #2	01/29/21

PREPARED BY:
CREATION DATE: 03/04/20
SCALE: 1/4" = 1'-0"

BUILDING ELEVATIONS UNITS #1 THRU #4 - NORTH & SOUTH SIDES

A3.2

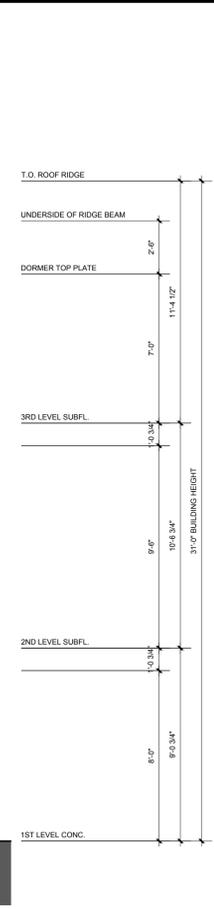


MECHANICAL GENERAL NOTES
 M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3" MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.
 M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.
 M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6" DUCT.
 M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.
 M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.
ELECTRICAL GENERAL NOTES
 E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.
 E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 4" A.F.F. INSTALL OUTLETS TO HAVE TOP OF COVERPLATE AT 18" A.F.F. U.O.N. DRAWINGS SHOW APPROXIMATE LOCATIONS BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.
 E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITIES AND THOSE REQUIRED BY APPLIANCES AND OTHER MEP SYSTEMS, NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.
 E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.
 E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.
 E6. OUTLETS SHALL BE WITHIN 6" OF ANY OPENING AND NOT EXCEED 12" APART. ANY ISOLATED WALL 2" OR WIDER SHALL HAVE OUTLETS. AT KITCHEN COUNTER, GFCI OUTLETS SHALL BE WITHIN 2" OF EDGE OF ALL COUNTERS, SINKS, STOVES, ETC. AND ARE NOT TO EXCEED 4" APART. GFCI OUTLETS ARE REQUIRED AT ALL KITCHEN ISLANDS AND PENINSULAS AND WITHIN 6" RADIUS OF SINK.
 E7. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.
 E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:
 a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICIENCY IN ACCORDANCE WITH TABLE 150.0-A
 b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
 c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
 E9. ALL NEW 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, LISTED TO PROVIDE PROTECTIONS OF THE BRANCH CIRCUITS. CEC 210.12(A)
 E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6" OF THE KITCHEN SINK SHALL BE GFCI PROTECTED PER CEC 210.8
 E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.
 E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY," THAT IS WEATHER PROOF WHETHER OR NOT THE PLUG IS INSERTED PER CEC 406.9(B)
 E13. FOR EV CAR CHARGING, INSTALL 1" MIN. CONDUIT W/ A DEDICATED 208/240-VOLT BRANCH CIRCUIT TO ORIGINATE FROM THE SUBPANEL AND TERMINATE IN A LISTED J-BOX. THE CIRCUIT SHALL ACCOMMODATE UP TO A 40-AMP RESERVE TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SUBPANEL SHALL IDENTIFY THIS CIRCUIT AND TERMINATION J-BOX AS "EV CAPABLE"
 E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
PLUMBING GENERAL NOTES
 P1. PROVIDE GAS BIBS FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.
 P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CGSB 4.303.1 REQUIREMENTS:
 a) WATER CLOSETS: <1.28 GPM @ 80 PSI
 b) SINGLE SHOWERHEADS: <2.0 GPM @ 80 PSI
 c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
 d) RESIDENTIAL LABORATORY FAUCETS: <1.2 GPM @ 80 PSI
 e) KITCHEN FAUCETS: <1.8 GPM @ 80 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM
 P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.
 P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6.8 BTU/H, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED PER CEC 110.3(C).
 P5. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.9.(2)(B). ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CEC SECTION 150.9
 P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES PER CPC 701.12(X).
GENERAL NOTES
 G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTINGUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
 G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.
 G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.
 G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUESTIONS WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.
 G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 20" WIDE, 24" TALL AND 5.7 SQUARE FEET W/ A SILL HEIGHT NO HIGHER THAN 44" ABOVE FINISHED FLOOR. THE NET CLR. OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING AND REQUIRE NO SPECIAL KNOWLEDGE OR TOOLS.
 G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.
 G7. HANDRAILS TO BE 1 1/2" SQ. WOOD W/ METAL BRACKET @ 1-1/2" MIN. FROM WALL & 36" ABOVE STAIR NOSING. SEE PLANS & DETAILS.

BUILDING ELEVATION UNITS #4 THRU #6 - EAST SIDE (DRIVEWAY)

7/A3.3

GENERAL NOTES



LANDSCAPING GENERAL NOTES
 1. PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIAN NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.
 2. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGN AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.
 3. ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.
 4. ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.
 5. LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.
 6. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS/PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.
 7. ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4x4 P.T. POSTS AT APPROX. 6'-0" C. SPACING AND CLAD WITH HORIZ. 1x8 ROUGH HEWN REDWOOD FENCING BOARDS W/ 1" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.
 8. TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.
 9. ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIR MULCH.
 10. COMPOST WILL BE INCORPORATED INTO THE TOP 6" OF THE PLANTED AREAS AT A RATE OF 4 CY PER 1,000 SF OF LANDSCAPING.
IRRIGATION NOTES:
 1. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.
 2. POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.
 3. IRRIGATION CONTROLLER: RAIN BIRD S87600OUT 6-STATION OUTDOOR SST IRRIGATION TIMER WITH RSD RAIN SENSOR OR EQUIVALENT.
 4. IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER, RAIN BIRD 3/4" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.
 5. IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES

- 1. HORIZONTAL SIDING W/ PAINTED FINISH
- 2. CEMENT PANEL SIDING W/ INTEGRATED FINISH
- 3. WOOD CLAD WINDOW W/ BLACK FINISH
- 4. 2"x2" VERT. REDWOOD SIDING
- 5. 1"x6" HORIZ. REDWOOD FENCING
- 6. ASPHALT SHINGLE ROOF W/ CHARCOAL FINISH

MATERIAL LEGEND

BUILDING ELEVATION UNITS #4 THRU #6 - WEST SIDE

5/A3.3



RELEASES AND REVISIONS	
PLANNING PRE-APP	04/15/20
PLANNING APPLICATION	09/14/20
PLANNING APP. REV.'S #1	12/30/20
PLANNING APP. REV.'S #2	01/29/21

PREPARED BY:
 CREATION DATE: 03/04/20
 SCALE: 1/4" = 1'-0"

BUILDING ELEVATIONS UNITS #5 THRU #7 - EAST & WEST SIDES

A3.3

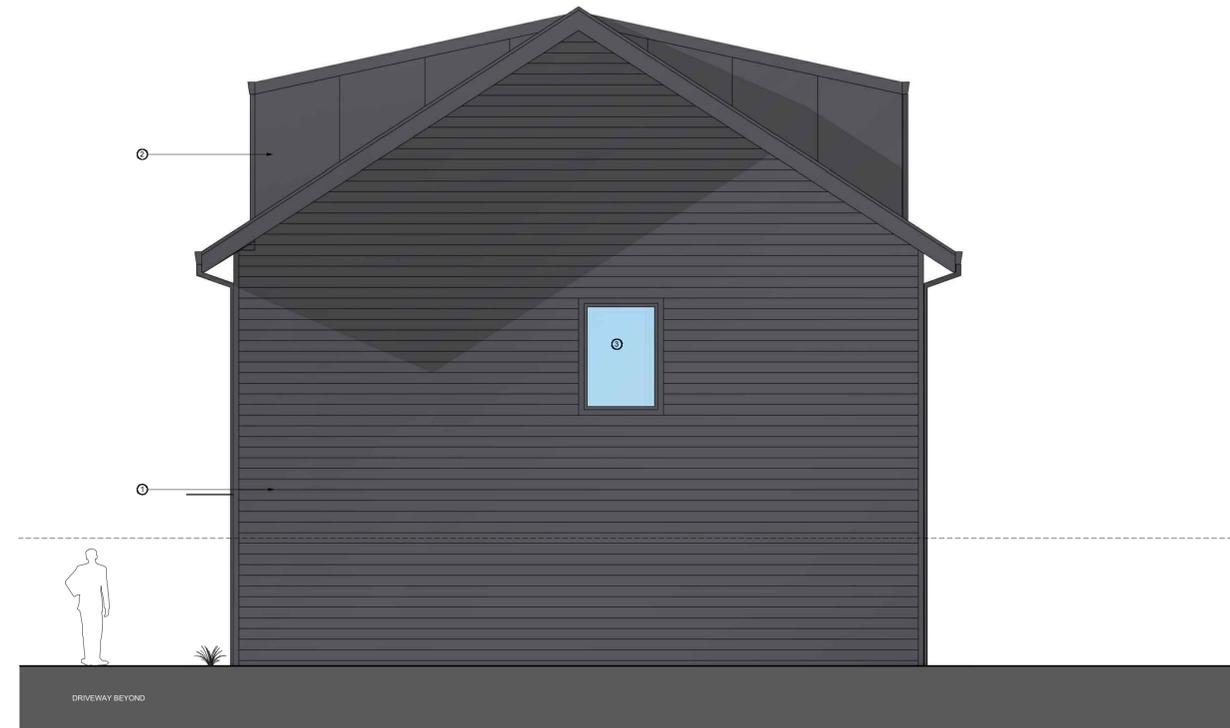


BUILDING ELEVATION UNITS #4 THRU #6 - SOUTH SIDE (APGAR STREET)

7/A3.4

GENERAL NOTES

- MECHANICAL GENERAL NOTES**
- M1. ENVIRONMENTAL AIR EXHAUST SHALL HAVE A 3" MIN. CLEARANCE FROM PROPERTY LINES & BUILDING OPENINGS INCLUDING THOSE FROM BATHROOM, KITCHEN RANGE, WATER HEATER AND LAUNDRY.
 - M2. ALL VENTILATION SHALL COMPLY W/ THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL & NONRESIDENTIAL BUILDINGS, TITLE 24, PART 6.
 - M3. LOCAL EXHAUST TO KITCHEN SHALL BE ACCOMPLISHED BY VENTING 400 CFM RATED HOOD TO OUTSIDE W/ 6" DUCT.
 - M4. HVAC CONTRACTOR SHALL COVER ALL DUCT OPENINGS IMMEDIATELY UPON INSTALLATION AND TO BE OPENED UPON COMPLETION OF CONSTRUCTION.
 - M5. FORCED-AIR FURNACE TO HAVE A MERV-16 FILTER OR HIGHER.
- ELECTRICAL GENERAL NOTES**
- E1. ALL LIGHT SWITCH, OUTLET & COVERPLATE SHALL BE LUTRON CLARO OR AS VERIFIED BY ARCHITECT.
 - E2. FIELD VERIFY ALL SWITCH LOCATION AND GROUPINGS W/ ARCHITECT. INSTALL SWITCHES TO HAVE TO OF COVERPLATE AT 4" A.F.F. INSTALL OUTLETS TO HAVE TOP OF COVERPLATE AT 18" A.F.F. U.O.N. DRAWINGS SHOW APPROXIMATE LOCATIONS BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.
 - E3. ELECTRICIAN TO PROVIDE BOTH CODE REQUIRED OUTLET QUANTITIES AND THOSE REQUIRED BY APPLIANCES AND OTHER MEP SYSTEMS. NEITHER OF WHICH ARE NECESSARILY INDICATED IN THE MEP PLANS. ELECTRICIAN SHALL PROVIDE ADDITIONAL OUTLETS AS SHOWN IN PLANS AND AS FIELD VERIFIED BY ARCHITECT.
 - E4. ELECTRICIAN TO PROVIDE DATA, PHONE/CABLE, AND AUDIO/VIDEO WIRING AS SHOWN IN PLANS OR AS VERIFIED BY OWNER.
 - E5. FIELD VERIFY ALL LIGHT LOCATIONS W/ ARCHITECT. DRAWINGS SHOW DESIGN INTENT BUT DO NOT CONSIDER POTENTIAL FRAMING OR OTHER CONFLICTS.
 - E6. OUTLETS SHALL BE WITHIN 6" OF ANY OPENING AND NOT EXCEED 12" APART. ANY ISOLATED WALL 2" OR WIDER SHALL HAVE OUTLETS. AT KITCHEN COUNTER, GFCI OUTLETS SHALL BE WITHIN 2" OF EDGE OF ALL COUNTERS, SINKS, STOVES, ETC. AND ARE NOT TO EXCEED 4" APART. GFCI OUTLETS ARE REQUIRED AT ALL KITCHEN ISLANDS AND PENINSULAS AND WITHIN 6" RADIUS OF SINK.
 - E7. LUMINAIRES RECESSED INTO INSULATED CEILINGS SHALL BE LISTED FOR ZERO CLEARANCE INSULATION CONTACT AND BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING.
 - E8. ALL LIGHTING SHALL COMPLY W/ THE 2016 TITLE 24 REQUIREMENTS INCLUDING:
 - a) ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICIENCY IN ACCORDANCE WITH TABLE 150.0-A
 - b) IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
 - c) UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
 - E9. ALL NEW 120-VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS. SEC 210.12(A)
 - E10. KITCHEN NOTE: ALL 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARBAGE DISPOSER RECEPTACLE, WITHIN 6" OF THE KITCHEN SINK SHALL BE GFCI PROTECTED PER CEC 210.8
 - E11. ALL EXTERIOR LIGHTING SHALL BE SHIELDED TO PREVENT GLARE ONTO NEIGHBORING PROPERTIES.
 - E12. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED, "EXTRA DUTY," THAT IS WEATHER PROOF WHETHER OR NOT THE PLUG IS INSERTED PER CEC 406.8(B)
 - E13. FOR EV CAR CHARGING, INSTALL 1" MIN. CONDUIT W/ A DEDICATED 208/240-VOLT BRANCH CIRCUIT TO ORIGINATE FROM THE SUBPANEL AND TERMINATE IN A LISTED J-BOX. THE CIRCUIT SHALL ACCOMMODATE UP TO A 40-AMP RESERVE TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE SUBPANEL SHALL IDENTIFY THIS CIRCUIT AND TERMINATION J-BOX AS "EV CAPABLE"
 - E14. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
- PLUMBING GENERAL NOTES**
- P1. PROVIDE GAS BIES FOR LAUNDRY, FURNACE, WATER HEATER AND KITCHEN RANGE. FIELD VERIFY LOCATION W/ ARCHITECT.
 - P2. FLOW RATES OF ALL NEW PLUMBING FIXTURES SHALL MEET THE FOLLOWING 2016 CDBG 4.303.1 REQUIREMENTS:
 - a) WATER CLOSETS: <1.28 GALLONS/FLUSH
 - b) SINGLE SHOWERHEADS: <2.0 GPM @ 80 PSI
 - c) MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.
 - d) RESIDENTIAL LABORATORY FAUCETS: <1.2 GPM @ 80 PSI
 - e) KITCHEN FAUCETS: <1.8 GPM @ 80 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM
 - P3. AN AUTOMATIC GAS SHUT OFF VALVE SHALL BE PROVIDED FOR EACH DWELLING UNIT PER THE CITY OF BERKELEY ORDINANCE NO. 7151-N.S. THESE WILL BE INSTALLED ALONG AN EXTERIOR WALL AT THE GAS RISER INTO THE BUILDING.
 - P4. IF THE WATER HEATER INPUT RATING EXCEEDS 6.8 BTU/H, THEY SHALL HAVE ISOLATION VALVES ON BOTH THE COLD WATER SUPPLY AND HOT WATER PIPE LEAVING THE WATER HEATER, AND HOSE BIBB OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER WHEN THE VALVES ARE CLOSED PER CEC 110.3(C).7.
 - P5. ALL HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED PER CEC SECTION 150.9.(2)(B). ALL HOT WATER SUPPLY PIPING FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES SHALL BE INSULATED PER CEC SECTION 150.9
 - P6. ABS AND PVC INSTALLATIONS ARE LIMITED TO NOT MORE THAN TWO STORIES PER CPC 701.1(2)(A).
- GENERAL NOTES**
- G1. CONSTRUCTION LIABILITY: THE GENERAL CONTRACTOR AND SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTORS AND NOT LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL HARMLESS FROM ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
 - G2. CONTRACTOR ACKNOWLEDGES THAT THE ARCHITECT IS THE AUTHOR OF THESE CONSTRUCTION DOCUMENTS AND IS THE OWNER OF THE COPYRIGHT TO THEM. CONTRACTOR IS ENTITLED TO USE THESE CONSTRUCTION DOCUMENTS ONLY FOR THE PROJECT FOR WHICH THEY WERE DESIGNED AND NOT FOR ANY OTHER PURPOSE OR PROJECT.
 - G3. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED BY THE DRAWINGS OR AS VERIFIED BY THE ARCHITECT, AND/OR AS REQUIRED BY THE ADOPTED EDITION OF THE UNIFORM BUILDING CODE AND ALL LOCAL CODES AND AUTHORITIES.
 - G4. ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH OR UNLESS OTHERWISE NOTED. CONFIRM DIMENSIONAL QUANTITIES WITH ARCHITECT, DO NOT SCALE OFF OF THE PLANS.
 - G5. EGRESS WINDOWS TO HAVE MIN. CLR. OPENING OF 20" WIDE, 24" TALL AND 5.7 SQUARE FEET W/ A SILL HEIGHT NO HIGHER THAN 44" ABOVE FINISHED FLOOR. THE NET CLR. OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING AND REQUIRE NO SPECIAL KNOWLEDGE OR TOOLS.
 - G6. FOR ALL DOORS AND WINDOWS, CONTRACTOR SHALL VERIFY ROUGH OPENINGS, SIZES, FUNCTION & MANUFACTURER W/ ARCHITECT PRIOR TO ORDERING. ADDITIONALLY CONTRACTOR SHALL VERIFY INSTALLATION INSTRUCTIONS & DETAILS W/ ARCHITECT AND/OR MANUF. PRIOR TO INSTALLATION.
 - G7. HANDRAILS TO BE 1 1/2" SQ. WOOD W/ METAL BRACKET @ 1-1/2" MIN. FROM WALL & 36" ABOVE STAIR NOSING. SEE PLANS & DETAILS.



BUILDING ELEVATION UNITS #4 THRU #6 - NORTH SIDE

5/A3.4

MATERIAL LEGEND

- LANDSCAPING GENERAL NOTES**
1. PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIAN NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.
 2. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGN AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH DWELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.
 3. ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.
 4. ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.
 5. LANDSCAPING SHOWN IN RIGHT-OF-WAY NOT INCLUDED IN THIS PERMIT APPLICATION. RATHER THEY ARE INCLUDED TO SHOW THE SCOPE OF THE PROJECT AND DESIGN INTENT.
 6. IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY, INCLUDING PLANTINGS, TREES AND SIDEWALKS/ PAVING, SHALL BE IN COMPLIANCE WITH APPROVALS AND THE CITY OF OAKLAND STANDARDS AND SPECIFICATIONS.
 7. ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4x4 P.T. POSTS AT APPROX. 6' O.C. SPACING AND CLAD WITH HORIZ. 1x8 ROUGH HEWN REDWOOD FENCING BOARDS W/ 1" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.
 8. TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C.3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.
 9. ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIR MULCH.
 10. COMPOST WILL BE INCORPORATED INTO THE TOP 6" OF THE PLANTED AREAS AT A RATE OF 4 CY PER 1,000 SF OF LANDSCAPING.
- IRRIGATION NOTES:**
1. ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.
 2. POINT OF CONNECTION OF IRRIGATION SYSTEM SHALL HAVE A MANUAL SHUTOFF VALVE AND BACKFLOW PREVENTION DEVICE.
 3. IRRIGATION CONTROLLER: RAIN BIRD SST8600OUT 6-STATION OUTDOOR SST IRRIGATION TIMER WITH RSD RAIN SENSOR OR EQUIVALENT.
 4. IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER, RAIN BIRD 3/4" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.
 5. IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.
- LANDSCAPE NOTES**
1. HORIZONTAL SIDING W/ PAINTED FINISH
 2. CEMENT PANEL SIDING W/ INTEGRATED FINISH
 3. WOOD CLAD WINDOW W/ BLACK FINISH
 4. 2"X2" VERT. REDWOOD SIDING
 5. 1"X6" HORIZ. REDWOOD FENCING
 6. ASPHALT SHINGLE ROOF W/ CHARCOAL FINISH



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PREPARED BY:
CREATION DATE: 03/04/20
SCALE: 1/4" = 1'-0"

BUILDING ELEVATIONS UNITS #5 THRU #7 - NORTH & SOUTH SIDES

A3.4



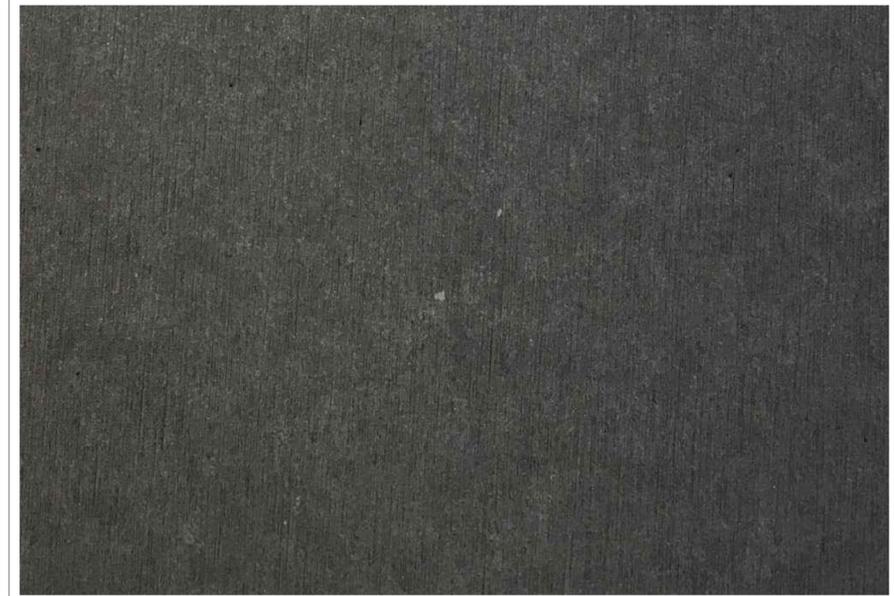
6. ASPHALT SHINGLE ROOF W/ CHARCOAL FINISH



3. WOOD CLAD WINDOW W/ BLACK FINISH



5. 1X6 HORIZONTAL REDWOOD FENCING



1. HORIZONTAL SIDING W/ PAINTED FINISH



4. 2X2 VERTICAL REDWOOD SIDING



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 CREATION DATE: 10/07/19
 SCALE: NTS

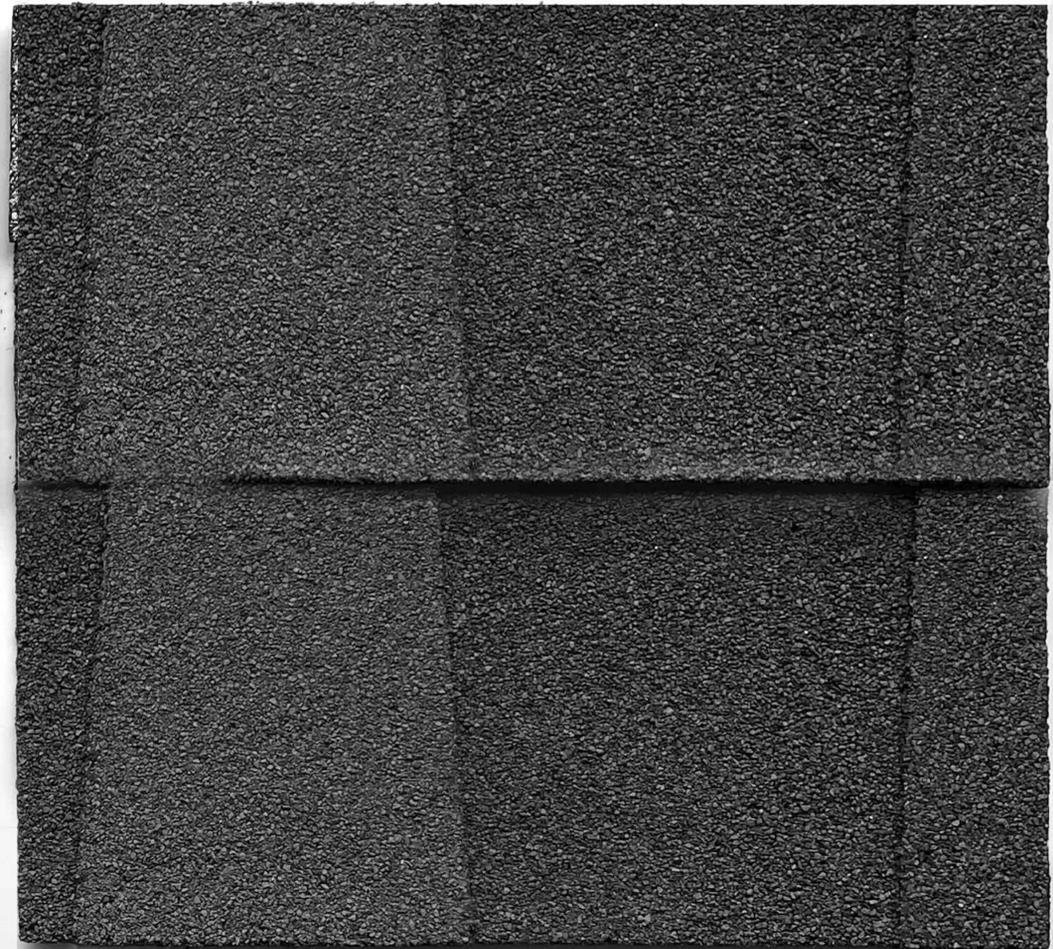
MATERIALS BOARD



2X2 VERTICAL
REDWOOD



CEMENT PANEL



ASPHALT SHINGLE



HORIZONTAL SIDING



1X6 HORIZONTAL
REDWOOD FENCING



WOOD CLAD WINDOW W/ BLACK FINISH

3855 WEST STREET

OAKLAND, CALIFORNIA 94608

APN: 12-980-17



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SCALE: NTS

MATERIAL BOARD

A3.5b



LANDSCAPE - SITE PLAN

5/L1.1

#	Common Name	Scientific / Descriptive Name	Sun / Shade	Evergreen / Deciduous	Height	Spread	Purchase Size	Quantity (On Site)	Quantity (ROW)
1	Pittosporum, Silver Tawhiwhi	<i>Pittosporum tenuifolium</i> 'Silver Sheen'	full sun to part shade	Evergreen	25-40 ft	6-8 ft	24"	32	0
2	Purple Hopseed Bush	<i>Dodonaea viscosa</i> 'Purpurea'	full sun (loses color in shade)	Evergreen	15	10-15 ft	5/15 gal	12	0
3	Blue Festuca	<i>Festuca Glauca</i> 'Elijah Blue'	full sun to light shade	Evergreen	1 ft	1 ft	1 gal	16	0
4	Mondo Grass	<i>Ophiopogon japonicus</i>	full sun to part shade	Evergreen	8-12 in		1 gal	0	50
5	Platinum Beauty Variegated Dwarf Mai Rush	<i>Lomandra longifolia</i> 'Roma 13' (Platinum Beauty)	full sun to moderate shade	Evergreen	2-3 ft	2-3 ft	1/2/5 gal	0	42
6	Myers Asparagus Fern	<i>Asparagus densiflorus</i> 'Myers'	dense shade to full sun	Evergreen	2+ ft		1/2/5 gal	42	0
7	Sword Fern	<i>Nephrolepis exaltata</i>	shade	Evergreen	2-4 ft		1/2/5 gal	27	0
8	Japanese Maple	<i>Acer Shirasawanum</i>	full sun to part shade	Deciduous	16-20 ft	16-20 ft	24" box	4	0
9	Magnolia	<i>Magnolia Grandiflora</i> 'Bracken's Brown Beauty'	full sun	Evergreen	20-30 ft	15-25 ft	24" box	0	4

PLANTING SCHEDULE

- LANDSCAPING GENERAL NOTES
- PLANTING SELECTION SHALL BE DONE BY A LICENSED ARCHITECT AND BE CONSISTENT WITH THE STATE'S WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). THE PLANTING SCHEDULE IDENTIFIES THE DESIGN INTENT AND THE PLANTS INSTALLED DURING CONSTRUCTION MAY VARY DUE TO AVAILABILITY AT LOCAL NURSERY (IDENTIFIED AS ALTERNATES IN THE PLANTING SCHEDULE). ALL PLANTS TO BE DROUGHT TOLERANT AND CALIFORNIA NATIVE SPECIES. THE QUANTITY AND SPACING OF PLANTS WILL BE ADJUSTED PER PARTICULAR SPECIMEN REQUIREMENTS.
 - ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY A LICENSED LANDSCAPING CONTRACTOR. EACH TRAVELLING UNIT SHALL HAVE ITS OWN SYSTEM LOCATED IN EACH YARD. EACH SYSTEM SHALL INCLUDE A TIMER AND RAIN SENSOR AS FURTHER DESCRIBED IN THE IRRIGATION NOTES BELOW.
 - ALL GRAVEL AND MULCH SHALL BE DESIGN/BUILD AND SELECTED BY OWNER DURING CONSTRUCTION.
 - ALL PAVING SHALL BE LOOSE-LAID CONCRETE PAVERS ON SAND BED FOR STORM WATER PERMEABILITY.
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 - ALL FENCING SHALL BE 6'-0" IN HEIGHT FROM FINISH GRADE. IT WILL BE CONSTRUCTED OF 4x4 P.T. POSTS AT APPROX. 8'-0" C. SPACING AND GLAD WITH HORIZ. 1x8 ROUGH HEWN REDWOOD FENCING BOARDS W/ 1" SPACING. THE FRONT YARD FENCING WILL BE 70% TRANSPARENT.
 - TOTAL IMPERVIOUS SURFACE AREA IS BETWEEN 2,500-5,000 SF AND THE PROJECT WILL COMPLY WITH REQUIRED C-3 STORM WATER MEASURES BY CONSTRUCTING ALL PAVING WITH A PERMEABLE SURFACE PER NOTE #4 ABOVE.
 - ALL PLANTING AREAS WILL BE COVERED IN 3" OF 1/4" BLACK FIR MULCH.
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- IRRIGATION NOTES:
- ALL PLANTS WILL BE WATERED BY A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM.
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 - IRRIGATION VALVES WITH PRESSURE-REGULATING FILTER: RAIN BIRD 3/4" ANTI-SIPHON DRIP CONTROL ZONE KIT (0.2-5 GPM) OR EQUIVALENT.
 - IRRIGATION EMISSION DEVICES: RAIN BIRD DROP EMITTERS OR EQUIVALENT.

LANDSCAPE NOTES

- PERMEABLE PAVING AREA: 2,019 SF
- GRAVEL AREA: 771 SF
- TURF AREA: 618 SF (LESS THAN 25% OF TOTAL PLANTED AREA)
- PLANTED AREA: 2,475 SF (TOTAL INCLUDING TURF AREA)



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CREATION DATE: 03/04/20
SCALE: 1/8" = 1'-0"

LANDSCAPE - SITE PLAN & PLANTING SCHEDULE

L1.1

LANDSCAPING MATERIAL LEGEND

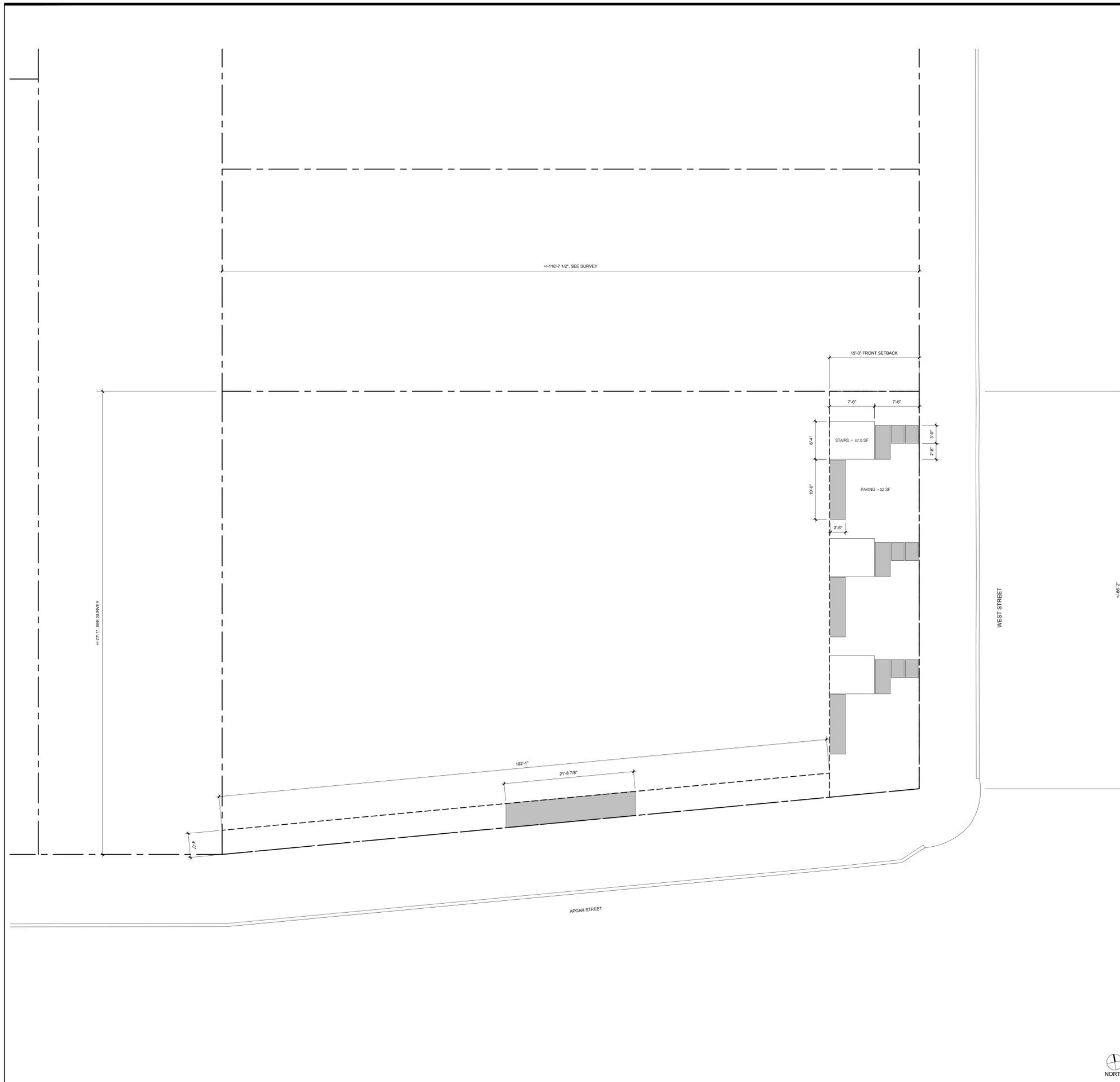


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LANDSCAPE -
CODE
DIAGRAM

L1.2



FRONT SETBACK COVERAGE CALCULATION
FRONT SETBACK = 1300 SF
30% = 390.0 SF MAX. ALLOW. COVERAGE
TOTAL STARS = 47.5 SF X 3 = 142.5 SF
TOTAL PAVING = 52 SF X 3 = 156 SF
TOTAL COVERAGE = 298.5 SF < 390.0 SF

SIDE (STREET) SETBACK COVERAGE CALCULATION
SIDE SETBACK = 408 SF
30% = 122.4 SF MAX. ALLOW. COVERAGE
TOTAL PAVING = 87 SF < 122.4 SF

